

SKEENA TERRACE

DESIGN GUIDELINES

Rezoning Submission



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Skeena Terrace is located in Vancouver, a territory that was never ceded by the Musqueam, Squamish, or Tsleil-Waututh peoples. The x^wməθk^wəy̓əm (Musqueam), Skwxwú7mesh Úxwumixw (Squamish), and səlilwətał (Tsleil-Waututh) have never left their territories and will always retain their jurisdiction and relationships with the land. The team acknowledges with great respect the generosity of the host Nations and strives to deepen their understanding of the local Indigenous communities.

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Section 1.0

INTRODUCTION

1.1 Application and Intent

These design guidelines should be used in conjunction with the associated CD-1 By-Laws to guide redevelopment of BC Housing’s Skeena Terrace site. As well as guiding future development permit applicants, the guidelines will be used by City staff, Development Permit Board, and Urban Design Panel in evaluating proposed developments as the project is implemented in phases over time. The guidelines will ensure the public realm and individual developments are compatible with the urban design concept and the overall planning vision for the site. Flexibility is intended in the interpretation and application of these guidelines where it can be clearly demonstrated an alternate approach will improve project performance regarding sustainability, public realm, architecture, or community amenity and resiliency.

BC Housing’s existing 4.4 hectare (10.8 acre) Skeena Terrace residential complex located at 2298 Cassiar Street has 230 Rent-Geared-to-Income (RGI) homes on the property. The buildings and infrastructure at Skeena Terrace were built in the 1960s and need extensive and ongoing repairs. As they are nearing the end of their economic life cycle, and with the city in dire need for more affordable housing, the redevelopment of Skeena Terrace as a large transit-oriented site is an excellent opportunity to meet that need.

Skeena Terrace redevelopment provides a significant opportunity to increase the number of secured rental homes, particularly for low and moderate-income households. Spread across 7 parcels that will be developed in phases and 15 buildings, the project delivers roughly 1,900 social housing units, of which 66% are affordable. 60% of the units provided are family-oriented units with 2 bedrooms or more, approximately 14% of the units are 3 bedrooms or more, and approximately 10% are accessible units to accommodate a diverse future population. Given Skeena Terrace is a transit-oriented community, the plan includes mixed uses (local serving retail, childcare, live-work, and tenant amenity facilities), and prioritizes active-mode and accessible circulation across the site.

The design of Skeena Terrace incorporates strategies that promotes and optimizes health, encourages physical activity, and builds community. This is achieved through a series of communal courtyards called “Neighbourhood Rooms” connected through barrier-free paths which promote walking, rolling, and cycling. Pedestrian and active modes of mobility are privileged throughout the site, including the conversion of a portion of Hermon Drive into a shared “woonerf” street. Generous and diverse open spaces are complemented by tenant amenity spaces, such as the Skeena Terrace “Hut”, as well as a plaza flanked by retail uses and childcare facilities to respond to the adjacent Thunderbird school and community centre.

Since early 2020, BC Housing and the City of Vancouver have been working together throughout the planning, policy statement, and rezoning process. Through a rigorous process led by BC Housing and in collaboration with the City of Vancouver, a plan for the site was unanimously supported by the Urban Design Panel (UDP) on March 16, 2022. On July 19, 2022, the Policy Statement was adopted by Vancouver City Council

to guide site planning and redevelopment and clearing the way for rezoning of the site. Following an initial submission of the rezoning application on February 23, 2023 for preliminary multi-disciplinary review by City staff, BC Housing and the design team hosted a successful public open house at the Skeena Terrace Community Hut on June 14, 2023, well attended by Skeena Terrace residents and neighbours. Following this event, the project again received unanimous support at the UDP on June 21st.

In addition to the City’s site-specific policy statement, the following policy framework has guided the overall planning, design approaches, and performance requirements for Skeena Terrace:

- BC Housing Design Guidelines & Construction Standard (2021)
- Metro Vancouver 2040 Regional Growth Strategy Plan (2011)
- Framework for City of Reconciliation (2021)
- Housing Vancouver Strategy (2018-2027)
- Tenant Relocation and Protection Policy (2021)
- VanPlay: Imagine Parks + Recreation Framework (2020)
- Healthy City Strategy (2015-2018)
- Zero Waste 2040 (2018)
- Transportation 2040 Plan (2012)
- Climate Emergency Action Plan (2020)
- Rain City Strategy (2019)
- Urban Forest Strategy (2018)
- Renewable City Strategy (2015-2050)
- Vancouver Economic Action Strategy (2011)
- High-Density Housing For Families with Children Guidelines (2020)
- Biodiversity Strategy (2016)
- Housing Needs Report (2022)
- Hastings-Sunrise Community Vision (2004)
- Rezoning Policy for Sustainable Large Developments (2018)
- Green Building Rezoning Policy (2017)

In November 2021, City Council directed staff to draft the Rupert and Renfrew Station Area Plan, which is part of the Vancouver Plan. This work was occurring in parallel with the development of the Skeena Terrace plan and policy statement. The area plan will cover a number of topics including housing, transportation, and community facilities. Even though the official area plan has not been published yet, the project design team explored a number of future considerations with City staff and specifically the Rupert station area planning team throughout the Skeena planning process. These included coordinating potential land uses, heights, and densities, as well as the future character of Lougheed Highway and other municipal rights-of-way as they relate to active mobility and streetscape vision. It is expected that the coordination of planning intent between the station area and Skeena Terrace will need to continue through the eventual redevelopment of the entire station area over time.

Note: The names used within Skeena Terrace for the Neighbourhood Rooms, Public Open Spaces, and buildings are working names and are solely for the purpose of clarity in this application.



1.2 Site and Context

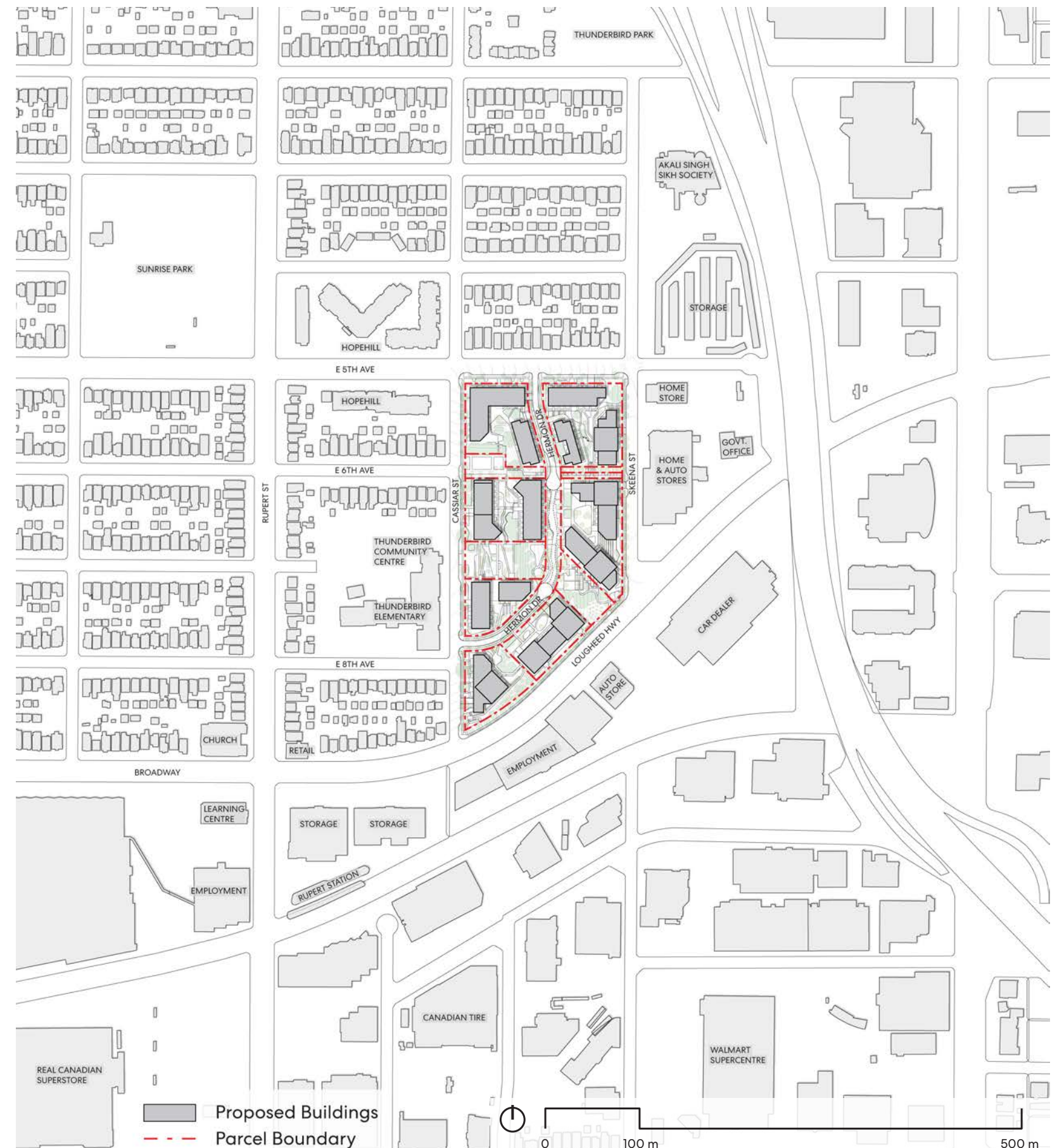
Skeena Terrace is located on the eastern edge of the City of Vancouver, adjacent to Lougheed Highway /Broadway, separated from the City of Burnaby by Highway 1, located a block to the east. It is one block away from Rupert SkyTrain Station and the Central Valley Greenway.

