



WALL PACIFIC REDEVELOPMENT

1065 PACIFIC STREET
REZONING APPLICATION - VIRTUAL OPEN HOUSE

FEBRUARY 20 - MARCH 12, 2023



PROJECT TEAM

OWNER **WALL FINANCIAL CORPORATION**

WALL FINANCIAL CORPORATION HAS BEEN INVESTING IN CITIES, THEIR RESIDENTS, AND THEIR PUBLIC INSTITUTIONS FOR OVER 50 YEARS.

FOUNDED BY PETER WALL AND PARTNERS IN 1969, WE ARE PROUD OF OUR COMPANY'S CONTRIBUTIONS TO BUILDING THE SKYLINE AND NEIGHBORHOODS OF METRO VANCOUVER.

WALL FINANCIAL CORPORATION HAS BEEN AT THE LEADING EDGE OF VANCOUVERISM — CREATING THE MIXED-USE RESIDENTIAL AND COMMERCIAL DEVELOPMENTS, WHICH TOGETHER WITH THE PRESERVATION OF HERITAGE BUILDINGS AND THE CREATION OF CULTURAL SPACES, ENSURE A VIBRANT DOWNTOWN CORE AND LIVEABLE NEIGHBORHOODS THROUGHOUT THE DAY AND NIGHT.

SINCE ITS FOUNDING, WALL FINANCIAL CORPORATION HAS DEVELOPED MORE THAN 30,000 HOMES INCLUDING OVER 15,000 RENTAL UNITS IN METRO VANCOUVER, THOUSANDS OF SINGLE-FAMILY LOTS, OVER 10,000 CONDOMINIUMS, AND TWO MAJOR HOTELS: SHERATON WALL CENTRE IN DOWNTOWN VANCOUVER, THE LARGEST HOTEL IN WESTERN CANADA, AND THE WESTIN WALL CENTRE NEAR THE VANCOUVER AIRPORT. TOGETHER, THEY OFFER A TOTAL OF 934 GUEST ROOMS AND SOME OF THE CITY'S PREMIER SPACES FOR CONVENTIONS.

ARCHITECT **BUTTJES ARCHITECTURE INC**

BUTTJES ARCHITECTURE INC. WAS ESTABLISHED IN 1960 BY WILFRED D. BUTTJES. SINCE ITS INCEPTION, THE FIRM HAS PROVIDED EFFICIENT, PROFESSIONAL AND PERSONAL SERVICE TO PRIVATE, CORPORATE AND INSTITUTIONAL CLIENTS FROM CANADA, UNITED STATES AND OVERSEAS. OVER THE YEARS, THE FIRM HAS RECEIVED NUMEROUS AWARDS FOR ITS WORK INCLUDING TWO CANADIAN HOUSING DESIGN AWARDS, A MASSEY MEDAL FOR ARCHITECTURE, AND A UDI AWARD FOR BEST MIXED-USE CATEGORY.

DIRK BUTTJES JOINED THE FIRM IN 1981, AFTER COMPLETING A MASTER OF ARCHITECTURE DEGREE AT THE UNIVERSITY OF COLORADO IN DENVER, COLORADO. HE ESTABLISHED THE FIRM BUTTJES ARCHITECTURE INC. (BA), IN 1987 TO CONTINUE THE TRADITION OF PROVIDING AN EXCEPTIONAL LEVEL OF ARCHITECTURAL EXPERTISE IN THE FIELDS OF MULTI-FAMILY RESIDENTIAL AND COMMERCIAL DEVELOPMENTS. DIRK HAS EARNED A REPUTATION FOR BRINGING LARGE, COMPLEX MIXED USE PROJECTS SUCCESSFULLY TO REALITY.



REZONING PROJECT CONSULTANTS

LANDSCAPE ARCHITECT **BEARMARK DESIGN & LANDSCAPE LTD** | CIVIL ENGINEER **CITY WEST CONSULTING LTD** | GEOTECHNICAL CONSULTANT **GEOPACIFIC CONSULTANTS LTD** | MECHANICAL CONSULTANT **RON WONG & ASSOCIATES INC** | ELECTRICAL CONSULTANT **NEMETZ (S/A) & ASSOCIATES LTD** | STRUCTURAL ENGINEER **GLOTMAN•SIMPSON CONSULTING ENGINEERS** | BUILDING ENVELOPE **BC BUILDING SCIENCE LTD** | TRAFFIC CONSULTANT **BUNT & ASSOCIATES ENGINEERING LTD** | ARBORIST **DIAMOND HEAD CONSULTING LTD** | HERITAGE CONSULTANT **DONALD LUXTON & ASSOCIATES INC** | COST CONSULTANT **BTY GROUP** |

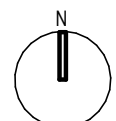


PROJECT LOCATION

THE SITE IS LOCATED IN THE RESIDENTIAL NEIGHBORHOOD OF THE WEST END, CLOSE TO THE DOWNTOWN CORE AREA, AND ONLY STEPS AWAY FROM FAMOUS DAVIE VILLAGE (LOCAL SHOPPING & SERVICES) AND THE SEAWALL (OUTDOOR AMENITIES/PARKS/BEACHES). THE WEST END IS A PREDOMINANTLY RESIDENTIAL NEIGHBOURHOOD WHERE THE MAJORITY OF SHORT TRIPS TO RESIDENTIAL SERVICES CAN BE MADE SAFELY ON FOOT. THE SITE WILL BENEFIT FROM MULTIPLE MODES OF TRANSPORTATION AND LIES WITHIN WALKING DISTANCE TO THE EXPO LINE AND CANADA LINE SKYTRAIN SERVICES.

THE SITE IS BORDERED BY PACIFIC STREET TO THE SOUTH, JUNG LANE TO THE NORTH, THREE SMALL PROPERTIES EACH CONTAINING A HERITAGE BUILDING TO THE WEST, AND A HOUSING CO-OP DEVELOPMENT CONTAINING A MIDRISE AS WELL AS 8 HERITAGE HOMES TO THE EAST.

THE SITE HAS A SIGNIFICANTLY SLOPED TOPOGRAPHY, WITH A 5.2 M (17 FT.) GRADE DIFFERENCE FROM PACIFIC STREET UP TO JUNG LANE, WHICH TRANSLATES INTO AN AVERAGE SLOPE OF 13% OVER THE SITE.



STREET SCAPE

1065 PACIFIC STREET IS LOCATED NEAR THE BASE OF BURRARD STREET BRIDGE, JUST ONE BLOCK NORTH OF SUNSET BEACH. THE PROPERTY IS FRONTING PACIFIC STREET AND HAS ACCESS TO JUNG LANE IN THE REAR. THE STREET FRONTAGE IS 99'.

THE PROPERTY IS CURRENTLY OCCUPIED BY A THREE STOREY WALK-UP APARTMENT BUILDING WITH 30 RENTAL UNITS BUILT IN 1963. THE BUILDING IS CLAD IN WHITE STUCCO AND ITS CONDITION IS COMPARABLE TO SIMILAR BUILDINGS OF ITS AGE AND TYPE.

THE THREE NEIGHBOURING PROPERTIES TO THE WEST ARE SINGLE FAMILY HOUSES CONVERTED TO MULTIPLE DWELLING HOUSING. TWO OF THE PROPERTIES ARE REGISTERED HERITAGE BUILDINGS. 1386 THURLOW AS WELL AS 1390 THURLOW BOTH ARE CATEGORIZED AS SIGNIFICANT HERITAGE B BUILDINGS, PRIMARILY FOR THEIR CULTURAL AND AESTHETIC VALUES, AND PARTICULARLY IMPORTANT AS A RARE SURVIVING EXAMPLE OF ORIGINAL SINGLE-FAMILY RESIDENTIAL DEVELOPMENT OF VANCOUVER'S WEST END.

THE PROPERTY TO THE EAST -1019-1051 PACIFIC STREET -IS OWNED BY THE CITY AND LEASED TO PACIFIC HEIGHTS HOUSING CO-OP. THERE ARE MULTIPLE BUILDINGS SITUATED ON THE PROPERTY, A MID-RISE OF 9 STOREYS AS WELL AS 8 REGISTERED HERITAGE BUILDINGS. THESE EDWARDIAN HOUSES OF HERITAGE SIGNIFICANCE CLASS B WERE SAVED FROM DEMOLITION, MOVED FORWARD, REGROUPED AS FOUR PAIRS, AND CONVERTED INTO DUPLEXES. IN 1986, ROGER HUGHES, THE ARCHITECT OF THE RE-DEVELOPMENT, WON A GOVERNOR GENERAL'S MEDAL IN ARCHITECTURE FOR THE PROJECT.