The site is part of the Still Creek watershed ecosystem and has been noted as an important bird habitat with a significant number of mature trees on site contributing substantially to the area's tree canopy cover. One of the central defining features of Skeena Terrace is the steep, terraced topography. The site is comprised of great sloped lawns that divide large grounds into smaller zones that not only provide the site with distinct character, but also provides for excellent solar exposure and sweeping views out from the site.

Skeena Terrace is within the Rupert and Renfrew Station Area Plan. The development of the Rupert and Renfrew Station Area Plan, the proximity to the Rupert SkyTrain station and the constellation of frequent service bus stops, and the redevelopment of the site act as a catalyst for the entire neighbourhood's transition to a transit-oriented, walkable community.

The site is located directly east of both Thunderbird Community Centre and Thunderbird Elementary School. The proximity to Thunderbird Community Centre and Elementary School and Rupert Station also provides opportunities for the site to develop a unique identity and help foster a new vibrant neighbourhood hub.

The Skeena Terrace plan delivers a vision for a vibrant and diverse community with a variety of affordable and market rental housing options for families and people with varying abilities to accommodate a diverse future population. The plan includes active and passive open spaces that are well-integrated into the neighbourhood and creates positive impacts on the community as a whole. It also addresses current energy-efficient and sustainability requirements, and positions the site to meet the community's needs for years to come.



Right: Context Plan and the Site

1.3 Guiding Principles Summary

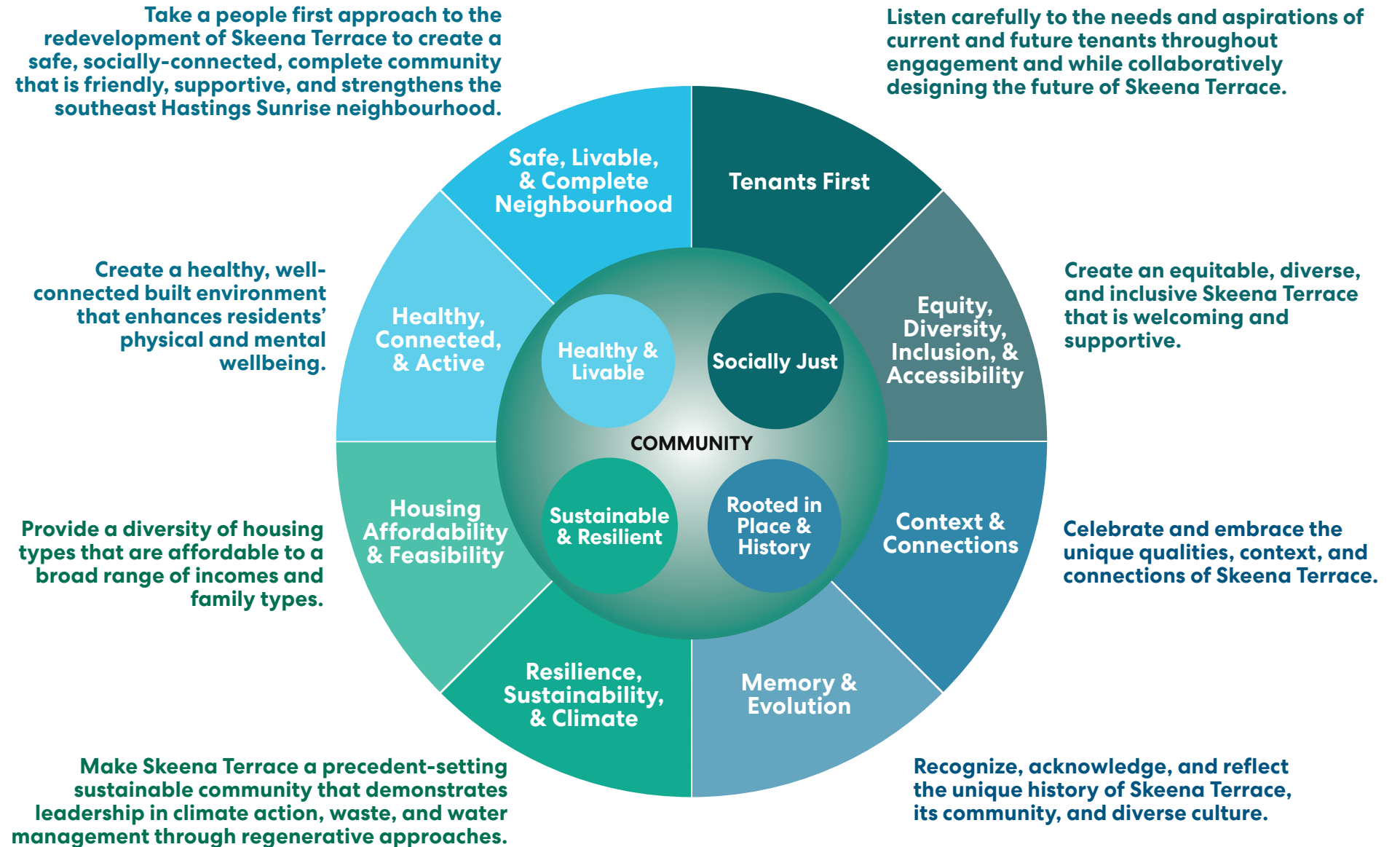
Completed in the 1960's, Skeena Terrace is home to nearly 600 tenants in 230 units, including seniors, families, children and youth, and people of many different ethnic and cultural backgrounds. Due to the age of the existing buildings and infrastructure, BC Housing is developing the site to significantly increase the supply of affordable rental housing with approximately 1,900 units, in proximity to higher order transit.

The Skeena Terrace redevelopment is family-oriented and primarily residential, offering housing for various household types, ages, ability and income levels. It incorporates a number of amenities including live-work units, a childcare facility, local serving retail, and an upgraded tenant amenity, the "Hut", which houses a number of community gathering spaces, such as an indoor community kitchen. These amenities serve its residents and integrate strategies that promote community building by providing ample spaces for all-season recreation and exercise. The strategies focus on optimizing health and well-being while encouraging physical activity through walking, rolling and cycling connections on-site and to other community and transit destinations.

The Skeena Terrace plan proposes a diversity of building scales, types, and architectural expression, trying to achieve a seamless urban fabric that helps break down the existing identity of Skeena as a distinct and separate precinct from the surrounding neighbourhoods.