PACIFIC STREET ELEVATION

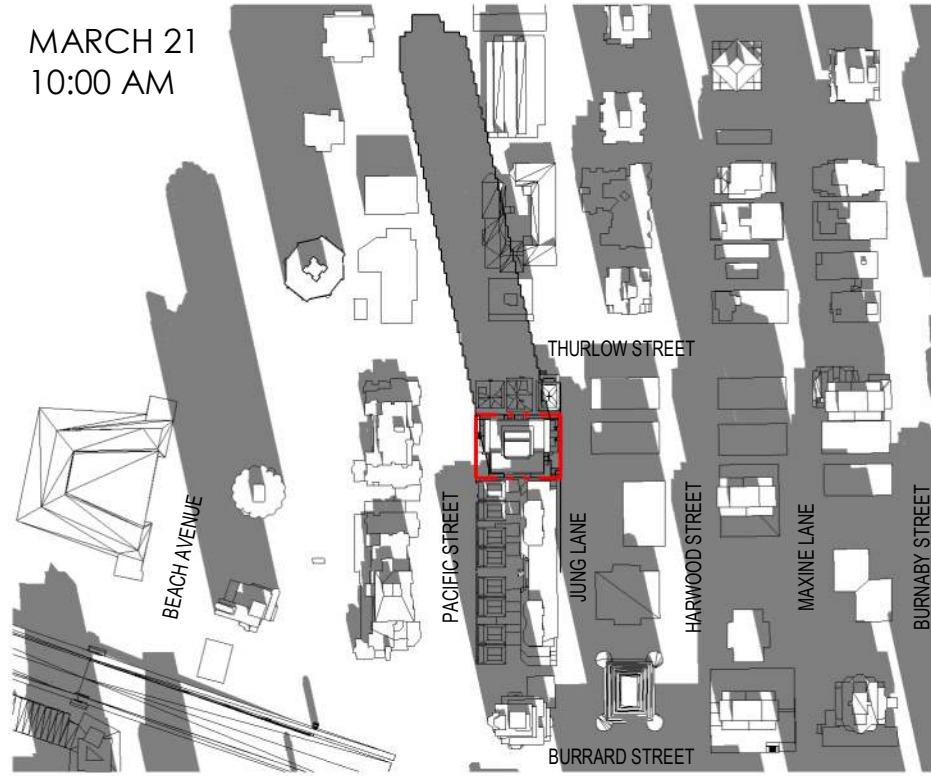


JUNG LANE ELEVATION

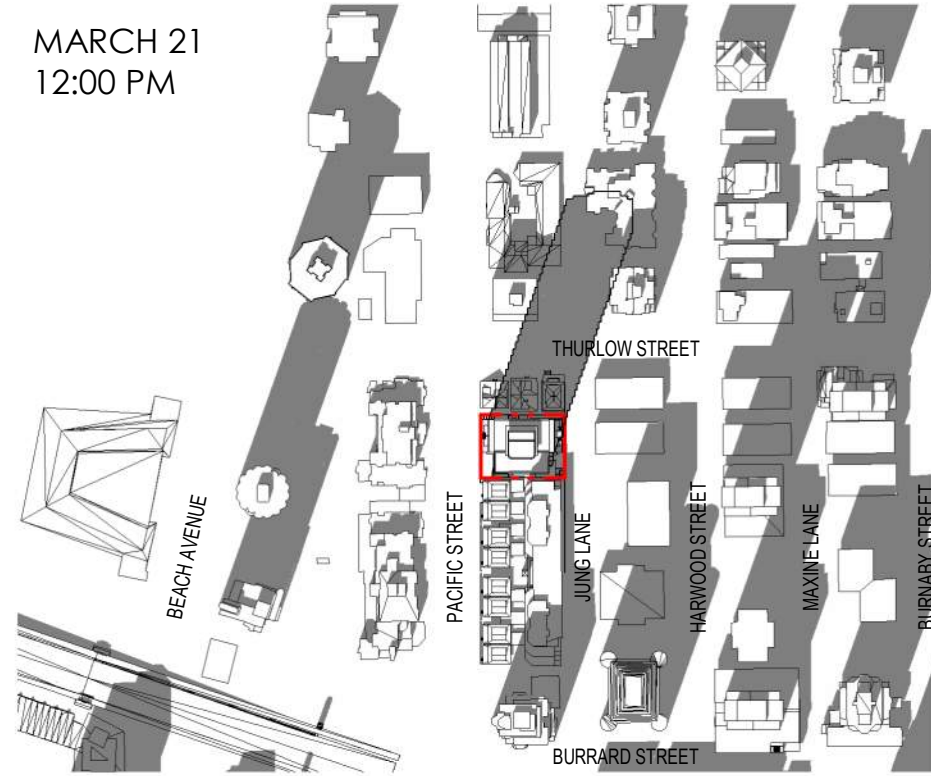


SHADOW STUDY

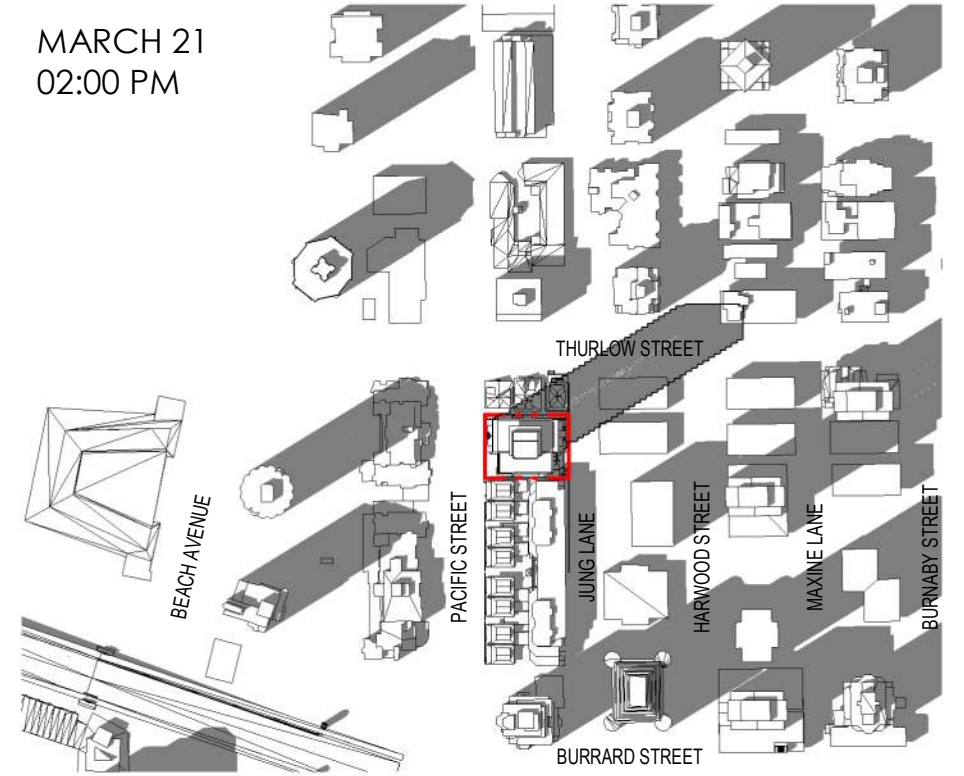
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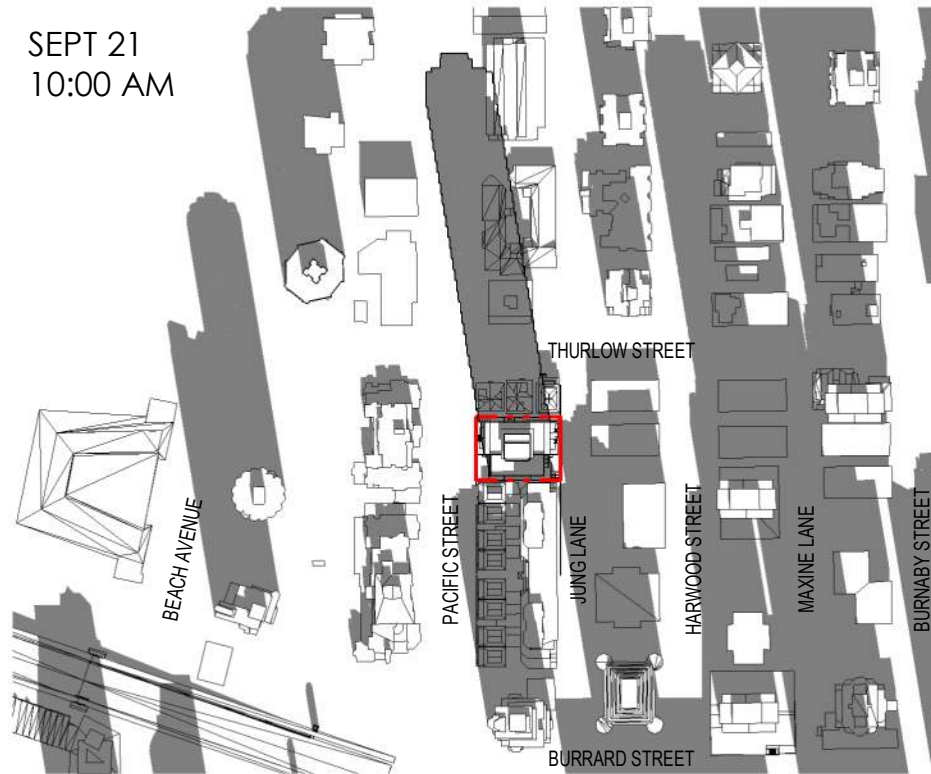
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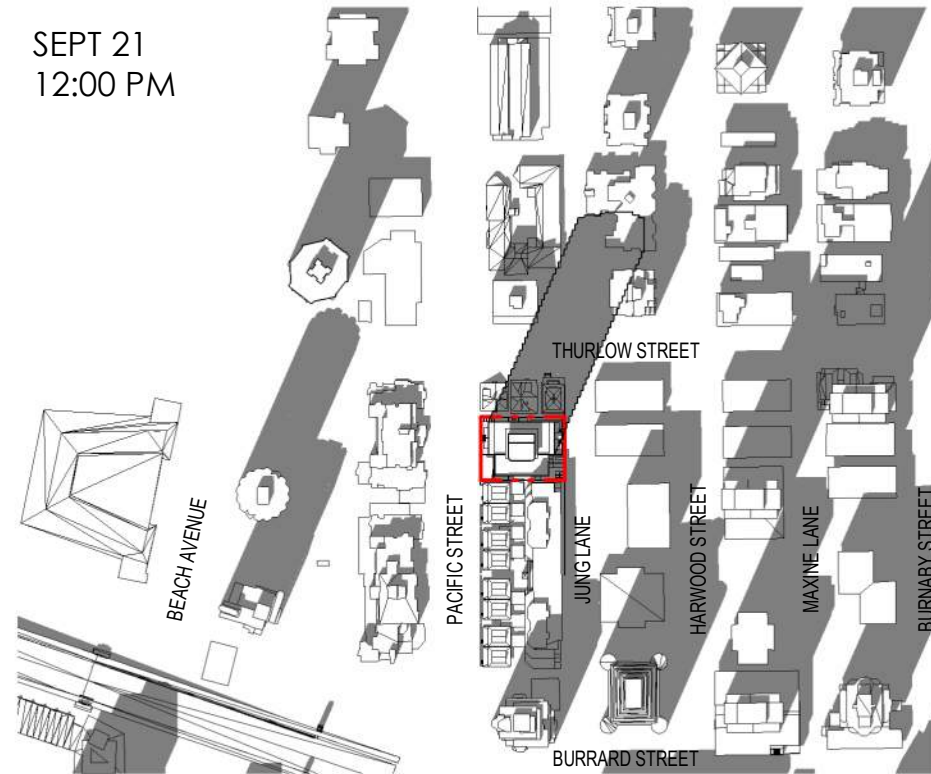
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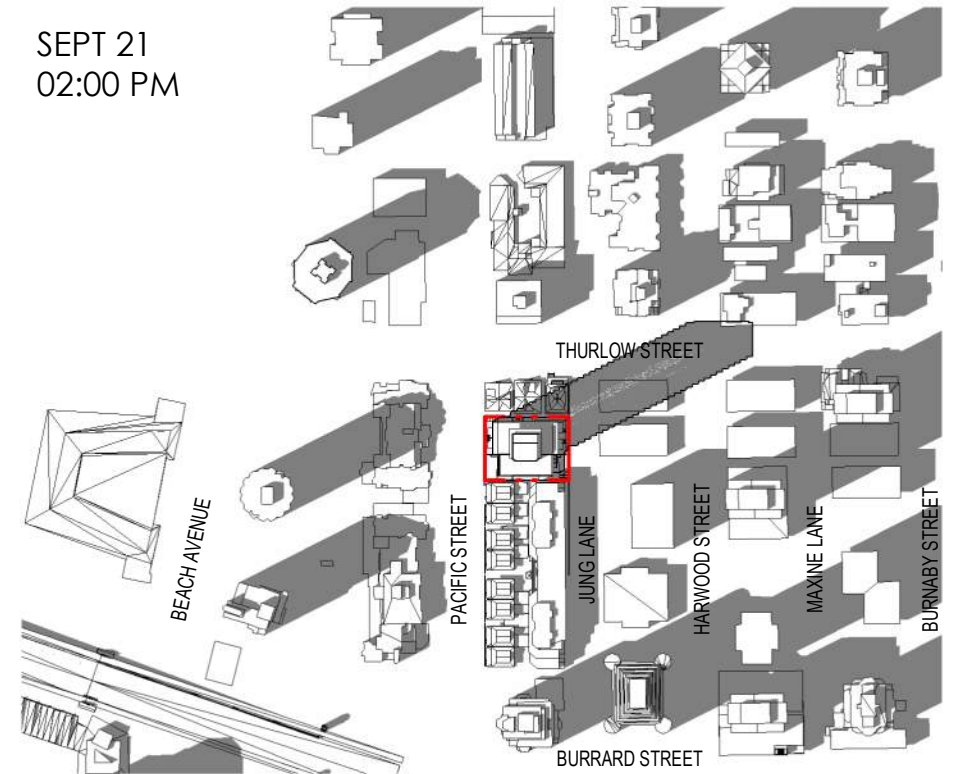
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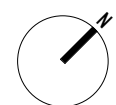
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CONTEXT MAP



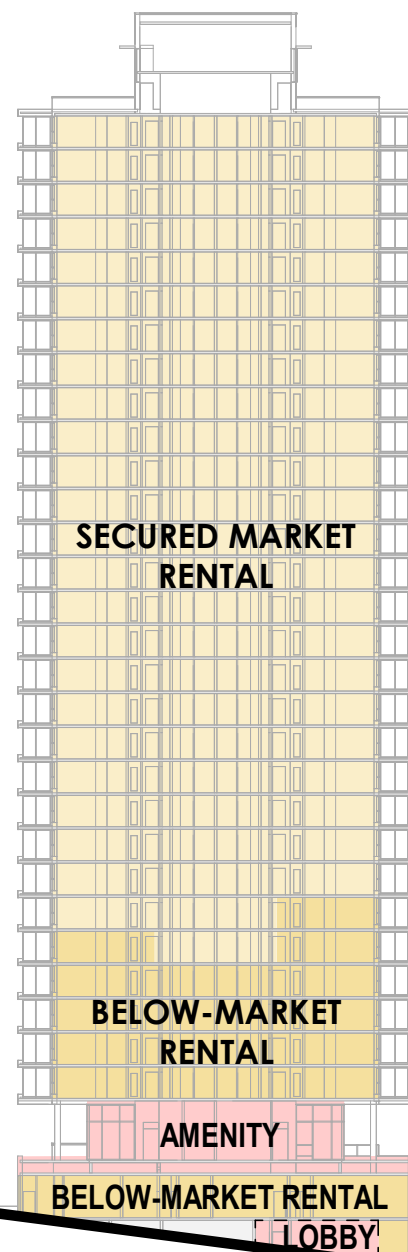
DESIGN INTENT

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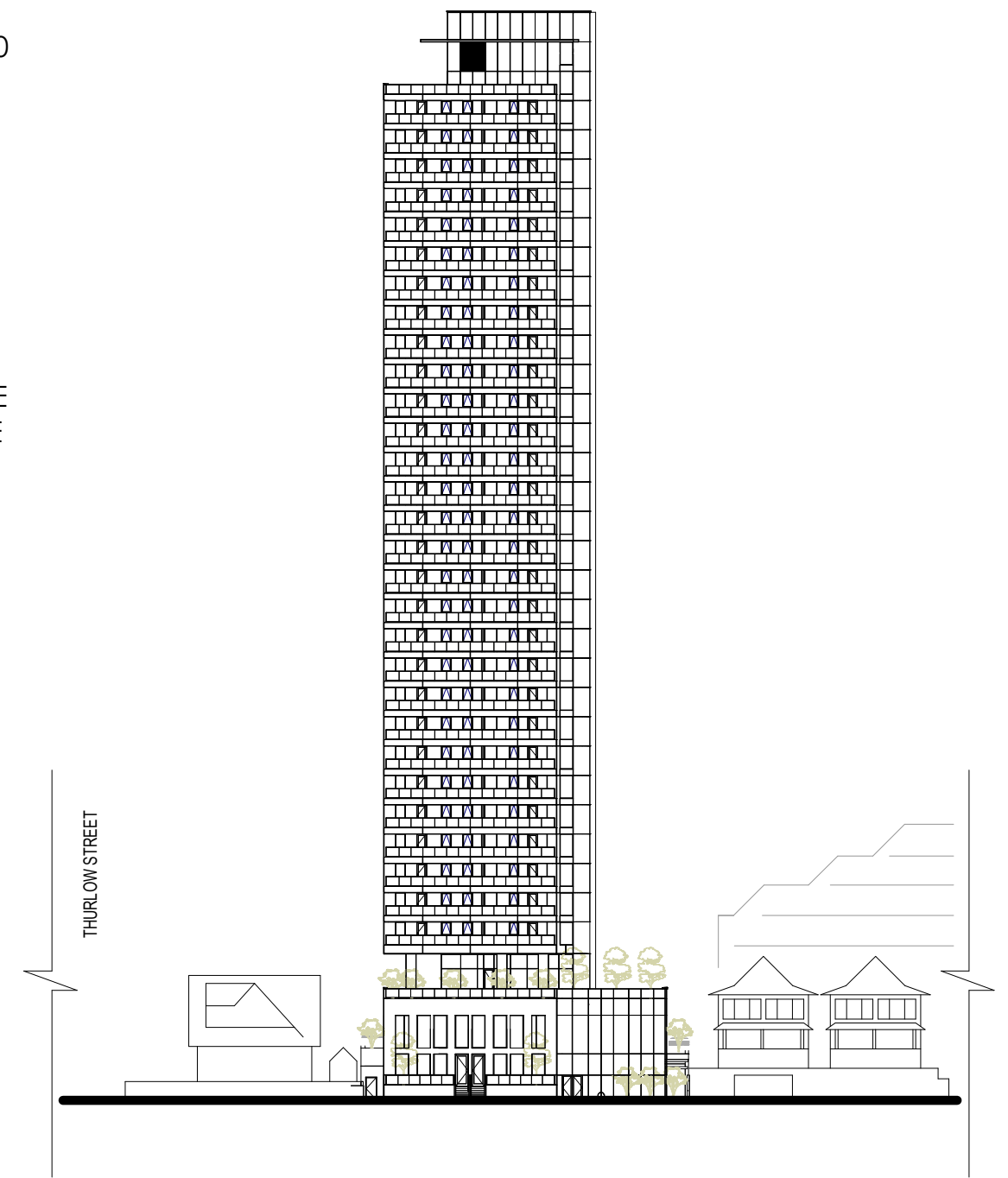
TAKING ADVANTAGE OF THE SITE'S PRIME LOCATION WITHIN THE WEST END NEIGHBOURHOOD, THIS PROJECT PROPOSES TO ADD MUCH NEEDED DENSITY IN THE FORM OF A 32 STOREY RESIDENTIAL TOWER DEVELOPMENT THAT INCLUDES A TOTAL OF 180 UNITS WITH 20% BELOW-MARKET RENTAL (BMR) UNITS AND 80% SECURED MARKET RENTAL (SMR) UNITS. THIS ADDRESSES CITY COUNCIL'S OBJECTIVES FOR MORE AFFORDABLE AND SECURED RENTAL HOUSING.

OVERALL DESIGN

THE EXPRESSION OF THE PROPOSED DEVELOPMENT IS INTENDED TO MARRY THE SCALES OF THE WEST END HIGH RISES, WITH THE SMALLER SCALE CHARACTER OF THE HERITAGE BUILDINGS ON THE NEIGHBOURING PROPERTIES, TO CREATE AN ENSEMBLE WITHIN A BUILDING FORM THAT IS EXPERIENTIALLY URBAN SCALED WHEN VIEWED FROM A DISTANCE WHILE FEELING MUCH MORE NEIGHBOURHOOD APPROPRIATE WHEN EXPERIENCED FROM THE STREET. THIS EXPERIENCE IS CREATED BY INTENTIONALLY PLACING THE AMENITY SPACE ON LEVEL 3 WITH ITS OVERHEIGHT GLASS WALLS SET BACK SIGNIFICANTLY FROM THE TOWER OUTLINE ABOVE AND BELOW. THE RESULTING RECESS PROVIDES A HORIZONTAL RELIEF AT THE SAME HEIGHT AS THE ROOF LINES OF THE NEIGHBOURING HERITAGE HOUSES THUS CREATING THE NEEDED NEIGHBOURHOOD FEEL FROM STREET LEVEL. HOWEVER, BECAUSE THE BASE BELOW THE AMENITY LEVEL HAS THE SAME FOOTPRINT AS THE TOWER ABOVE, THE OVERALL MASS SEEN FROM AFAR STILL READS AS A TOWER ANCHORED IN THE GROUND.