The design of Hermon Drive as a "people-first" environment and the provision of a network of inter-connected paths and a high-quality public realm correspond to the residents' needs while connecting efficiently with neighbouring areas. A robust landscape framework underpins the plan that provides a hierarchy of open spaces of varying height, character and function, from localized, neighbourhood parks for leisure, recreation and food production, to high-quality community-focused areas. Two greenways pierce through the site to provide public access for social activities, playgrounds, and urban agriculture. Each building has a semi-private space programmed for more intimate activities related to the residents.

Eight principles guide the future redevelopment of Skeena Terrace. They support the Vision for the site and ideas gathered through tenant and public engagement while reflecting on the City and BC Housing's goals.



1.4 Big Design Ideas

Initiating the conceptual design phase required the distillation of the Guiding Principles into tangible project requirements and design approaches. While considering the Guiding Principles in relation to the opportunities and challenges of the site and program, five Big Design Ideas were developed. These have guided the development of the master plan presented in this rezoning application.

A design approach that builds a desirable, cohesive, and resilient community.



Sustainable & Resilient

Through density balanced with open spaces, protecting existing trees, undisturbed soil and root networks, urban agriculture, improvements to Still Creek watershed, a low carbon approach, with design and amenities that are adaptable and build community.



Rooted in Context

Through a built-form responsive to surrounding neighbourhoods, being welcoming to the community, privileging views and daylighting, having an activated and safe public realm and paying respect to site and cultural history.



Socially Just

By maximizing affordable housing through a diversity of forms, housing, spaces, and amenities that are inclusive and predicated on equitable access.



Healthy & Livable

Through safe, durable and maintainable components, use of existing terraces and groves to promote healthy and activate lifestyles, with a diversity of uses and scales that facilitate inclusion, activation of the public realm, and includes local serving retail & childcare.



Mobility & Connectivity

That accommodates the transition to a transit-oriented community by promoting a modal shift from vehicles to active and shared modes, eliminating surface parking, seamlessly connecting to surrounding points of interest, and addressing universal accessibility through a network of barrier free paths and landing zones connecting to streets.

Section 2.0

SITE PLANNING & DESIGN FRAMEWORK

2.1 Neighbourhood Rooms Conceptual Narrative

Neighbourhood Rooms Concept

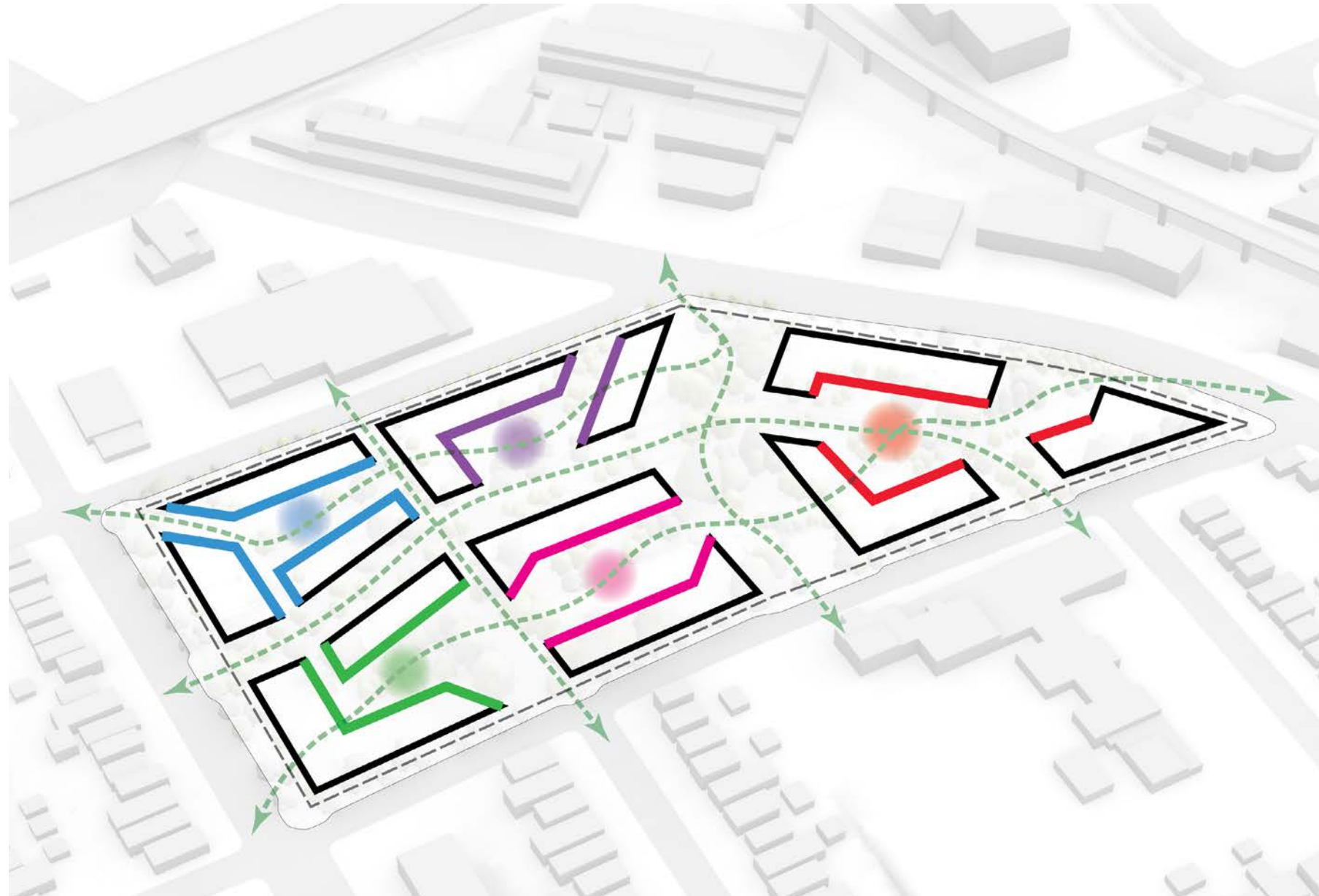
The site concept is structured around a series of outdoor courtyards, or “Neighbourhood Rooms”, framed by built-form and sited around significant tree groves and open spaces that exist on the site. The existing trees and topography, two of the main design considerations of the organizational framework, resulted in the vision of a new neighbourhood developed amongst the existing conditions, community, and nature.

The design framework proposes a series of neighbourhood rooms of unique spaces and open areas with diverse scales and programs to accommodate use at different times of day, while being inclusive of all in the community.

Experientially the rooms create moments of surprise that are revealed as one moves through the site from room to room. This exploratory and sequential nature of the experience encourages movement between rooms allowing the resident and the community to come across a variety of neighbours.

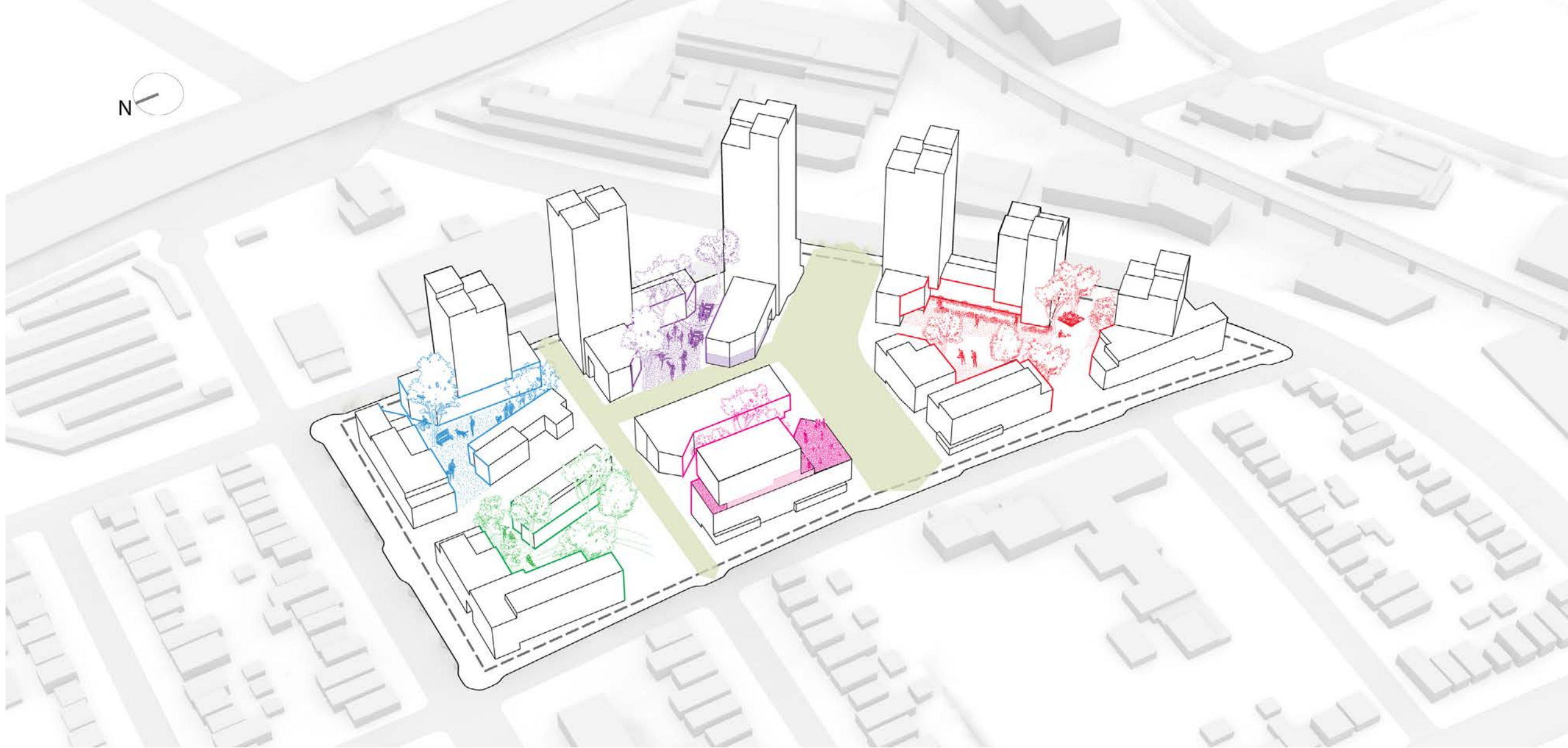
The current tenant values and needs are major drivers in the concept. Based on the existing tenants’ needs, spaces and open areas programming include recreation, social gathering, children’s play, urban agriculture, dog areas, and semi-private backyards to ensure an activated public realm.

Inward-focused semi-private neighbourhood rooms framed by ground-oriented units bring neighbours together. The site organization creates a variety of individually programmed spaces along pedestrian pathways resulting in moments of surprise as one moves through the site.



Above:

The Neighbourhood Rooms concept diagram as defined by community hubs of diversely programmed open spaces framed and activated by built-form across the site.



Above:
The Neighbourhood Rooms' Characters Diagram with activities.

2.2 Site Planning Framework

Green Corridors

The creation of green open space corridors throughout the site is an organizing principle of the concept. The main corridor is the Still Creek Greenway, a major centralized public space built around a significant watershed feature following the topography of the area down from Thunderbird School and Community Centre to its low point in the southeast corner to connect with the Still Creek watershed. Public amenities are situated along it to fortify this corridor as one of the activated public spaces on the site.

The Thunderbird school and community centre are further emphasized as a focal point to the local community through the orientation of the Skeena Terrace public plaza, childcare and local serving retail and services at the termination of the greenway at the western edge of the site.

At the heart of the master plan, the Skeena Hut, the primary community amenity building, anchors the development. Its interior pours out into a multi-purpose outdoor space providing equitable access to all while connecting to the Still Creek Greenway. One additional smaller greenway, the 6th Avenue pedestrian mews, provides an east-west connection and re-enforces the existing street grid.

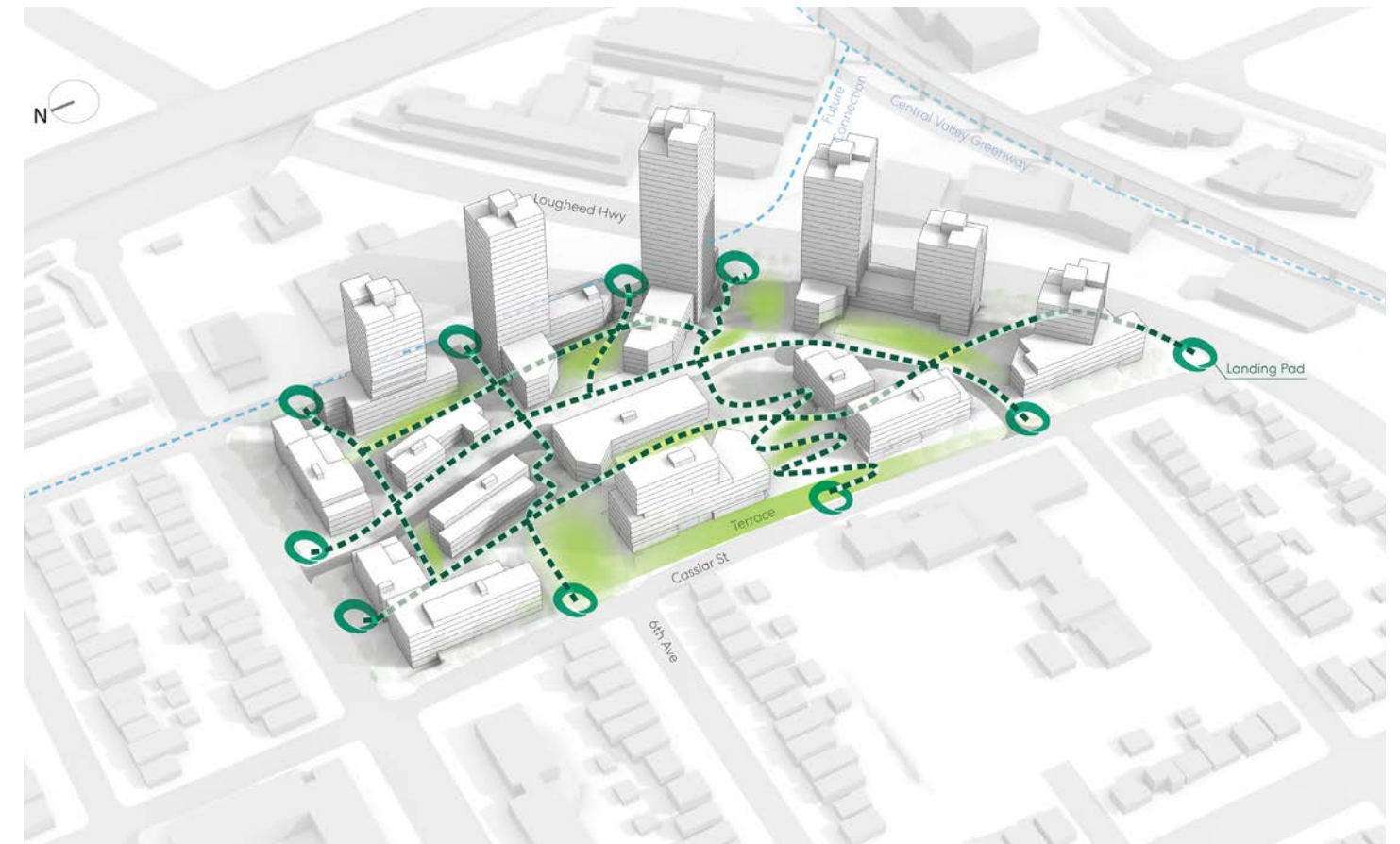


Response to Terraces

Buildings are sited on slopes where feasible, prioritizing the flat areas for public realm amenities, open spaces, and barrier-free accessibility. A terrace-driven approach minimizes regrading, maintains native soils for tree root networks, and pays homage to Cornelia Hahn Oberlander's original terracing vision for the community.