CROSS SECTION - PROPOSED HOUSING TYPES



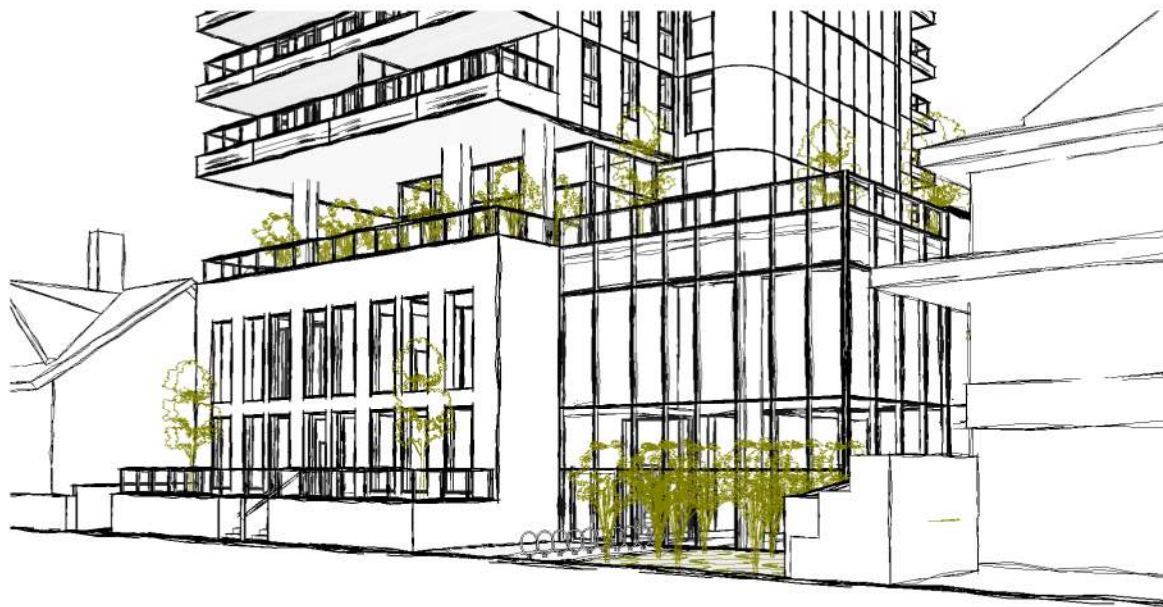
PACIFIC STREET - PROPOSED CONTEXT ELEVATION



DESIGN INTENT



VIEW FROM INTERSECTION OF PACIFIC / THURLOW ST LOOKING EAST



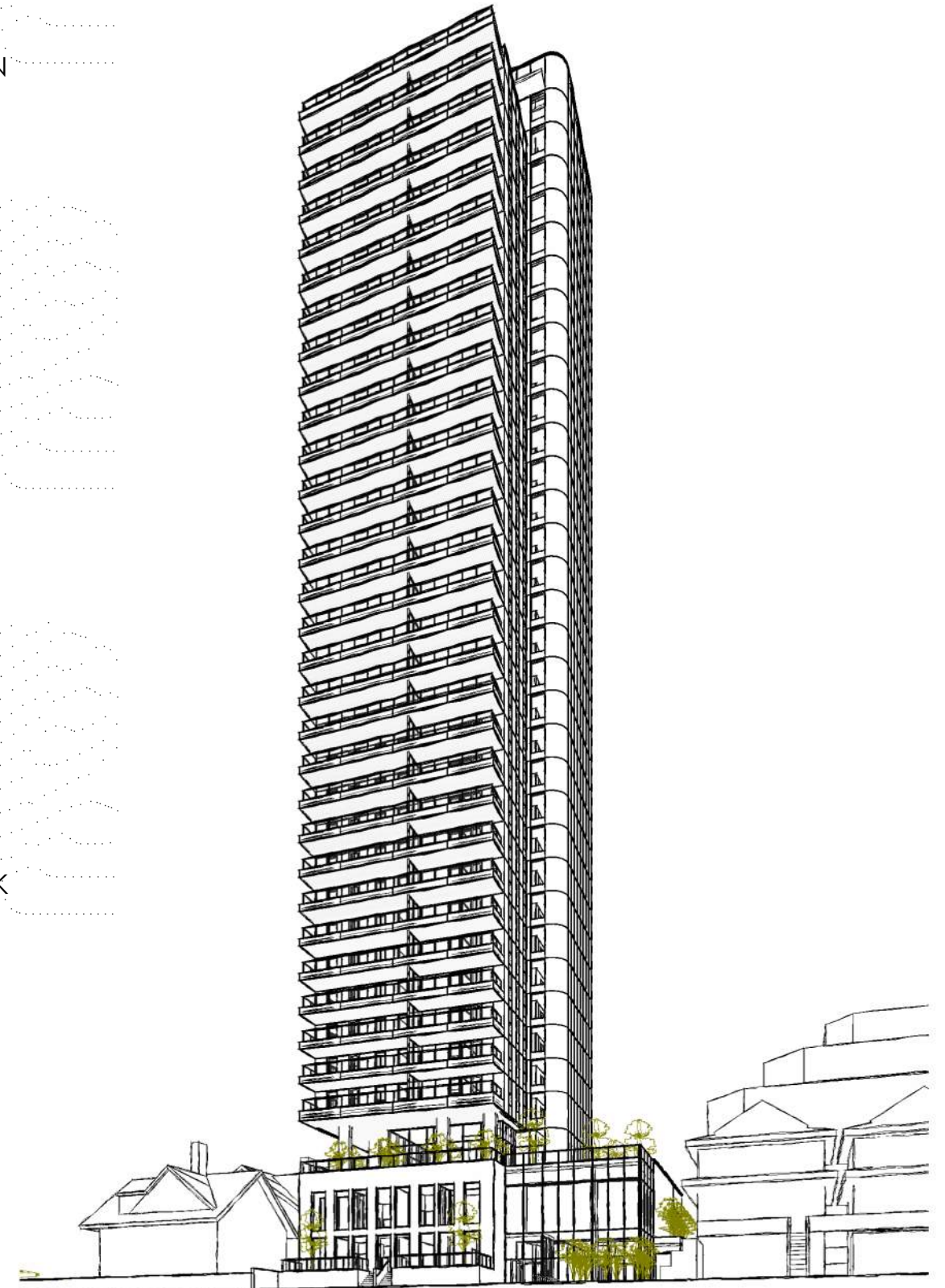
VIEW FROM PACIFIC STREET LOOKING NORTH

TOWER IN THE PARK

THE SECOND IMPORTANT PIECE OF THE DESIGN PART I IS BASED ON THE CITY POLICY TO PROVIDE A "TOWER-IN-THE-PARK" DESIGN. ALL BUILDING ELEMENTS OF THE BASE OUTSIDE OF THE TOWER FOOTPRINT ARE SET BACK SIGNIFICANTLY TO ALLOW THE TOWER TO COME DOWN TO THE GROUND. THE LOBBY AT PACIFIC STREET IS UTILIZING FULL HEIGHT GLAZING TO SET A STARK CONTRAST TO THE TOWER BASE AND THE ADDITIONAL URBAN FOREST IN FRONT OF THE LOBBY COMPLETES THE LOOK OF A TOWER-IN-THE-PARK TYPOLOGY.

PACIFIC STREET FACADE

THE DEVELOPMENT ALSO RESPECTS AND ENHANCES THE PACIFIC STREET STREETScape BY REMOVING A LARGE PART OF THE 5' HIGH RETAINING WALL CURRENTLY RUNNING ALONG THE PROPERTY LINE AND BRINGING THE LOBBY ENTRANCE DOWN TO STREET LEVEL THEREBY OPENING UP VIEWS INTO THE DEVELOPMENT AND ITS PROPOSED LUSH URBAN FOREST. TOWNHOMES FRONTING PACIFIC STREET ADD 'EYES ON THE STREET'. THE 4' HIGH PATIO WALL IS PURPOSEFULLY SET BACK FROM THE PROPERTY LINE TO ALLOW PLANTING ALONG THE BASE FOR ADDED INTEREST WHILE PROVIDING THE NEEDED PRIVACY TO THE TENANTS.



VIEW FROM DISTANCE LOOKING NORTH



DESIGN INTENT



VIEW FROM JUNG LANE AT THURLOW STREET LOOKING SOUTH



VIEW FROM JUNG LANE LOOKING WEST

JUNG LANE FACADE

THE DEVELOPMENT ALSO RESPECTS AND ENHANCES THE LANE STREETSCAPE BY SETTING BACK THE PRIVATE PATIO WALLS 5' FROM THE PROPERTY LINE, ALLOWING FOR A GENEROUS LANDSCAPED BUFFER ZONE WITH A ROW OF LARGE TREES AT GRADE. HEDGES AND OTHER PLANTED AREAS COMPLEMENT THE TREES AND PROVIDE INTEREST AS WELL AS THE NECESSARY PRIVACY.

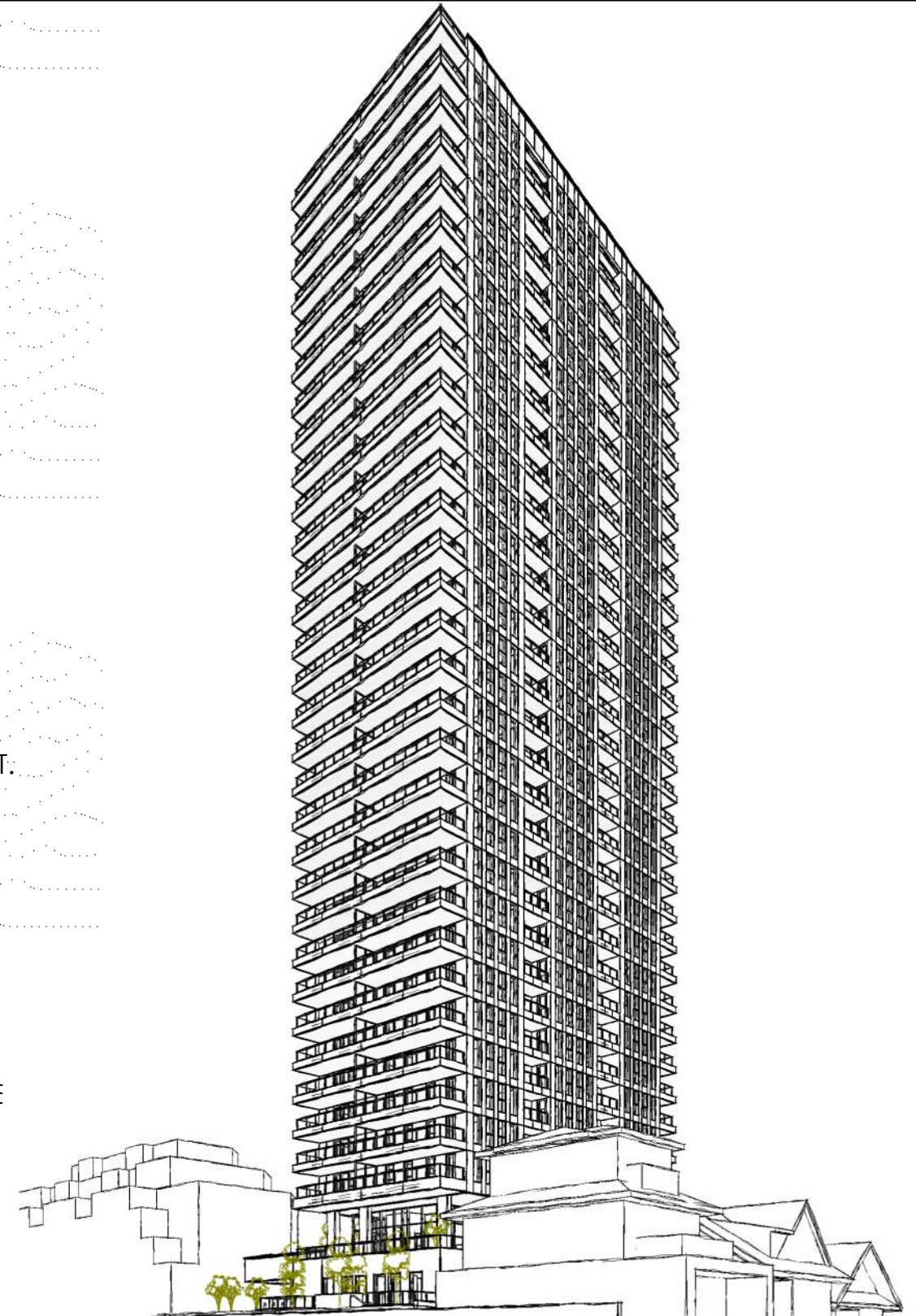
THE TWO TOWNHOMES FRONTING JUNG LANE ADD 'EYES ON THE STREET' AND GIVE THE PROJECT A WELCOMING APPEARANCE FROM THE LANE.

LOADING AND PARKING ACCESS

PARKING AND LOADING ACCESS HAVE BEEN LOCATED AT THE LANE LEVEL. DUE TO SITE CONSTRAINTS IT WAS VIRTUALLY IMPOSSIBLE TO BRING A PARKING RAMP DOWN TO THE BELOW GRADE LEVELS THUS REQUIRING THE TEAM TO INTRODUCE TWO CAR ELEVATORS AS WELL AS A DEDICATED BICYCLE ELEVATOR TO THE PROJECT. TO AVOID THE TYPICAL UTILITARIAN APPEARANCE OF A LANE FACADE THE PROPOSAL INTEGRATES THE PARKING / BICYCLE ELEVATORS INTO THE BUILDING MASSING HIDDEN BEHIND THE LANE FACING RESIDENTIAL UNITS.

THE LOADING STALL IS ALSO INTEGRATED INTO THE BUILDING MASSING AND TUCKED INTO THE BACK OF THE BASE HIDDEN BEHIND THE LARGE OVERHANG OF THE OUTDOOR AMENITY SPACE ABOVE AS WELL AS A CLUSTER OF TREES AT LANE LEVEL.

TO FURTHER ENHANCE THE QUALITY OF THE LANE, DECORATIVE PAVING WITH CONCRETE BANDING AND EXTRA LIGHTING IS PROPOSED THROUGHOUT THE SHARED VEHICLE AND PEDESTRIAN AREAS.



VIEW FROM DISTANCE LOOKING SOUTH



DESIGN INTENT

TYPICAL TOWER FLOOR PLATE - OPPORTUNITIES

NATURAL LIGHT AND VIEWS

WITH CHALLENGES ALWAYS COME OPPORTUNITIES. WITH THE POLICY AND BY-LAWS LEAVING NO ROOM FOR THE TOWER PLATE AND CORE LOCATION TO MOVE, THE ELEVATOR CORE HAD TO BE EXPOSED. WHILE THIS REDUCES THE EFFICIENCY OF THE FLOOR PLATE, IT OPENS UP AN OPPORTUNITY TO SIGNIFICANTLY ENHANCE THE TENANTS EXPERIENCE WHEN LEAVING/RETURNING TO THEIR HOMES. THROUGH THE INTEGRATION OF LARGE WINDOWS ON EITHER SIDE OF THE ELEVATOR LOBBY NATURAL LIGHT CAN PENETRATE DEEP INTO THE COMMON CORRIDORS AND IT OPENS UP SPECTACULAR VIEWS OF VANCOUVER AND ITS NATURAL BEAUTY EVERY TIME A TENANT IS USING THE COMMON CORRIDOR.



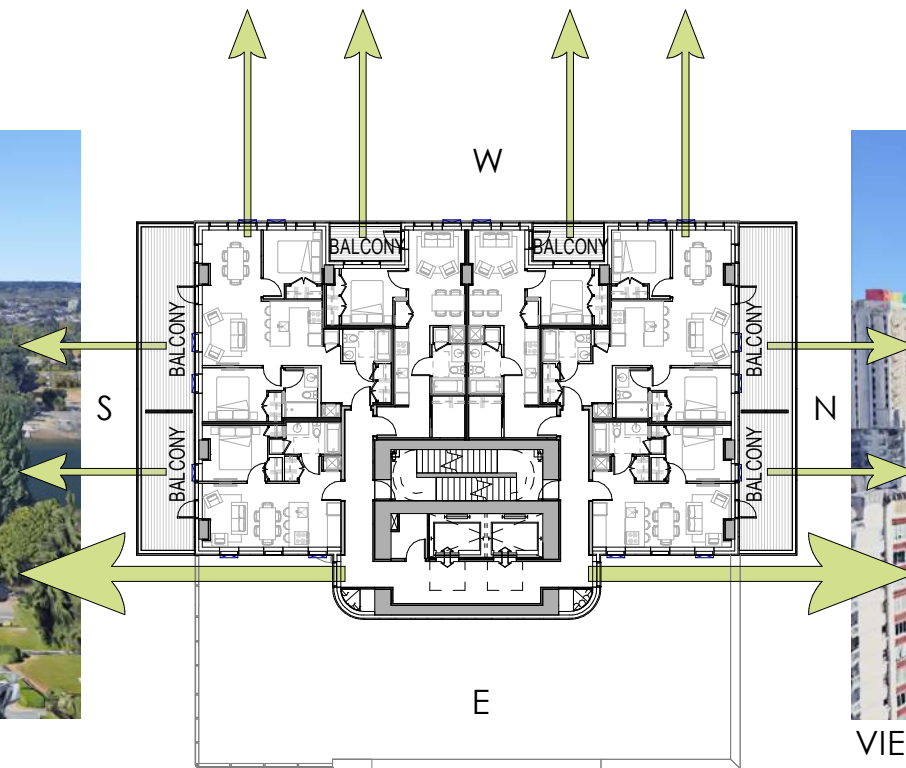
VIEWS OF ENGLISH BAY AND THE NORTH SHORE MOUNTAINS FROM PRIVATE SUITES AND BALCONIES FACING SOUTH/WEST

LARGE BALCONIES

ANOTHER OPPORTUNITY PRESENTED ITSELF THROUGH THE 85' MAXIMUM TOWER DEPTH LIMITATION SET IN THE ADMINISTRATIVE BULLETIN 'WEST END – TOWER FORM, SITING, AND SETBACKS'. THE RESTRICTED TOWER DEPTH LEFT A GREAT DISTANCE TO THE MINIMUM FRONT/BACK YARD SETBACKS. THE AREA WAS USED TO CREATE LARGE OVERSIZED BALCONIES ON THE NORTH/EAST AND SOUTH/WEST SIDES. THESE BALCONIES BECOME AN EXTENSION OF THE LIVING ROOMS AND PROVIDE AMPLE EXTRA SPACE FOR LIVING AND ENTERTAINMENT DURING THE SUMMER MONTHS. ON THE SOUTH/WEST SIDE THE BALCONIES ALSO ACT AS SUNSHADES BLOCKING THE SUN FROM OVERHEATING THE INTERIOR OF THE SUITES.