Hermon Drive, as one of the major flat areas of the site, privileges active modes and public realm programming, eliminates surface parking, and is reduced down to a slow one-way and meandering shared street.

The development provides barrier-free corridors following the flat terrace topography lines north-south for equitable mobility. Secondary connections between these barrier-free corridors are located east-west at key points of interest around the site. For increased accessibility, buildings sited on topography lines allow a building's tenants to traverse topography through their building via mechanical vertical circulation and entrances at upper and lower terrace elevations. Mechanized vertical transport is proposed along the Still Creek Greenway to facilitate vertical movement not only for residents, but also the wider public.



Talking Trees, Soil, and Watershed

Connected trees and root networks, soil and watersheds are key indicators of a resilient site that is well-equipped to support its community.

Identifying and enhancing these ecosystem services that are already available on the site has been a priority in creating a plan that protects these valuable resources and forms the framework for a healthy and livable community.

Connected Open Spaces and Community

The interconnection of open spaces and the public realm in the overall master planning offers continuous movement across the site between neighbourhood rooms through both shared and semi-private spaces.

Variations of enclosure in the shared open spaces and public realm contributes to a rich user experience on site for both residents and visitors, by bringing them together in public-facing spaces to create a feeling of a cohesive community.



Design Rationale

The design drivers for the plan are extracted from an understanding of the site including the ecological conditions, adjacent land uses, and existing connectivity networks. The Still Creek Greenway forms the focal point of a new blue-green network taking advantage of the site's topography and providing a pedestrian spine, which connects to the existing street grid at either end. Non-residential uses are located at key points to respond to the surrounding context, such as Thunderbird Community Centre, as well as amenities within the site, such as the Hut, located directly on Hermon Drive.



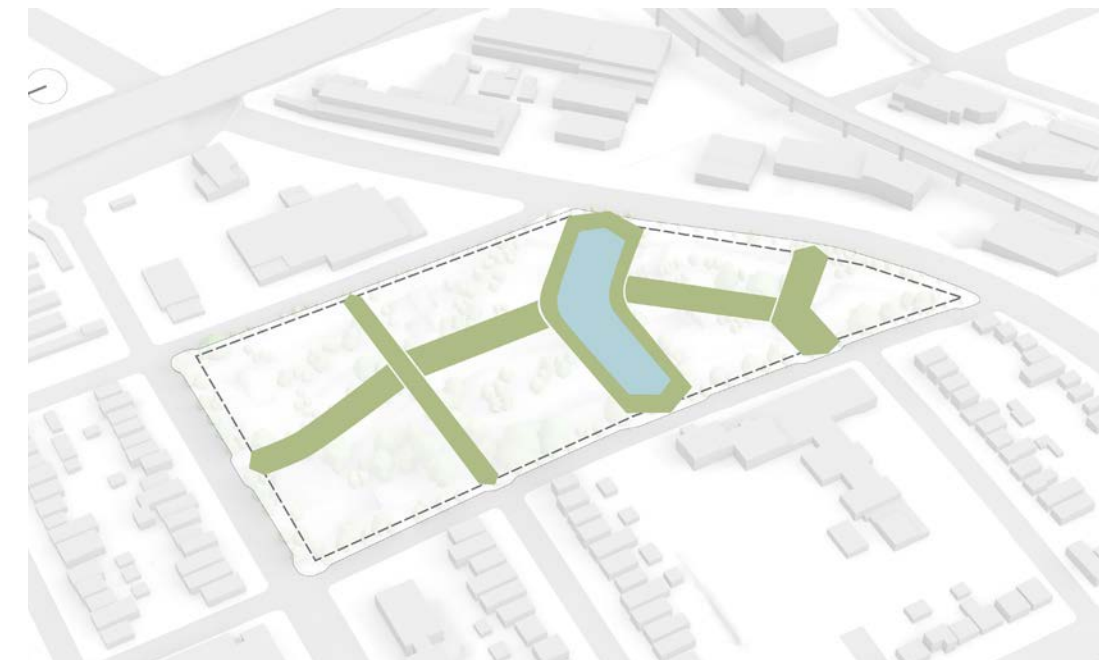
Topography and Ecology: Maintain existing site ecology and minimize regrading, with Still Creek natural drainage patterns and retained trees driving the site morphology.



Surrounding Context: Neighbouring land uses influence the siting of density and site programming in response to the site's edges.

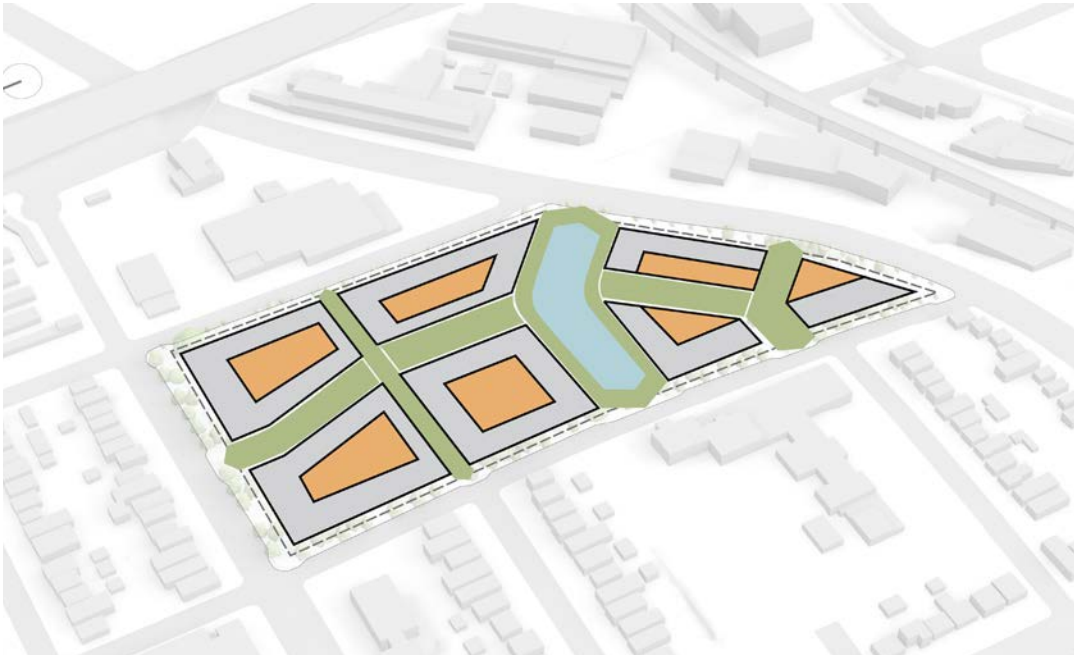


Connectivity: Existing road and active mode networks informing access points and road hierarchy around the site.

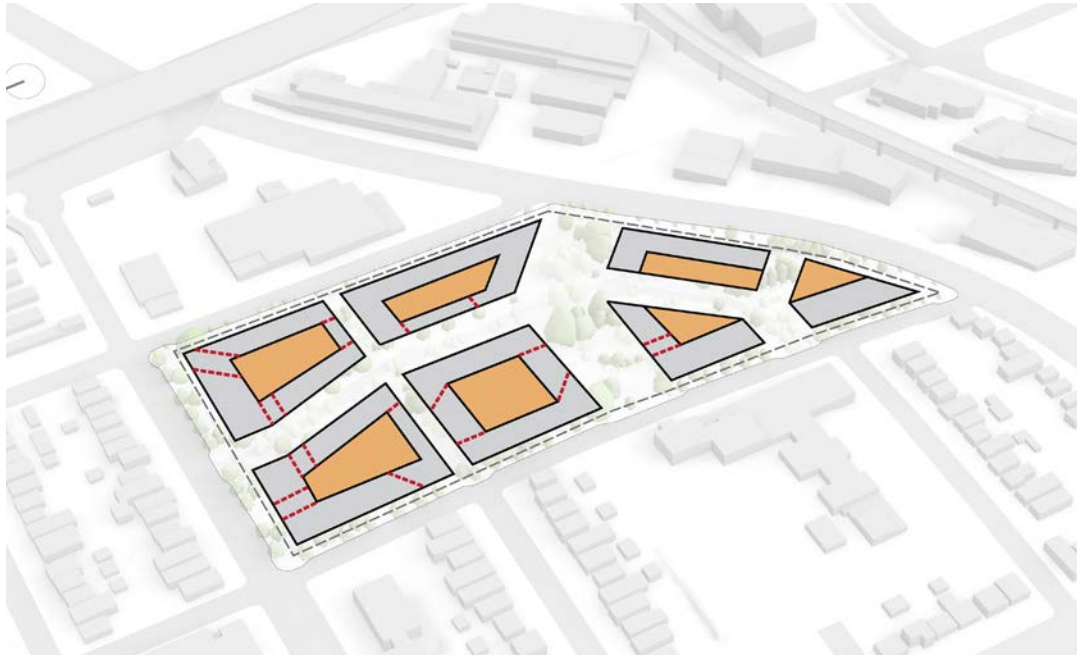


Open Spaces: Proposed pedestrian spines connecting points of interest around the site as well as continuing the existing street grid through the site.

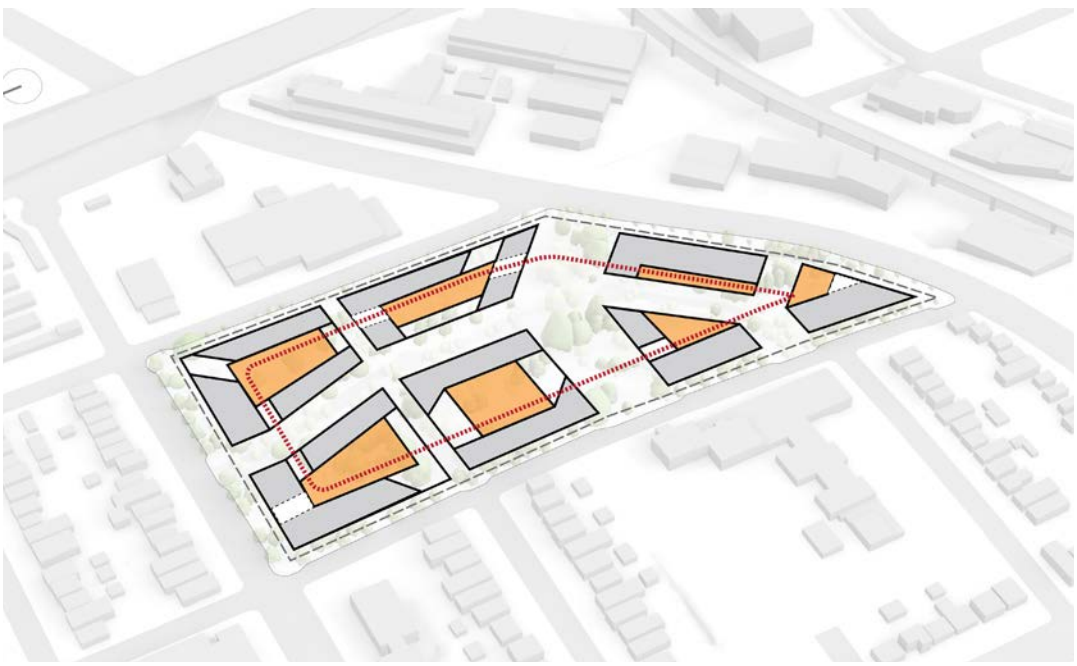
The design drivers of the plan informed the parcelization of the site, resulting in creation of the neighbourhood rooms within each parcel. Observing the parcel footprints together with the existing high value trees and topography, guided the siting of built-form. The developable footprints are then carved to respond to the site conditions including the circulation network, and response to right-of-ways, and open spaces. This carving of site responsive developable areas was then elevated to reveal the 3D massing. Density and height were also informed by the surrounding context.



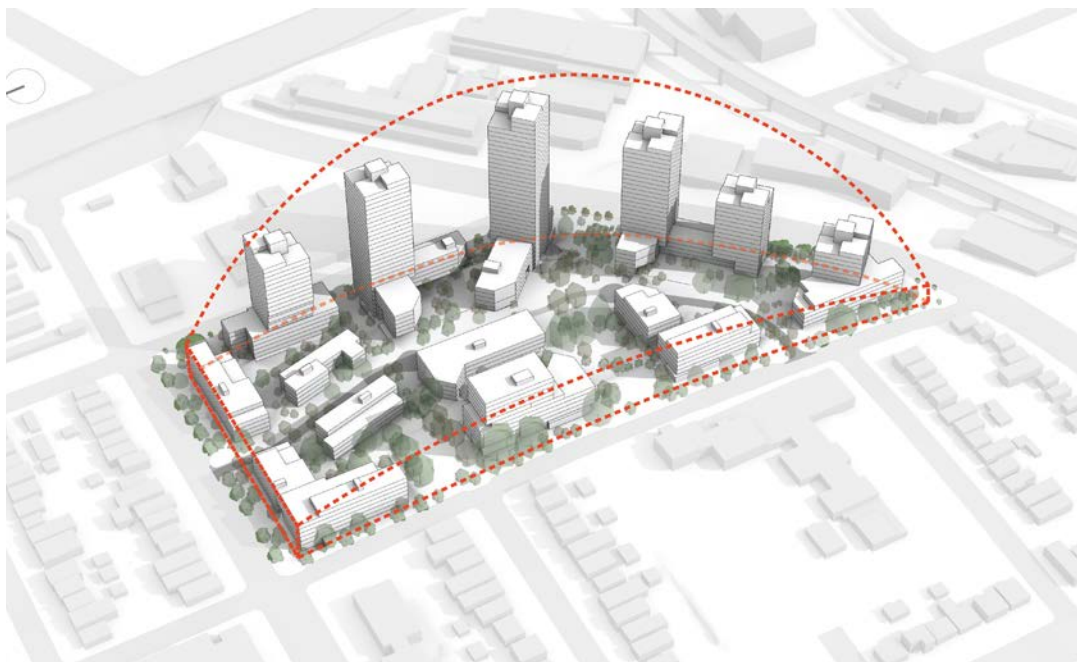
Neighbourhood Rooms: Site design drivers resulting in parcelization and formation of neighbourhood rooms defined by potential building footprints.



Constraints and Opportunities: Conflicts in the developable footprints with existing trees and steep slopes create opportunities for Neighbourhood Room articulation.



Internal Circulation: Interconnection of the Neighbourhood Rooms enables continuous movement across shared open spaces and the public realm.