VIEW FROM ELEVATOR LOBBIES LOOKING SOUTH/WEST TOWARDS BURRARD BRIDGE AND KITSILANO BEYOND.



VIEW FROM ELEVATOR LOBBIES LOOKING NORTH/EAST TOWARDS THE DOWNTOWN CORE AND NORTH SHORE MOUNTAINS BEYOND.

PROJECT STATISTICS

SITE

SITE AREA: 12,972 SF

BUILDING

GROSS FLOOR BUILDING AREA: 151,453 SF

FLOOR SPACE AREA: 145,185 SF

PROPOSED FLOOR SPACE RATIO: 11.19

MAXIMUM BUILDING HEIGHT: 300'-0"

SETBACKS:	ALLOWED	PROPOSED
FRONT YARD:	12'-1 1/2" (3.7m)	12'-1 1/2" (3.7m)
SIDE YARD:	6'-10 1/2" (2.1m) PER RM-5A 12'-1 1/2" (3.7m) PER BULLETIN	6'-10 1/2" (2.1m)
REAR YARD:	6'-10 1/2" (2.1m)	15'-10" (4.8m)

TOWER FLOOR PLATE SIZE 4,696 SF (LEVELS 04-32)

VEHICLE PARKING

100 TOTAL
RESIDENTIAL SPACES: **95** RESIDENTIAL SPACES
VISITOR SPACES: **5** VISITOR SPACES

BICYCLE PARKING

344 TOTAL
BELOW GRADE SECURE SPACES: 334 BICYCLE SPACES
AT GRADE VISITOR SPACES: 10 BICYCLE SPACES

RESIDENTIAL LOADING

3 TOTAL
PASSENGER LOADING 2 PASSENGER SPACES (AT LANE LEVEL)
TRUCK LOADING 1 TRUCK SPACE (AT LANE LEVEL)

RESIDENTIAL UNIT MIX

180 TOTAL

36 BELOW-MARKET RENTAL UNITS (20.0%)
144 SECURED MARKET RENTAL UNITS (80.0%)

117 ONE BEDROOM UNITS (65.0%)
62 TWO BEDROOM UNITS (34.4%)
1 THREE BEDROOM UNIT (0.6%)
(63 FAMILY UNITS (35.0%))

THE PROJECT

TAKING ADVANTAGE OF THE SITE'S PRIME LOCATION WITHIN THE WEST END NEIGHBOURHOOD THIS PROJECT PROPOSES TO ADD MUCH NEEDED DENSITY IN FORM OF A RESIDENTIAL 32 STOREY TOWER DEVELOPMENT THAT INCLUDES A TOTAL OF 180 UNITS CONSISTING OF 20% BELOW-MARKET RENTAL (BMR) UNITS AND 80% SECURED MARKET RENTAL (SMR) UNITS. THIS ADDRESSES CITY COUNCIL'S OBJECTIVES FOR MORE AFFORDABLE AND SECURED RENTAL HOUSING.

HOUSING

THIS APPLICATION WAS SUBMITTED UNDER POLICY 'CRITERIA FOR 100% SECURED RENTAL AND BELOW-MARKET HOUSING AS AN ALTERNATIVE TO INCLUSIONARY SOCIAL HOUSING IN THE BARRARD CORRIDOR' AND REQUIRES THE FOLLOWING:

- 100% SECURED RENTAL UNITS
- MIN 20% BELOW-MARKET RENTAL (BMR) UNITS
- MIN 20% OF RESIDENTIAL FLOOR AREA TO BE SECURED BMR

THE PROPOSED UNIT MIX MEETS THE CITY OF VANCOUVER'S REQUIREMENT FOR PROVIDING AN ADEQUATE PERCENTAGE OF FAMILY-FRIENDLY UNITS WITHIN THE DEVELOPMENT (35%). EACH UNIT WILL HAVE SECURED BULK STORAGE, EITHER IN-SUITE OR WITHIN THE UNDERGROUND PARKADE.

AMENITIES

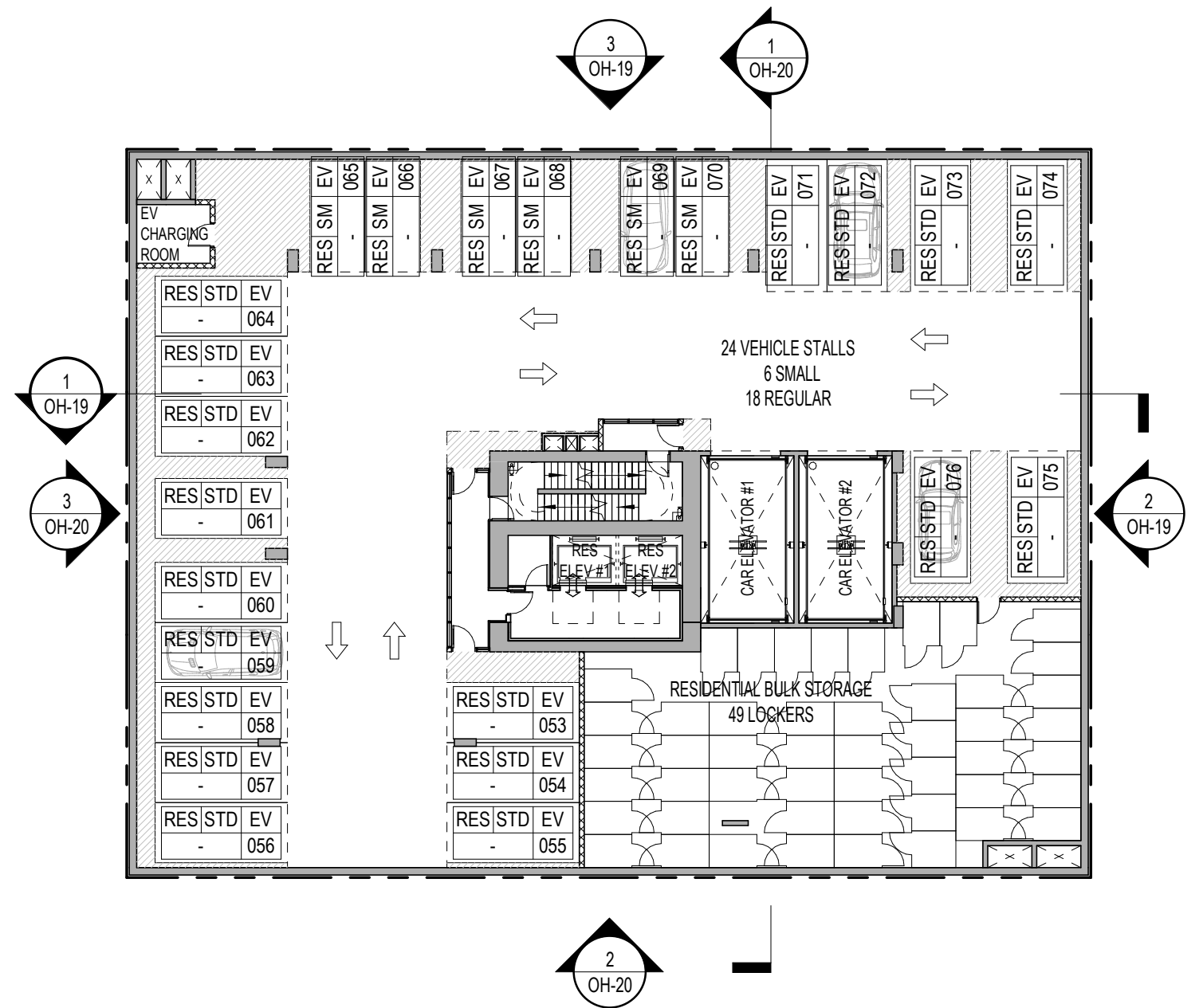
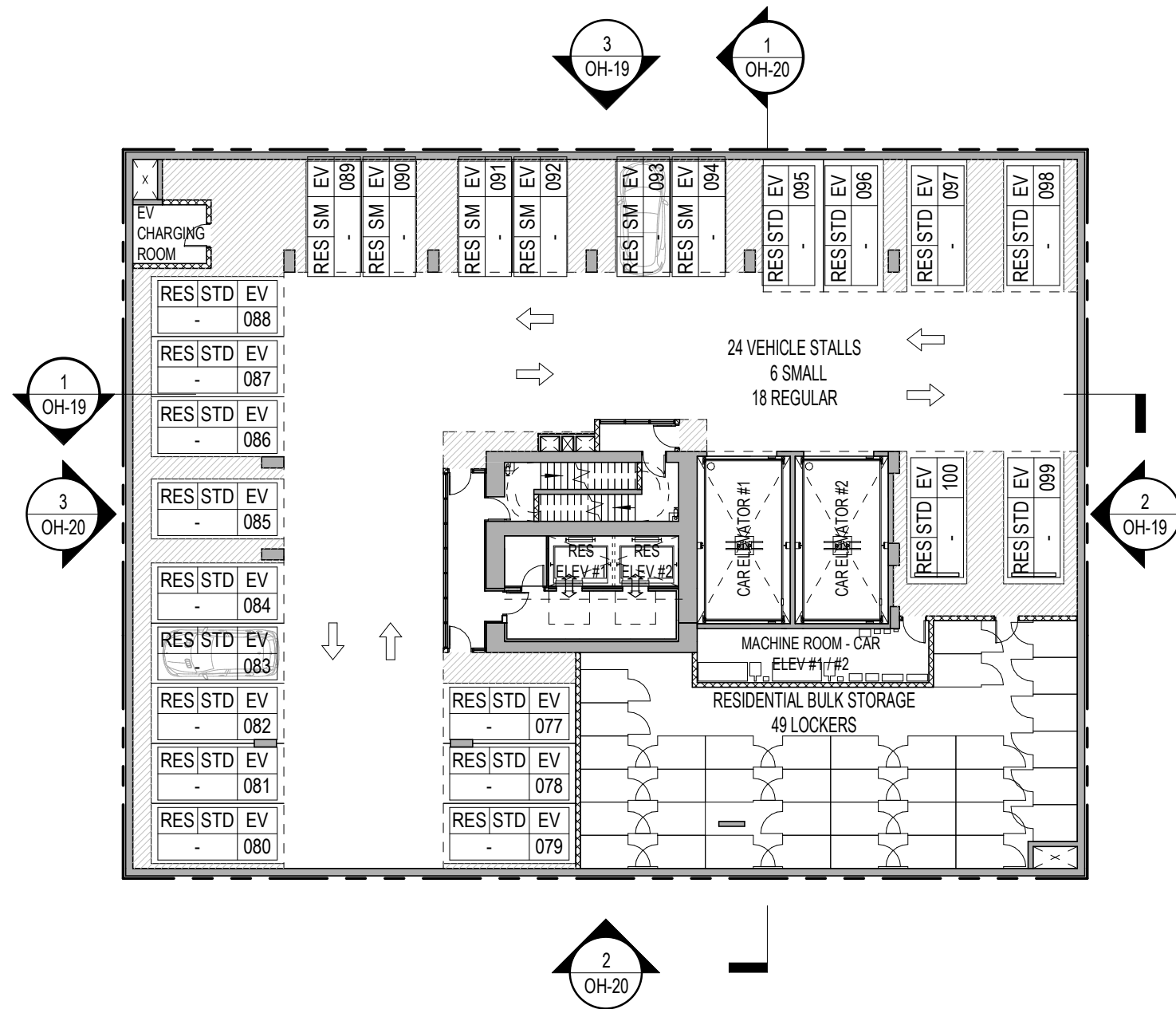
THE RESIDENTS OF THE DEVELOPMENT WILL ENJOY THE BENEFITS OF EXTENSIVE ON-SITE AMENITIES LOCATED ON THE DEDICATED AMENITY LEVEL 3, WITH BARRIER-FREE UNIVERSAL ACCESS TO INDOOR AND OUTDOOR AMENITIES. THE PROJECT INCLUDES 2,662 SF TOTAL INDOOR AMENITY SPACE AS WELL AS 5,043 SF OF OUTDOOR AMENITY AREAS INCLUDING SOCIAL SPACES, CHILDREN'S PLAY ZONE, URBAN AGRICULTURE, A LARGE GYM AND OUTDOOR EXERCISE AREAS.

PARKING

ACCESS TO ALL PARKING FACILITIES WILL BE PROVIDED FROM THE LANE. THE PROJECT WILL HAVE TWO DEDICATED CAR ELEVATORS AS WELL AS ONE DEDICATED BICYCLE ELEVATOR. THE CAR ELEVATORS WILL GIVE RESIDENTS AND VISITORS ACCESS TO FIVE LEVELS OF BELOWGRADE PARKING. THE TOTAL NUMBER OF PARKING AND BICYCLE SPACES MEETS THE REQUIREMENTS OF THE VANCOUVER PARKING BY-LAW, WITH A REDUCTION PROPOSED FOR THE HIGH LEVEL OF TRANSIT ACCESSIBILITY FROM THE SITE. THE SECURED RESIDENT BICYCLE PARKING AT LEVEL P1 WILL BE ACCESSED FROM THE LANE THROUGH THE DEDICATED BIKE ELEVATOR. VISITOR BICYCLE STALLS WILL BE LOCATED OUTSIDE OF THE BUILDING LOBBY AT PACIFIC STREET.