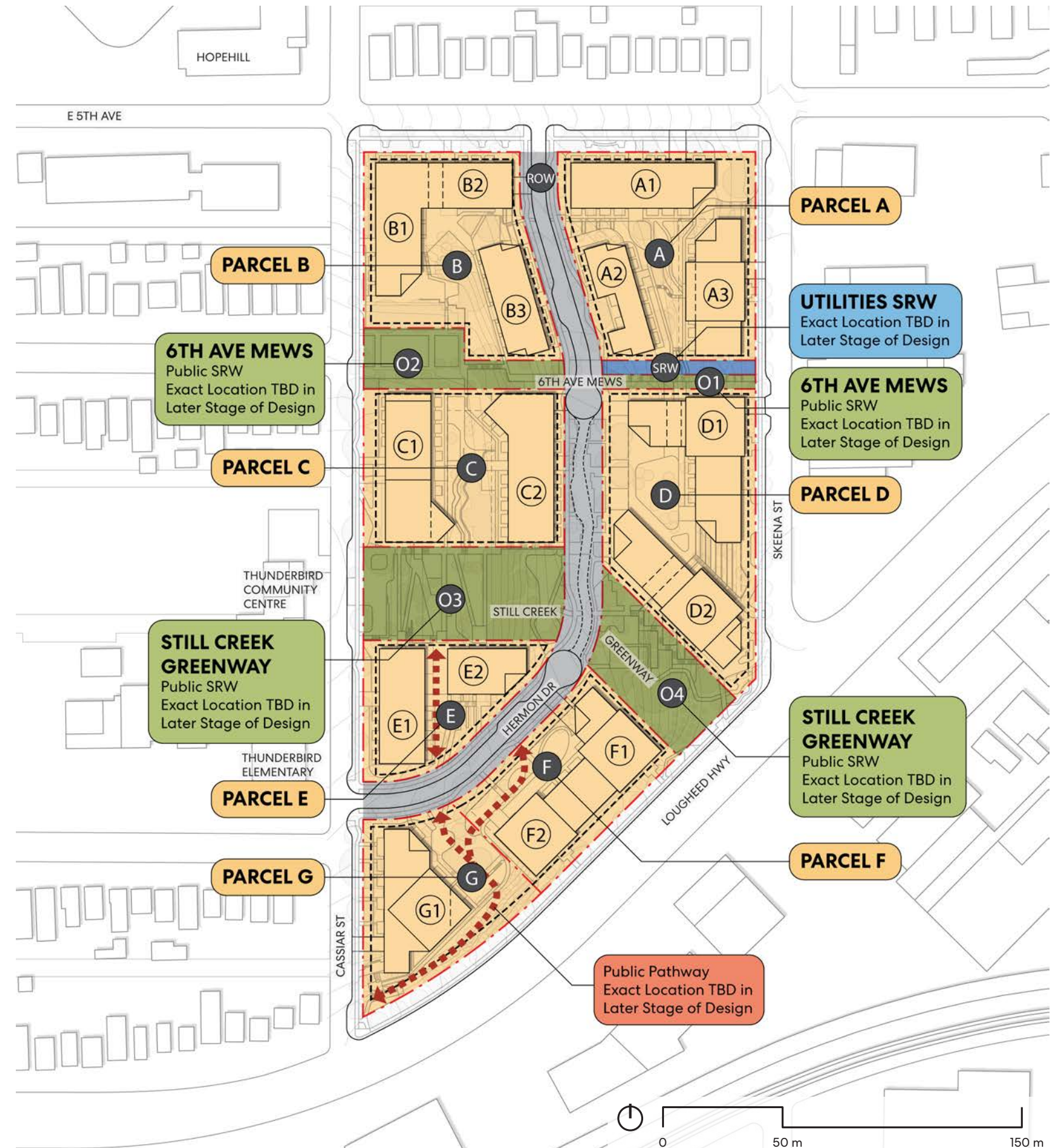
Height Distribution: Variation in skyline based on contextual response to neighbours with taller towers oriented to form an iconic gateway to Vancouver by stepping forms.

2.3 Parcelization and Phasing

Parcelization

The parcelization is primarily defined by Hermon Drive, which cuts across the site from north to south. The plan divides into seven parcels. The parcelization corresponds to the surrounding street grid, connections to utility corridors and two open space corridors; the Still Creek Greenway and 6th Avenue Mews. They are strategically located to connect key routes, amenities or create views. Each parcel contains from one to three buildings; a feature that creates a legible and flexible master plan as well as a logical phasing approach for BC Housing.

- Development Parcels
- Public Open Space SRW
- Utilities SRW
- Hermon Drive ROW
- Public Pathway (Potential Future SRW)
- Parcel Boundary
- Parcel Setback












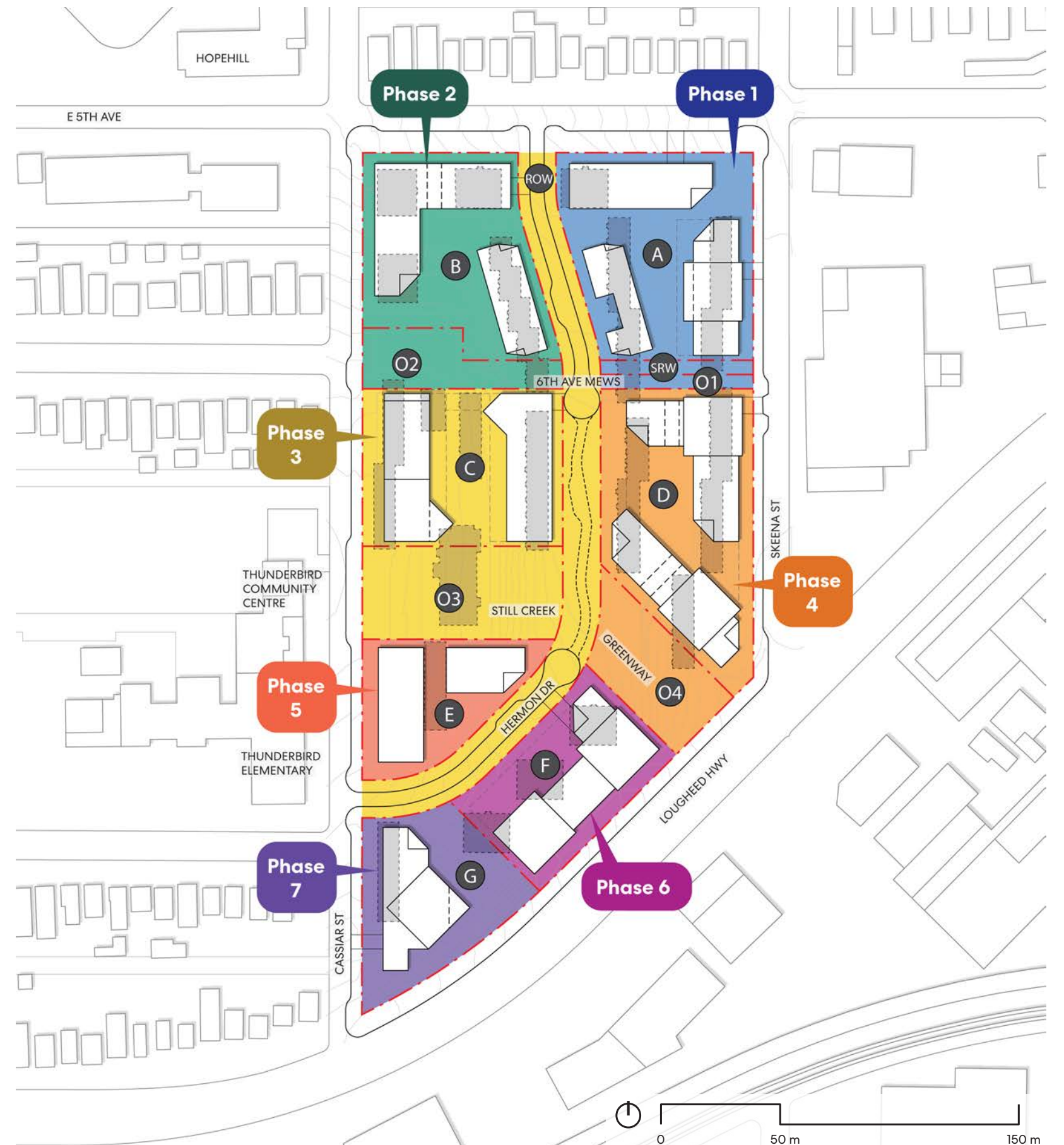
Phasing

The plan is divided into seven phases with consideration of the remaining service life of existing buildings on site, as well as the utilities upgrade work required. The phasing sequence starts from the North end of the site through the South towards Lougheed highway.

Phasing is driven by required utility upgrades to accommodate the increased density. All utilities on Parcel A must be relocated and upgraded before any construction starts on Phase 1. For a detailed summary of the utilities upgrade, refer to Utilities Upgrade Phasing section.

Another major driver is minimizing potential tenant relocation off site where the least disturbance is caused to the current residents. It also ensures even deployment of community amenities, such as the mews and greenway, childcare, and the Hut across the site by mid-way through the overall site's phasing.