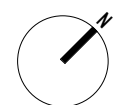


FLOOR PLANS

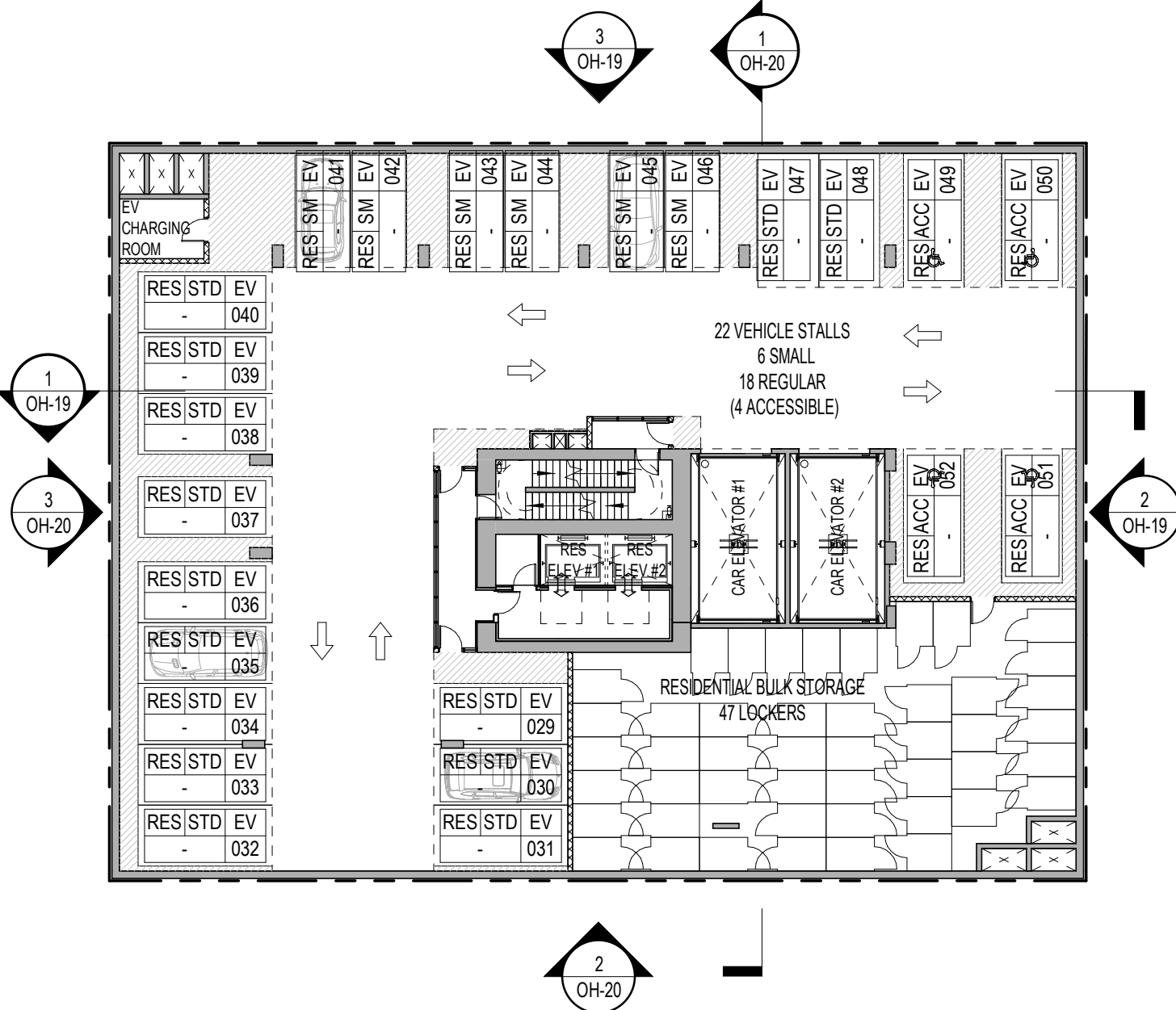


PARKING PLAN LEVEL P5

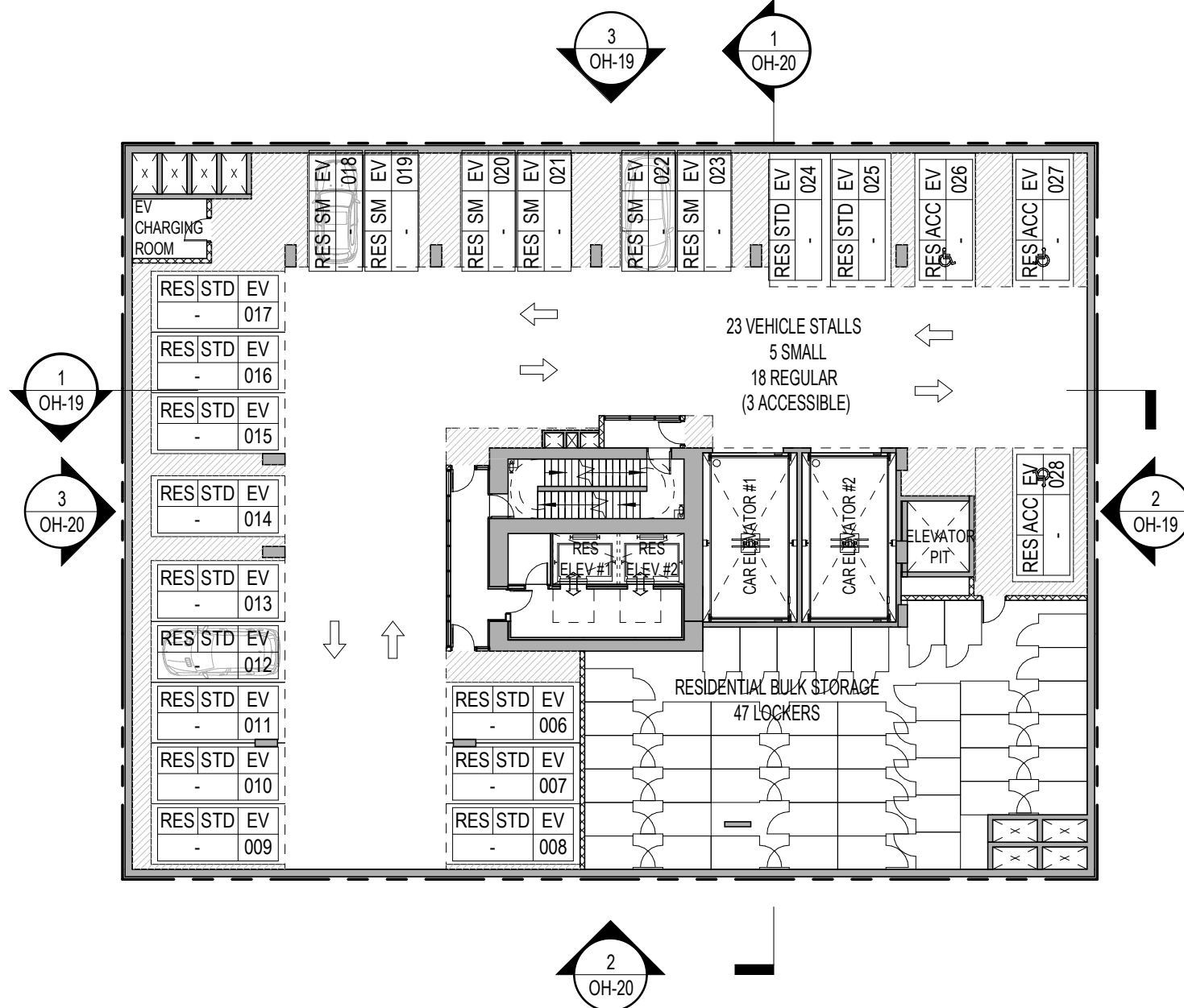
PARKING PLAN LEVEL P4



FLOOR PLANS



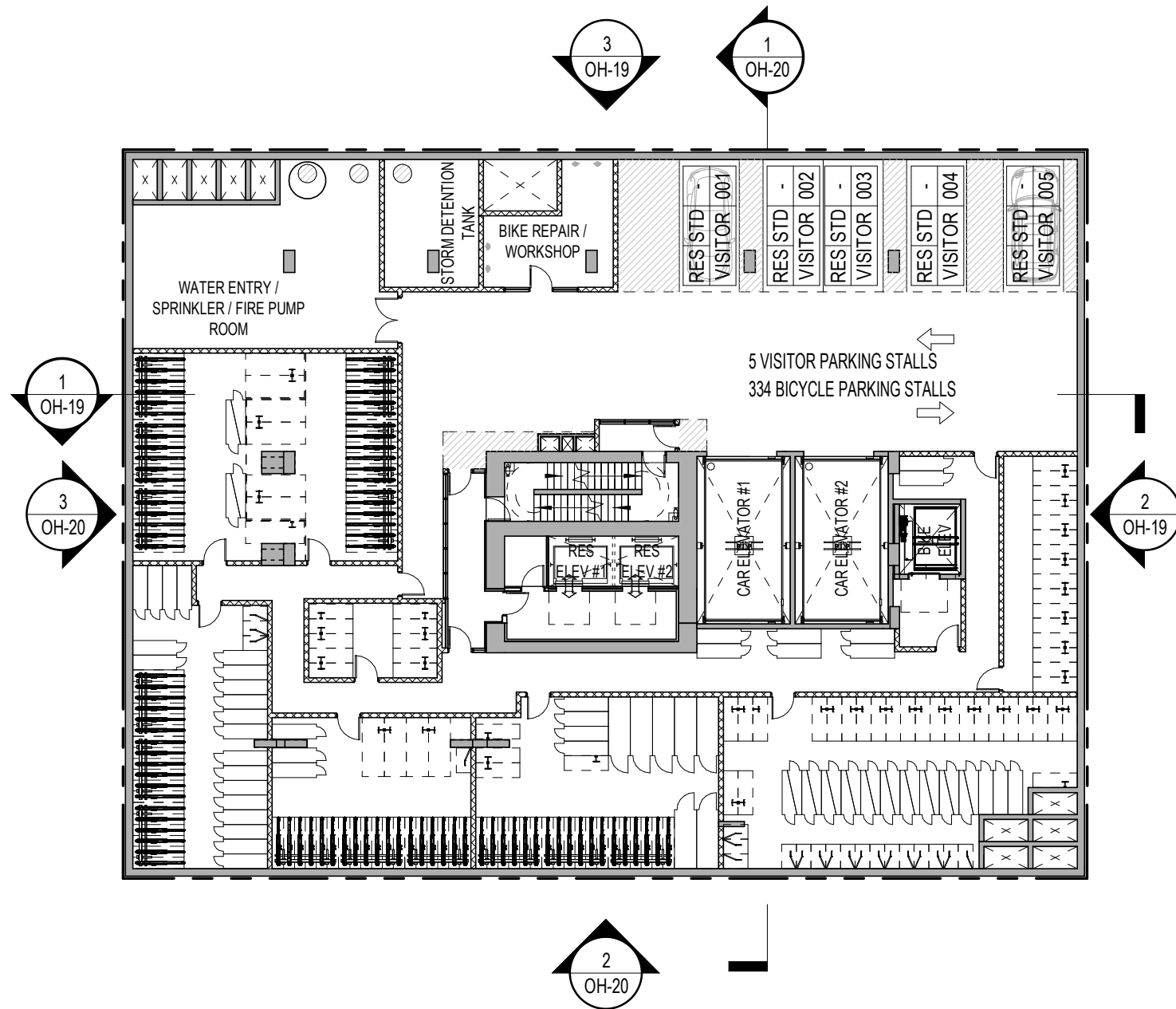
PARKING PLAN LEVEL P3



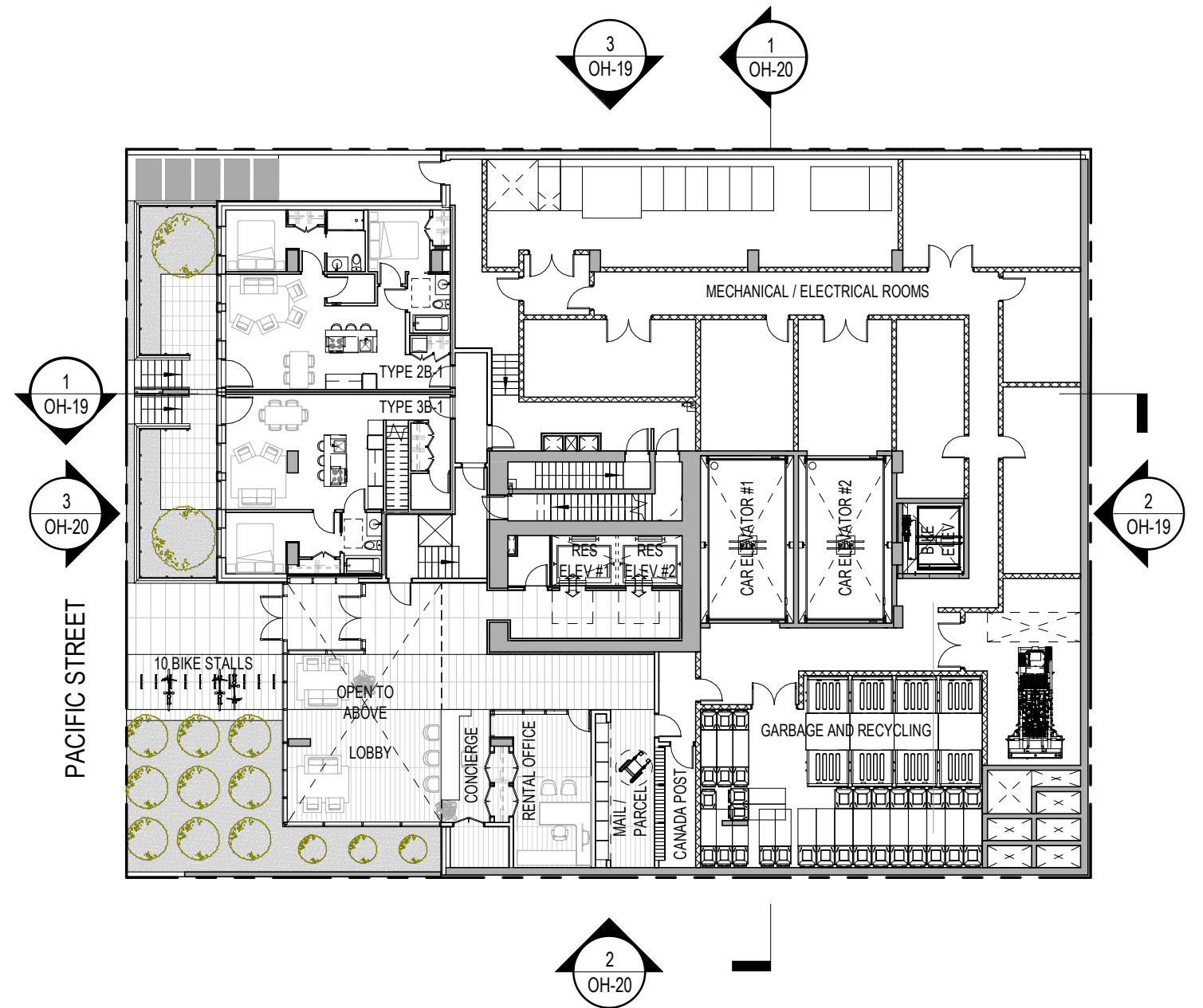
PARKING PLAN LEVEL P2



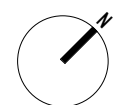
FLOOR PLANS



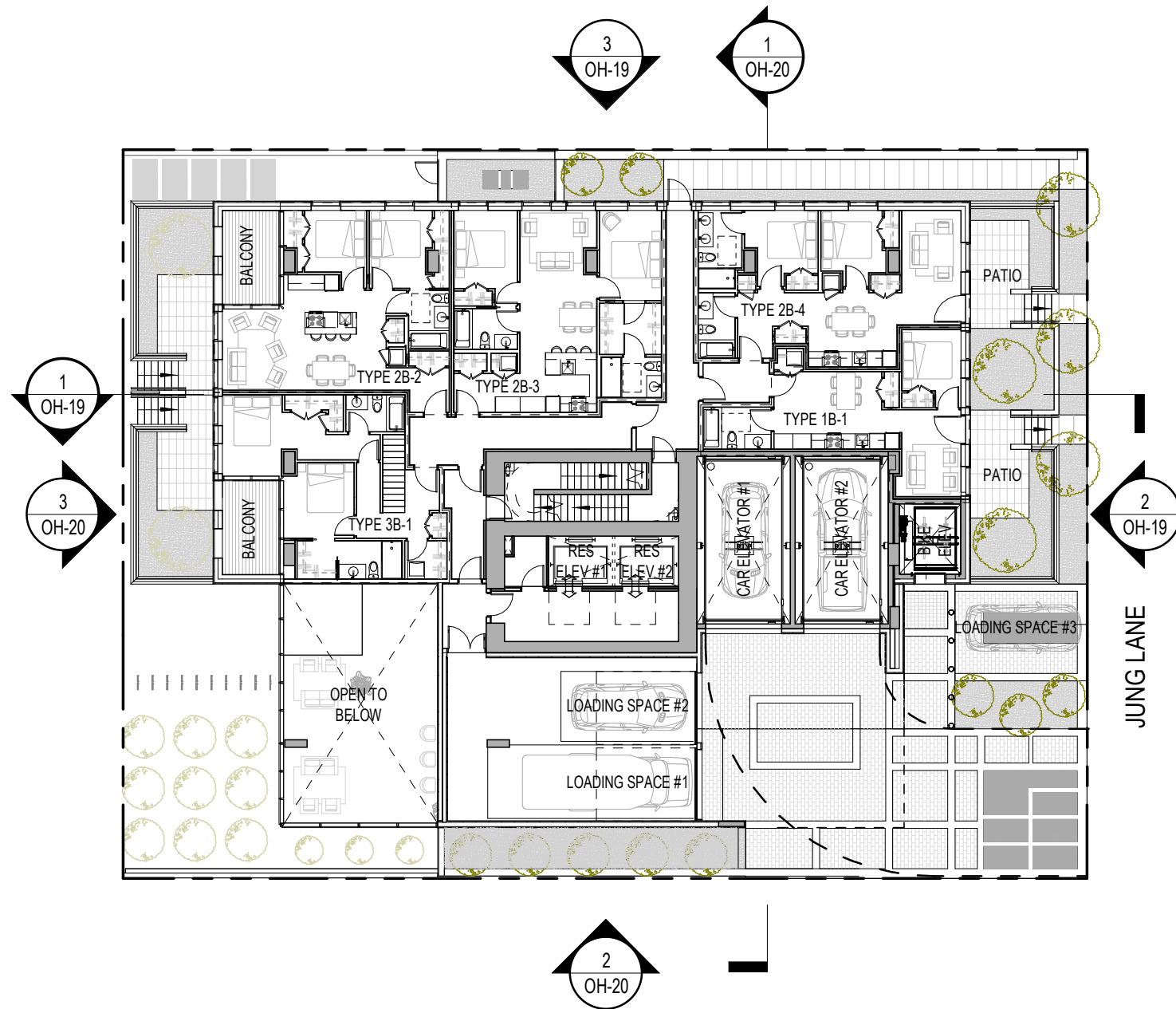
PARKING PLAN LEVEL P1



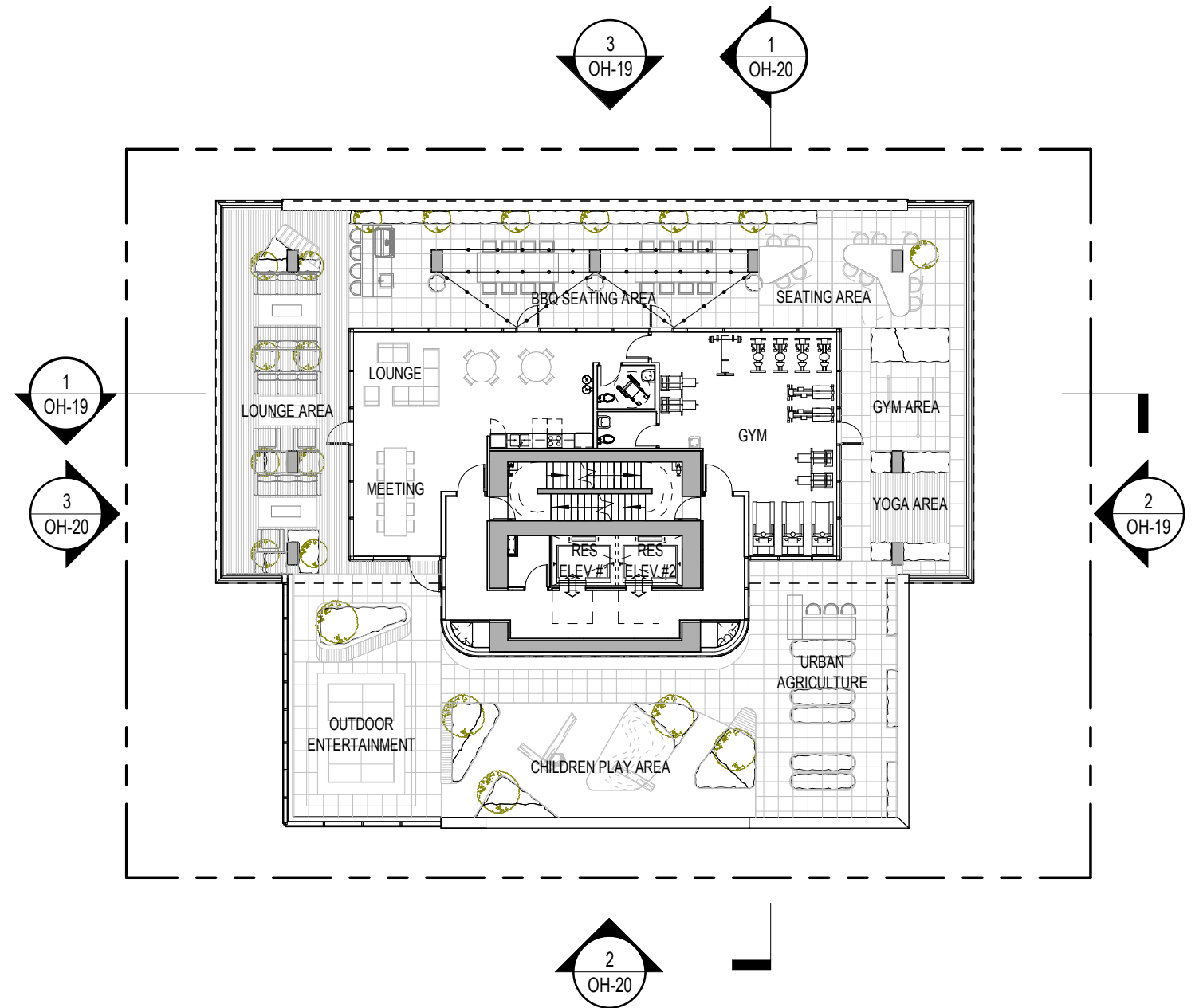
FLOOR PLAN LEVEL PACIFIC STREET



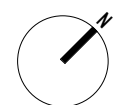
FLOOR PLANS



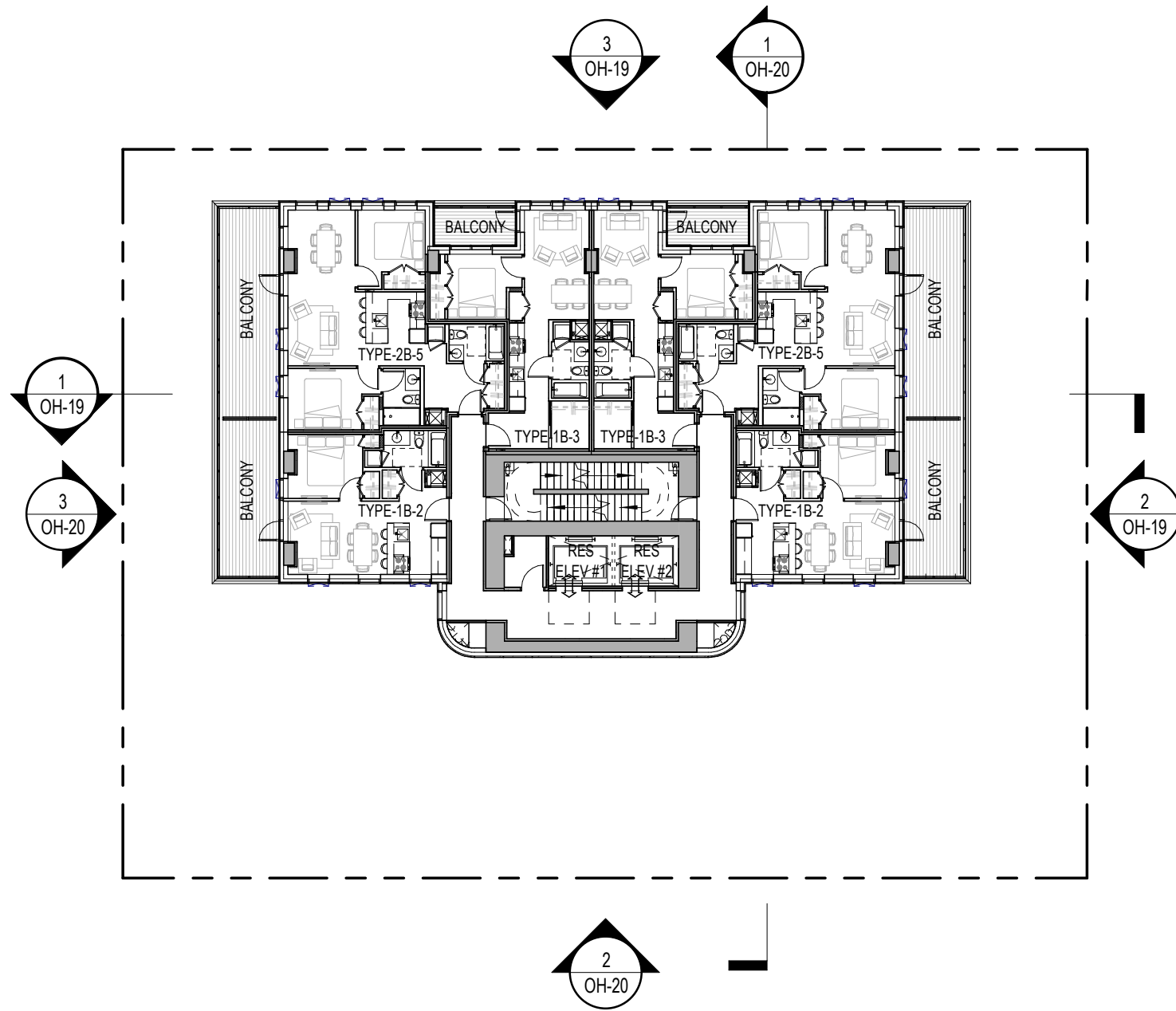
FLOOR PLAN LEVEL JUNG LANE



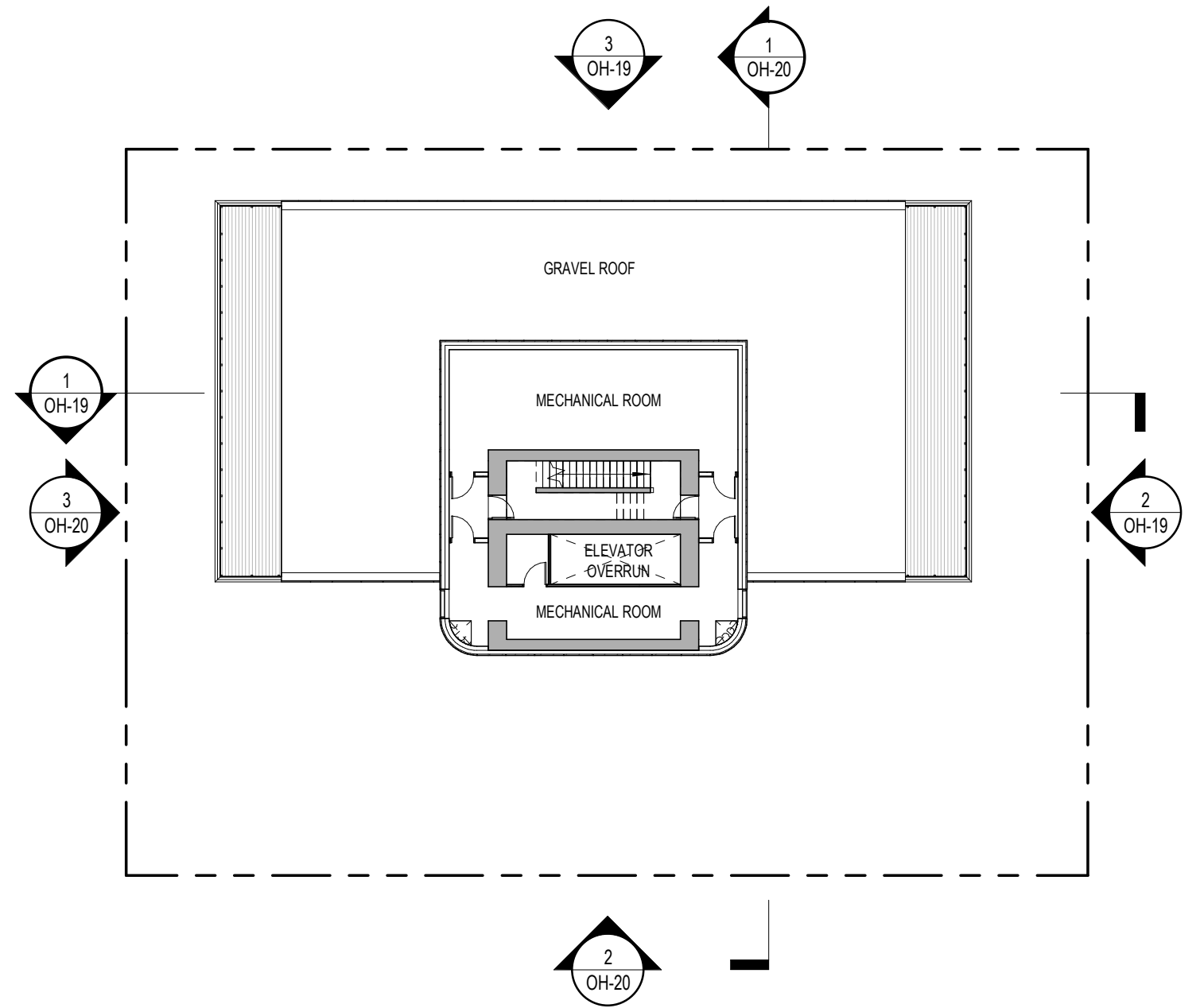
FLOOR PLAN LEVEL AMENITY



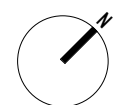
FLOOR PLANS



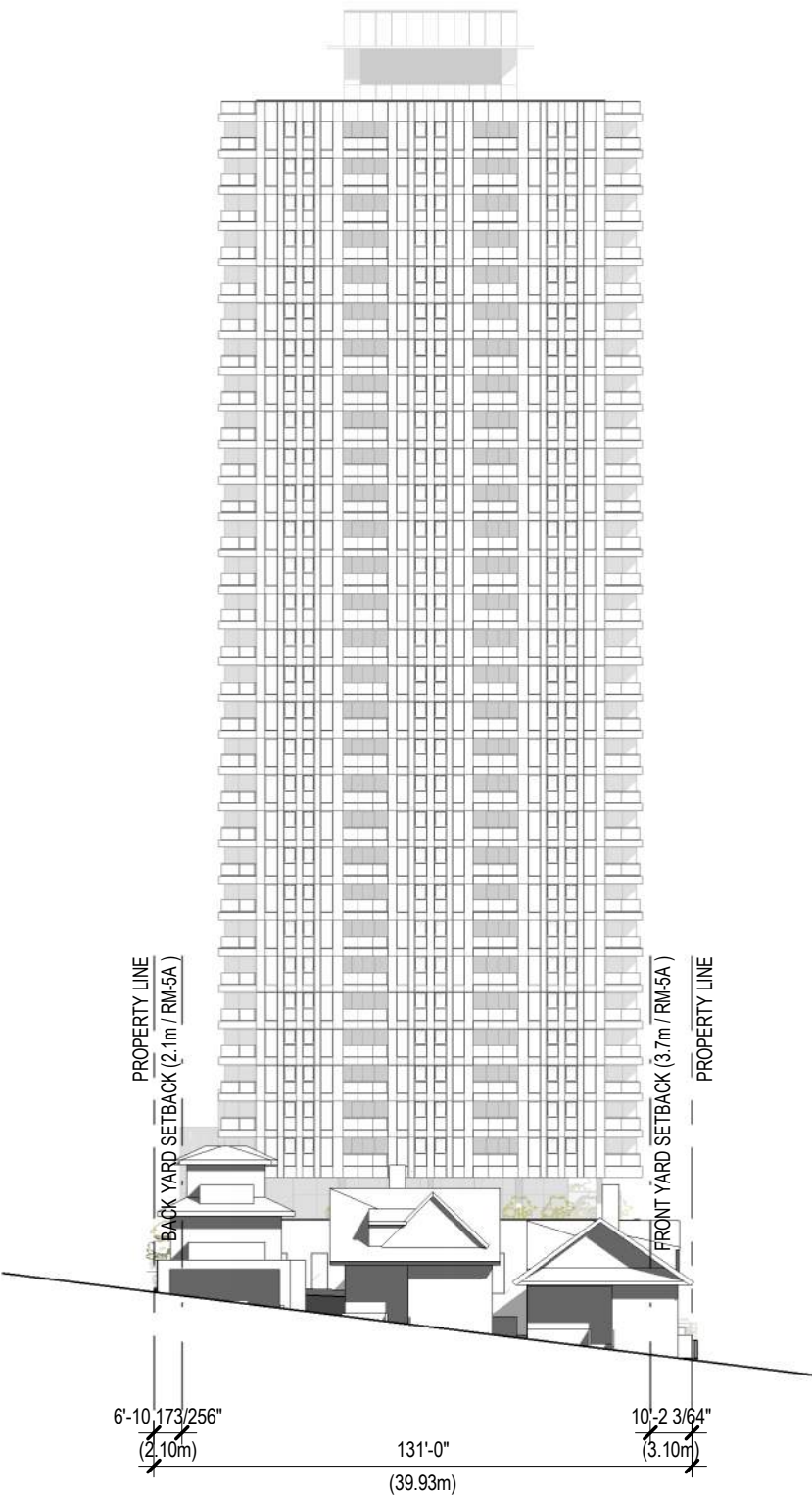
FLOOR PLAN TYPICAL LEVELS 04-32



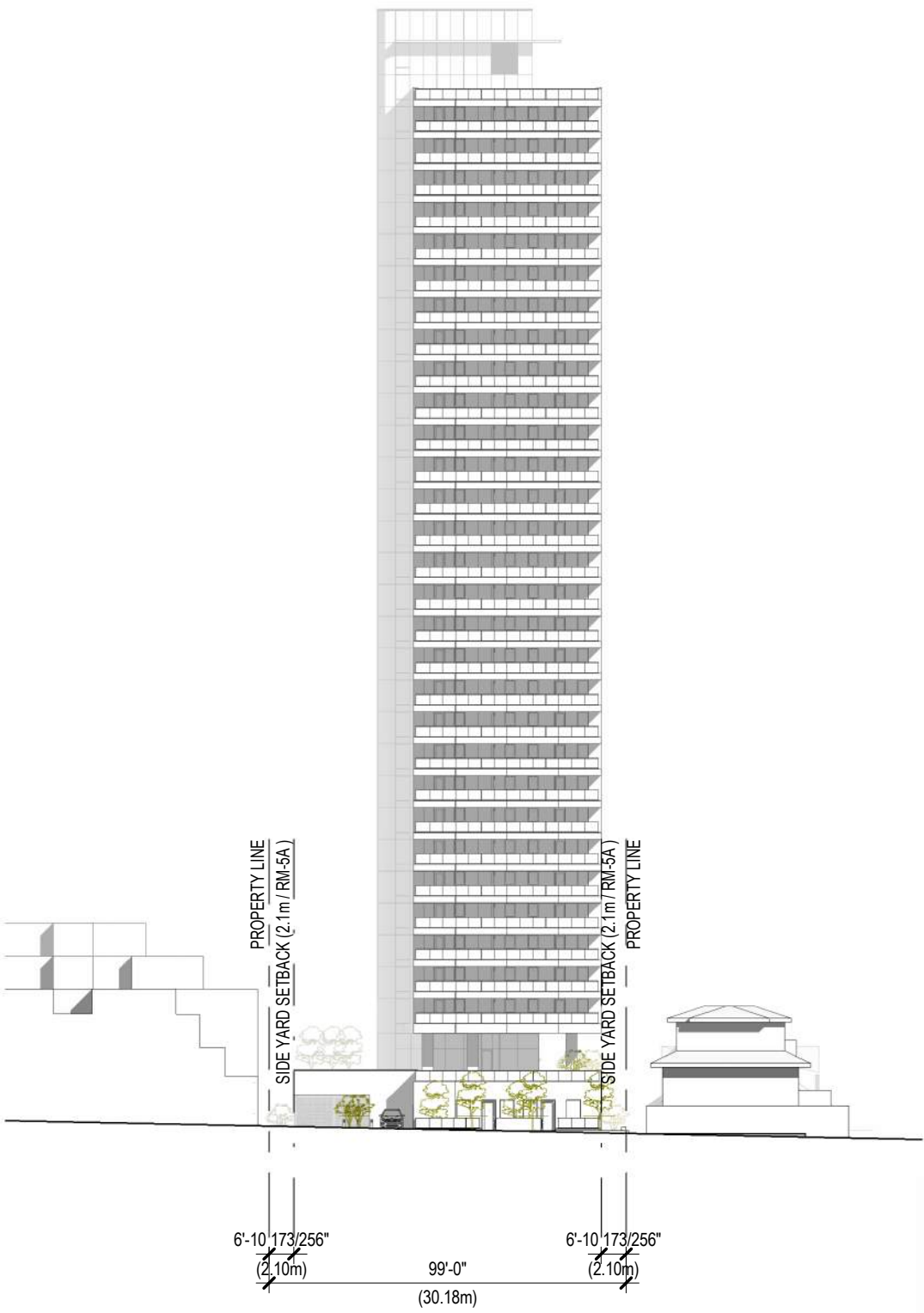
FLOOR PLAN LEVEL ROOF



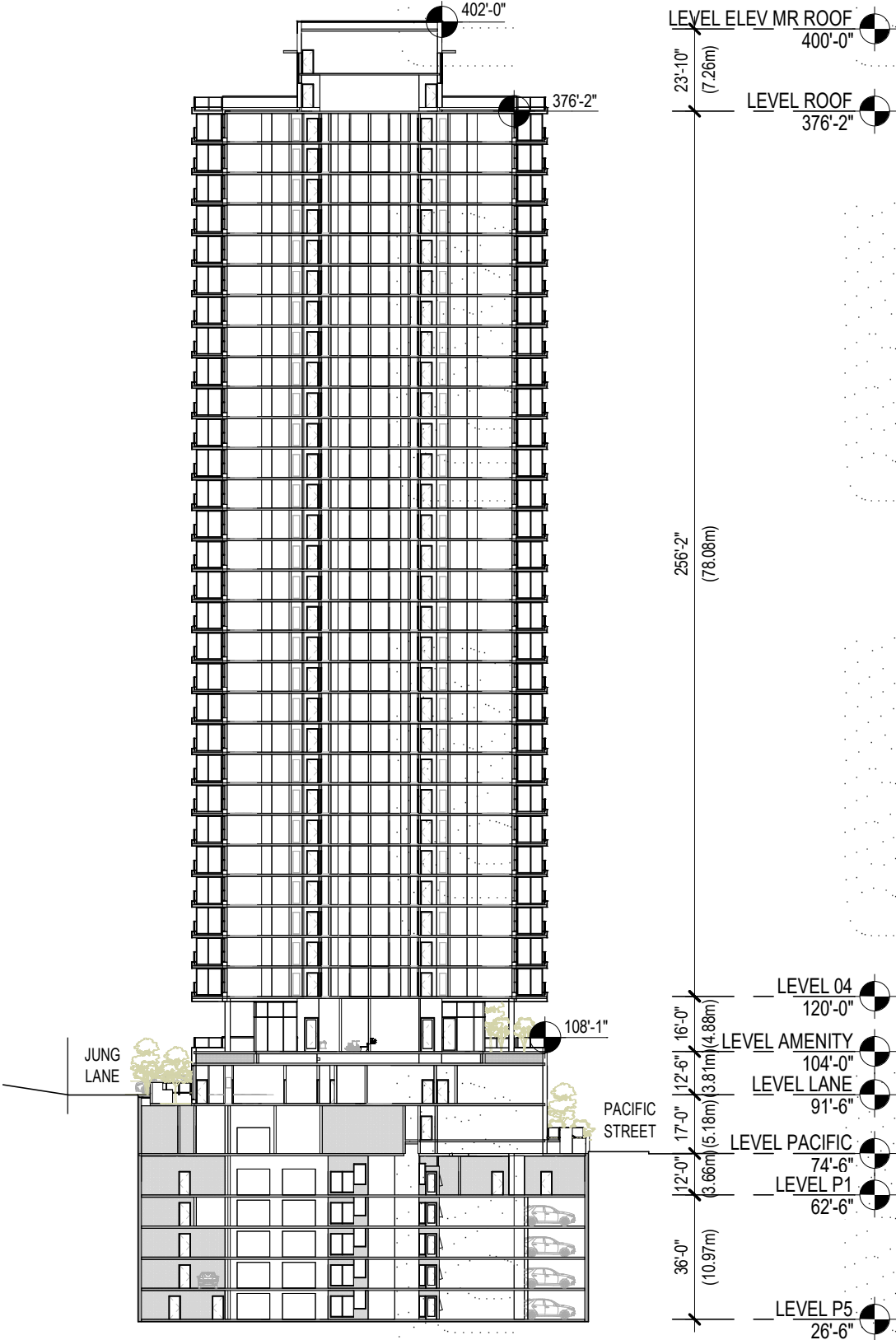
ELEVATIONS AND SECTIONS



3. OVERALL ELEVATION - NORTH/WEST



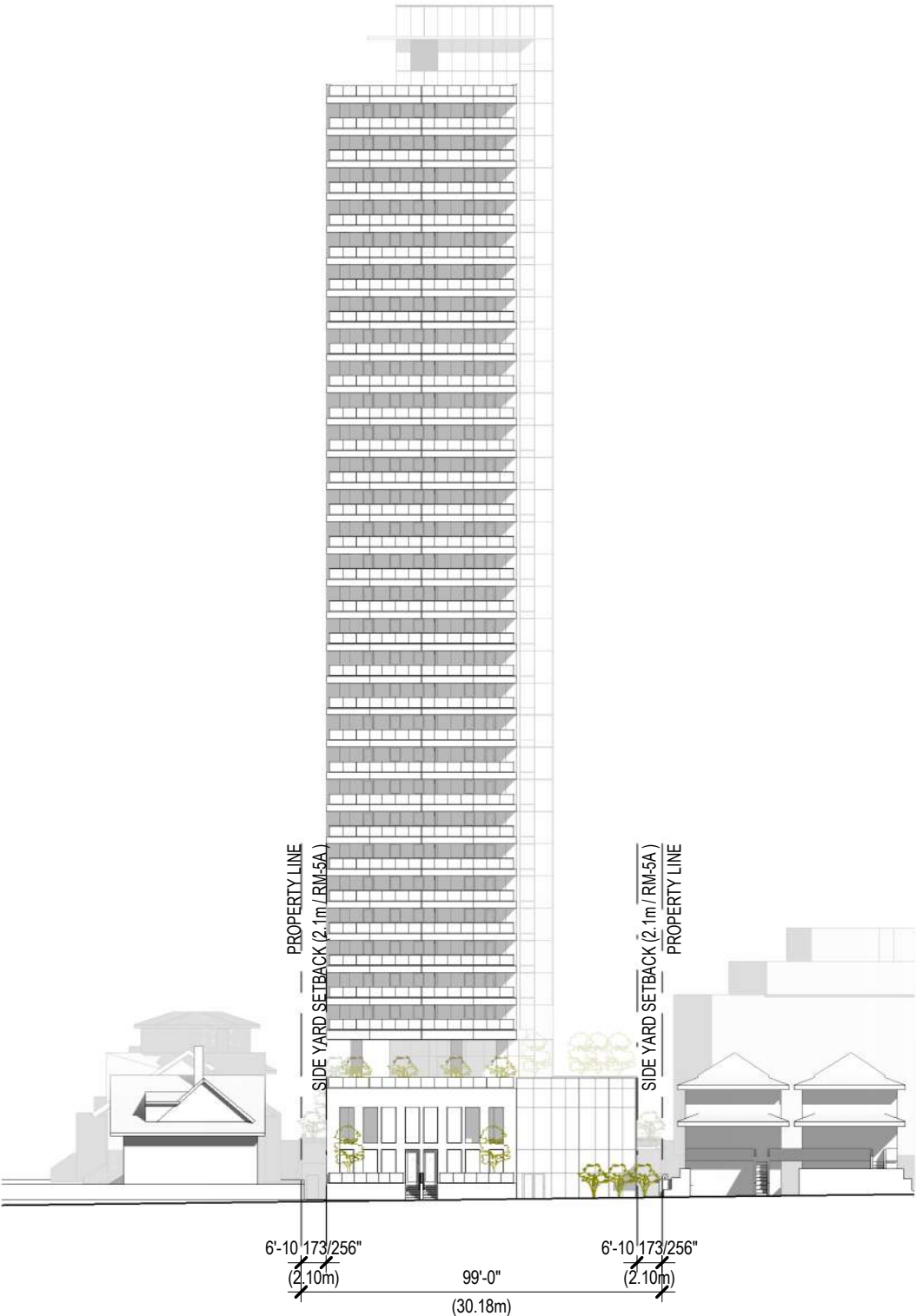
2. OVERALL ELEVATION - NORTH/EAST (JUNG LANE)



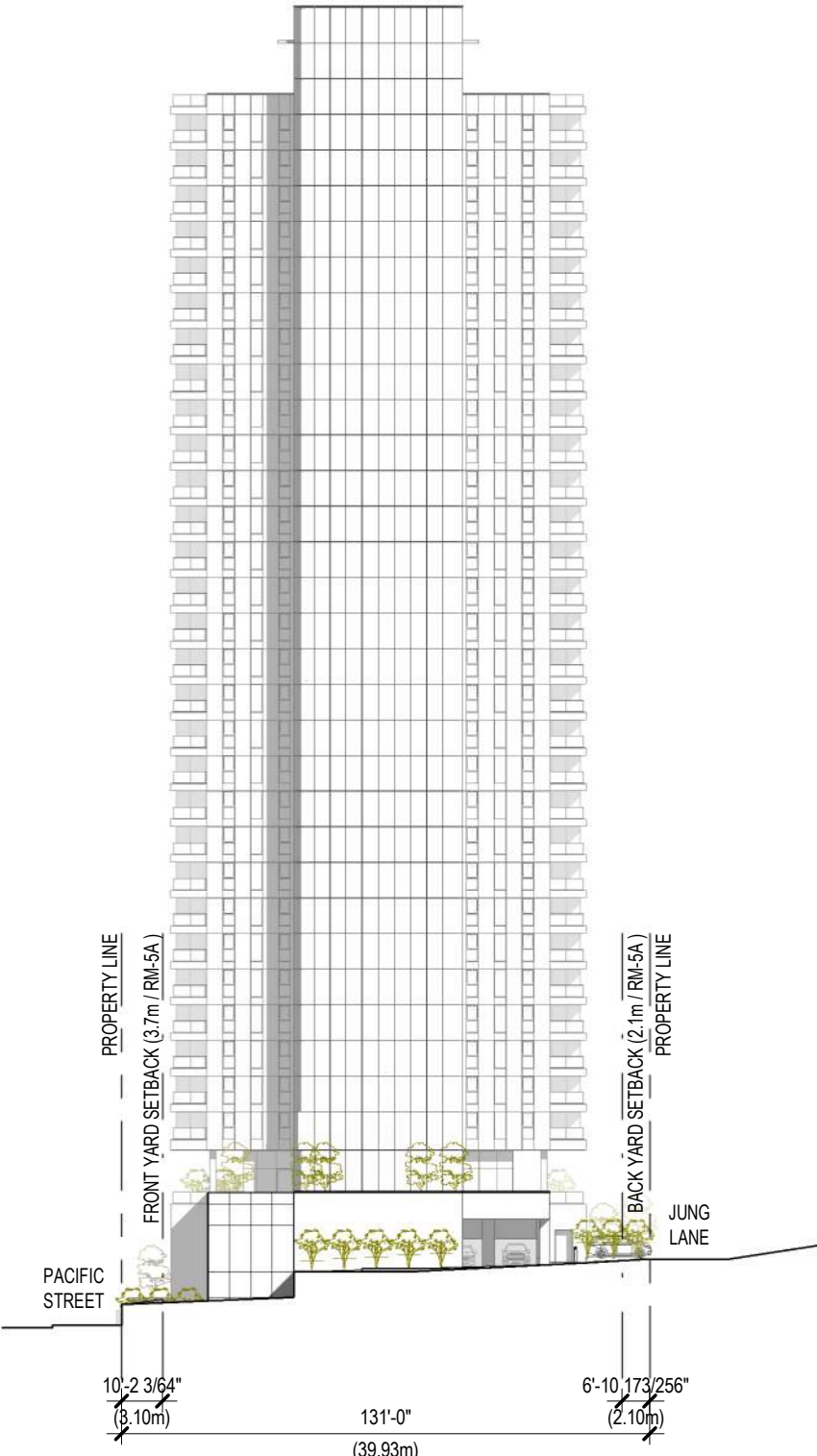
1. OVERALL SECTION - LONGITUDINAL SECTION



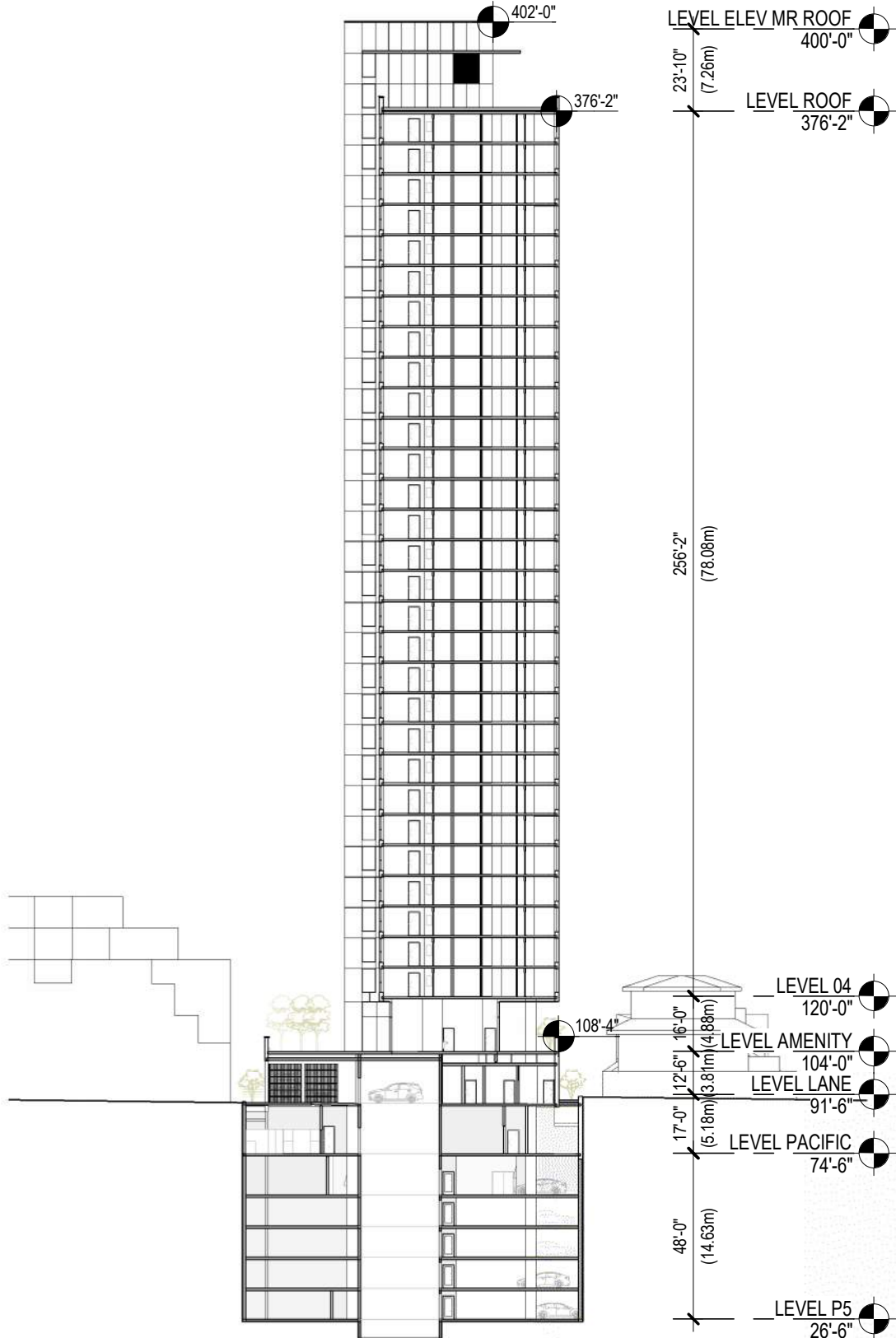
ELEVATIONS AND SECTIONS



3. OVERALL ELEVATION - SOUTH/WEST (PACIFIC STREET)



2. OVERALL ELEVATION - SOUTH/EAST



1. OVERALL SECTION - CROSS SECTION (THROUGH CAR ELEVATOR)



RENDERINGS



VIEW FROM THURLOW STREET - LOOKING SOUTH



VIEW FROM INTERSECTION OF PACIFIC AND THURLOW STREETS - LOOKING EAST



PACIFIC STREET VIEW - LOOKING NORTHWEST



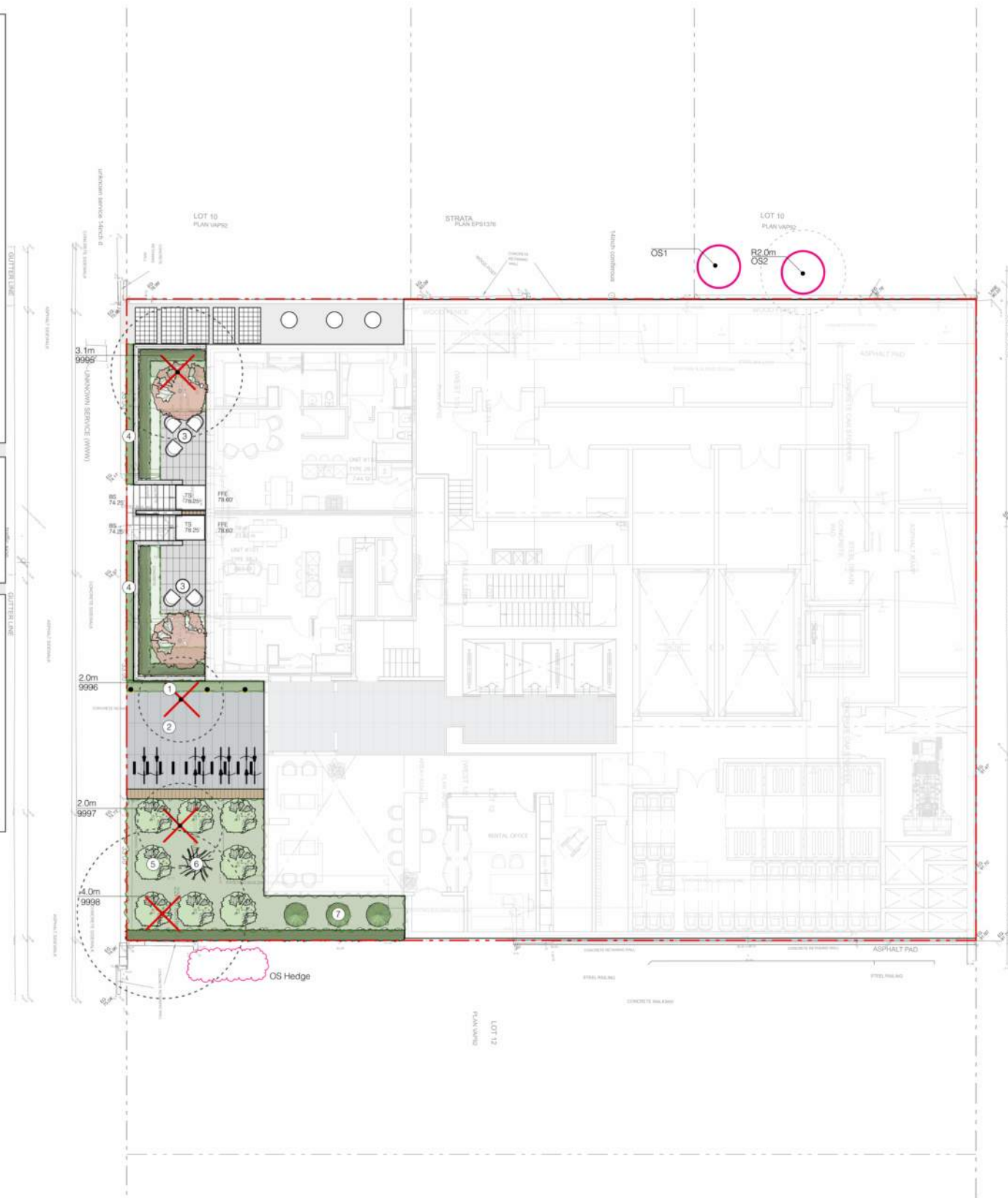
LANDSCAPE PLANS

- Legend
- ① Path Lighting
 - ② Decorative Pavers continue into Entryway
 - ③ Raised Patio's at Townhouse Suite Entries
 - ④ Privacy Planting between Suites and Sidewalk
 - ⑤ Bosque of Trees with Lighting
 - ⑥ Garden Sculpture
 - ⑦ Seasonal Container Planting with feature lighting - to be viewed from inside lobby
 - Deciduous Standard Tree
 - Feature Tree
 - Evergreen Planting
 - Perennial Planting
 - Hedge
 - Bike Parking
 - Cast in Place Concrete Stairs
 - Concrete Pavers
 - Decorative Pavers
 - Cast In Place Concrete Walls

Site Coverage Calculation

Site Area	12,972 Sq Ft
Level Pacific	11,011 Sq Ft
Total Vegetation Cover	967.35 Sq Ft
Total Canopy Cover	694.93 Sq Ft

- Arborist Coordination
- Existing Tree to be Removed
- 0.0m Tree Diameter at Breast Height
 - XXXX Tree Tag Number
 - Critical Root Zone
 - Critical Root Zone
 - Unsurveyed Tree to be Retained (must be surveyed)
 - OSX Off Site Tree Number
 - OSX Off Site Hedge
- *Arborist Notes: Trees OS1, OS2 and OS hedge area located at a separated elevation behind a concrete retaining wall. No additional Protection is required for off-site trees if retaining walls are left intact.
*Refer to Arborist Report for Additional Information



① Path Lighting



② Decorative Entrance Paving



③ Raised Patio's in Front of Townhouse Suite Entries



④ Privacy Planting between Suites and Sidewalk



⑤ Bosque of Trees with feature lighting

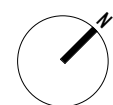


⑥ Garden Sculpture at Centre of Bosque

LANDSCAPE PLAN - LEVEL PACIFIC STREET



WALL PACIFIC REDEVELOPMENT
1065 PACIFIC STREET



LANDSCAPE PLANS

- Legend
- ① Tower Exit Path
 - ② Sunken Patio
 - ③ Privacy Screen Between Suites
 - ④ Decorative Paving with Concrete Banding throughout the Shared Vehicle/Pedestrian Area
 - ⑤ Parking Paving Pattern
 - ⑥ Courtyard Planting
 - Tall Columnar Trees
 - Feature Tree
 - Evergreen Planting
 - Perennial Planting
 - Hedge
 - Cast in Place Concrete Stairs
 - Broom Finished Saw Cut Concrete
 - Concrete Pavers
 - Decorative Pavers
 - Cast in Place Concrete Bands

Site Coverage Calculation

Site Area	12,972 Sq Ft
Level Lane	6,874 Sq Ft
Total Vegetation Cover	914.50 Sq Ft
Total Canopy Cover	801.84 Sq Ft



② Sunken Patio



④ Decorative Paving Patterns with Concrete Banding



⑤ Parking Paving Pattern



Columnar Trees Against Building



⑥ Courtyard Planting

LANDSCAPE PLAN - LEVEL JUNG LANE



LANDSCAPE PLANS

Legend

- 1 Outdoor Lounge Area with Flexible Furniture
- 2 Wheelchair Seating
- 3 BBQ Counter with Bar Seating
- 4 Outdoor Dining with String Lights
- 5 Outdoor Work Tables
- 6 Outdoor Gym Area with Rubber Tiles
- 7 Outdoor Yoga Deck
- 8 Potting Table
- 9 Urban Agriculture Area
- 10 Raised Planter with Bench
- 11 Outdoor Childrens Play Area
- 12 Games Room
- 13 42" Guardrail Height Planters
- 14 Garden Bed

Log Climber
Turf Mound w/ Log

Decking
Concrete Paving
Decorative Paving
Poured in Place Rubber

Site Coverage Calculation

Site Area	12,972 Sq Ft
Level 3.00 Amenity Deck Area	2,774 Sq Ft
Total Vegetation Cover	674.45 Sq Ft
Uncovered Vegetation Cover	330.63 Sq Ft
Total Canopy Cover	1,122.56 Sq Ft
Uncovered Canopy Cover	267.26 Sq Ft



1 Outdoor Lounge Area with Flexible Seating



4 Outdoor Dining with String Lights



5 Outdoor Work Tables



6 Outdoor Gym Area with Rubber Tiles



7 Outdoor Yoga Space



12 Outdoor Entertainment Area



11 Outdoor Play Area with Turf Mound and Poured in Place Rubber



10 Cast In Place Concrete Planter with Bench



9 Urban Agriculture Planters

LANDSCAPE PLAN - LEVEL AMENITY



SUSTAINABILITY MEASURES

GENERAL SUSTAINABILITY POLICIES

THE CITY OF VANCOUVER IS WIDELY RECOGNIZED AS ONE OF THE MOST LIVABLE CITIES IN THE WORLD. AS SUCH, THE CITY IS COMMITTED TO APPROVING PROJECTS AND DEVELOPMENTS THAT ARE SUSTAINABLE AND COST-EFFECTIVE. A NUMBER OF POLICIES, STRATEGIES AND GUIDELINES HAVE BEEN DEVELOPED IN ORDER TO ALIGN THIS COMMITMENT WITH VANCOUVER'S OBJECTIVES. THIS PROJECT WILL ADHERE TO THE APPLICABLE GENERAL POLICIES, AS DESCRIBED ON THE FOLLOWING PAGES.

- GREENEST CITY - 2020 ACTION PLAN
- GREEN BUILDINGS POLICY FOR REZONING'S (2010)
- RENEWABLE CITY STRATEGY (2015)
- HEALTHY CITY STRATEGY (2015)
- TRANSPORTATION 2040 (2012)
- URBAN FOREST STRATEGY (2018)
- BIODIVERSITY STRATEGY (2016)
- VANCOUVER ECONOMIC ACTION STRATEGY (2011)
- VANCOUVER BIRD STRATEGY (2015)
- NEIGHBOURHOOD ENERGY STRATEGY
- RAIN CITY STRATEGY (2019)

GENERAL SUSTAINABILITY STRATEGIES

ENERGY

- A HIGH PERFORMANCE BUILDING ENVELOPE IS DESIGNED TO MAXIMIZE OCCUPANT COMFORT AND ENERGY CONSERVATION.
- PRELIMINARY ENERGY MODELLING PROVIDES EVIDENCE THAT GREEN BUILDINGS PATH B AND HIGHER BUILDING POLICY ENERGY TARGETS FOR TEUI, TEDI AND GHGI WILL BE EXCEEDED.
- COMMISSIONING AND ENERGY METERING WILL HELP ENSURE THE PERFORMANCE TARGETS SET AT DESIGN STAGE ARE MAINTAINED DURING OCCUPANCY.

SOCIAL EQUITY

- 20% OF RESIDENTIAL FLOOR AREA WILL BE DEDICATED TO BELOW MARKET RENTAL HOUSING.
- ACCESSIBILITY IS CONSIDERED IN ALL PUBLIC ASPECTS OF THE DESIGN AND LAYOUT. ACCESSIBLE DESIGN INCLUDES ELEVATOR ACCESS TO ALL FLOORS, SIGNAGE DESIGNED FOR VISUAL IMPAIRMENT, ACCESSIBLE PARKING SPACES CLOSE TO ELEVATORS.
- AIR-CONDITIONING WILL BE PROVIDED IN ALL UNITS TO CREATE A COMFORTABLE AND RESILIENT ENVIRONMENT FOR ALL RESIDENTS YEAR-ROUND.

TRANSPORTATION

- WITH ACCESS TO EXCEPTIONAL PUBLIC TRANSPORT, THE DEVELOPMENT HAS A WALK SCORE OF 92, TRANSIT SCORE OF 88, AND BIKE SCORE OF 91.
- PROVISION OF A FIRST-CLASS BIKE FACILITY INCLUDING MAINTENANCE, WASH, AND REPAIR WORKSHOP PROMOTES ACTIVE TRANSPORTATION MODES.
- 100% OF RESIDENTIAL PARKING WILL BE EV READY WITH LEVEL 02 CHARGING.

WATER

- WATER CONSERVATION TARGET OF 50% FOR OUTDOOR WATER USE THROUGH INTEGRATION OF DRIP IRRIGATION FOR ALL IRRIGATION NEEDS ON SITE.
- WATER CONSERVATION TARGET OF 20% FOR INDOOR WATER USE.
- FIXTURE AND FITTING SELECTION TO REDUCE INDOOR POTABLE WATER USE BELOW POLICY BASELINES.

MATERIALS AND EMBODIED CARBON

- OPTIMIZING THE STRUCTURE FOR MASSING AND POST TENSIONED CONCRETE TO LIMIT THE NUMBER OF TRANSFERS REQUIRED IN THE BUILDING AND REDUCE CONCRETE VOLUMES WHERE POSSIBLE.
- BUILDING MATERIAL SELECTION BASED ON LOW GLOBAL WARMING POTENTIAL (GWP) AND LOW REFRIGERANTS FOR MECHANICAL SYSTEMS.
- LOW-EMITTING, HEALTHY, AND LOW CARBON BUILDING MATERIALS SELECTED FOR INTERIOR FINISHES.

VEGETATION AND BIODIVERSITY

- 20% VEGETATION COVER WILL BE MADE UP OF NATIVE AND ADAPTIVE PLANT SPECIES.
- AN ADDITIONAL 20% TREE CANOPY COVER WILL ENHANCE THE URBAN FOREST, CREATING A BIRD-FRIENDLY URBAN ENVIRONMENT.
- GENEROUS DEPTHS OF GROWING MEDIUM FOR ALL PLANTS SUPPORTS THE PROJECT'S RAINWATER MANAGEMENT PLAN IMPROVING THE STORMWATER RETENTION AND INFILTRATION CAPABILITIES OF THE SITE.

COMMUNITY

- INTEGRATION OF SIGNIFICANT RESIDENTIAL SPACE WILL REVITALIZE THE NEIGHBORHOOD AND LOCAL ECONOMY.
- URBAN AGRICULTURE PLOTS AND EDIBLE LANDSCAPING WILL IMPROVE THE CONNECTION TO NATURE AND BRING TOGETHER THE BUILDING COMMUNITY AT THE HARVEST TABLES AND BBQ.
- A DEDICATED AMENITY LEVEL WITH AMPLE SPACE FOR GATHERINGS AND COMMUNITY ACTIVITIES WILL ALLOW RESIDENTS TO CONNECT.