-  Phase 1
-  Phase 2
-  Phase 3
-  Phase 4
-  Phase 5
-  Phase 6
-  Phase 7
-  Proposed Buildings
-  Existing Buildings

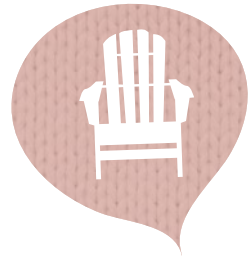


Section 3.0

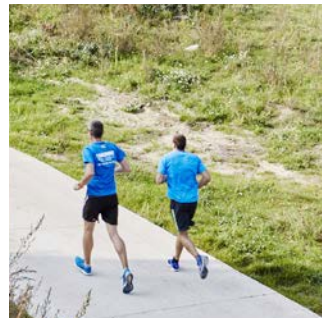
OPEN SPACES & PUBLIC REALM

3.1 Public Realm Principles

Guiding Principles

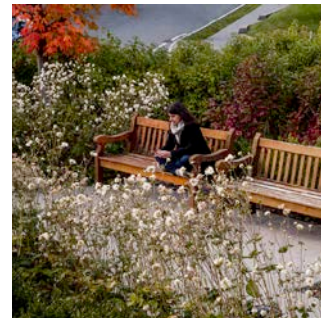


SOCIALLY JUST



WELCOMING WALKWAYS

Connect accessible circulation routes through the site. Provide walkways that are welcoming to different abilities.



HEALTHY HOMESTEADS

Prioritize easy access to green spaces for physical and mental wellbeing.



BOUNTIFUL BACKYARDS

Create a framework and opportunities for neighbourhood expression and making the place their own. Integrate infrastructure that will support program needs over time, provide a range of gathering spaces at different scales

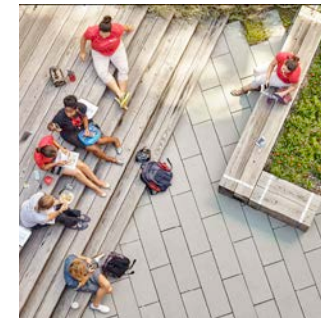


RESPECTFUL RELATIONSHIPS

Respect the relationship between Skeena Terrace and the surrounding community. Respect needs and aspirations of current and future tenants. Design collaboratively.



ROOTED IN PLACE AND HISTORY



PURPOSEFUL PRECINCTS

Give each neighbourhood room its own unique character, reflected in the programming, materials, and planting strategies.



CELEBRATED CORRIDORS

Activate and connect the site's three main corridors; 6th Avenue and Still Creek Greenways and Hermon Drive.



DEFINED DISTRICTS

Provide opportunities for community expression in the landscape.



NOTABLE NEIGHBOURHOODS, NODES, AND NETWORKS

Celebrate and embrace the unique qualities, context, and connections of Skeena Terrace. Recognize, acknowledge, and reflect the unique history of Skeena Terrace, its community, and diverse culture.



HEALTHY AND LIVABLE



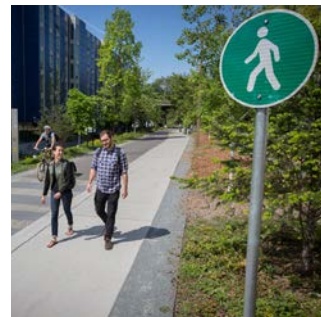
SPIRITED SLOPES

Embrace the sloped landscape and programming opportunities they bring.



LIVING LEGACY

Preserve legacy elements where feasible such as existing trees, memorial table, and neighbourhood rooms that make Skeena Terrace unique.



ACTIVE EDGES

Provide opportunities for passive recreation and play, fitness, circulation for all mobility types / abilities, easy access to green space

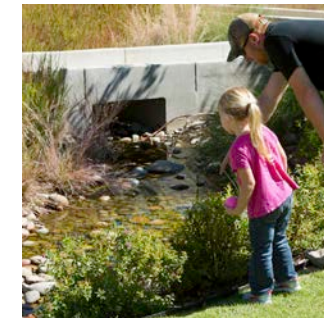


CONNECTED COMMUNITY

Create safe and welcoming outdoor spaces and opportunities to connect with the land through urban ag, etc



SUSTAINABLE AND RESILIENT



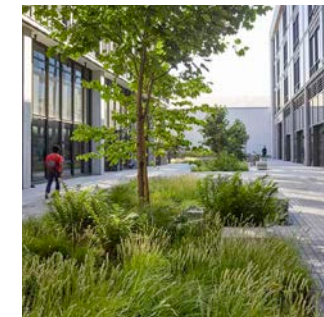
ROBUST RAINWATER

Consider the larger site context and how it is expressed in the overall stormwater narratives and strategy. Celebrate the Still Creek Watershed.



TALKING TREES

Retain existing mature tree canopy. Maximize soil volumes for healthy planting and allowing tree communities to thrive. Prioritize native and adaptive plant species and minimize hardscape areas.



SUSTAINABLE STREETS

Create a streetscape network that supports larger rainwater and planting strategies and reflects neighbourhood character.



ENERGETIC ENVIRONMENT

Take a rewilding approach to open spaces and demonstrate best practices in sustainable materials and design.



The existing open space and landscape of Skeena Terrace

3.2 Public Realm Strategy

The public realm strategy includes the integrated design of outdoor areas, including public green spaces, gardens, natural areas, urban agriculture, recreational and play areas, and community plazas. The proposed plan for Skeena Terrace aims to enhance the quality of life for the community by providing diverse opportunities for recreation, relaxation, and connection with nature, while promoting environmental conservation and biodiversity. This process requires careful study of current landscape conditions, land use patterns, cultural and historical features, and the values and priorities of current tenants.

Skeena Terrace has long been defined by its vibrant community, generous open spaces and distinct landscape of sloping hills and mature trees. The proposed Public Realm Strategy celebrates these inherent strengths of the existing community, while adding a diversity of programs, improved accessibility, restored ecologies and climate resiliency to the site.

The plan prioritizes the retention of existing mature trees, recognizing the wealth of social and ecological benefits that a strong and established tree canopy can provide. The building footprints respond to these critical landscape features, while creating a series of distinct neighbourhood rooms that reinforce a sense of place and belonging for the community.

The result is a balance of inclusive, diverse, flexible spaces with landscapes that support the needs of the residents and contribute to a more resilient and connected region.

Planning for the Public Realm and landscape of Skeena Terrace requires a layered approach that considers various overlapping programs, functions and considerations .

This section includes the following key “layers”, that informed the Illustrative Landscape Plan :

- Tree & Soil Retention Plan
- Ecological Connectivity, Biodiversity and Rewilding
- Still Creek Watershed and Rainwater Management
- Public Open Space Feature Areas
- Public, Semi-Public and Private Open Space
- Internal Courtyards (Neighbourhood Rooms)
- Private Open Spaces—Patio, Terraces, and Balconies
- Residential Common Rooftop Areas
- Streetscape Character
- Site Access & Barrier Free Circulation
- Open Space Program
- Landscape Strategy—Planting Zones
- Landscape Strategy—The Urban Forest
- Wayfinding
- Public Art



The existing open space and landscape of Skeena Terrace



A pedestrian-oriented open space that balances circulation, green space and public amenity.





Tree & Soil Retention Plan

Skeena Terrace's tree canopy is a valuable part of the urban forest, especially in its neighbourhood which has among the lowest canopy cover in the City. Similarly, soil is an increasingly scarce resource in the city and maintaining as much soil on site as possible has multiple benefits for stormwater management, ecosystem health and heat island effect.

Strategies that support the protection and enhancement of tree canopy and soil include:

- Protect large and significant trees and their associated soil, wherever possible.
- Utilize ground-penetrating radar (GPR) or air excavation to determine the location of established tree roots when in close proximity to construction.
- Prioritize the protection of groups of trees, recognizing their established connections underground and the added value that these patches bring to the urban environment.
- Design utility access away from the soil and roots of trees, wherever possible.
- Conduct a soil analysis and vegetation inventory to accurately document the quality, quantity and location of existing soils and vegetation, including soils suitable for reuse on site.
- Identification of any sensitive habitats that may be supported by trees on site, if any.

Refer to the Arborist Report in the Appendix for further information.

-  Proposed Building
-  Proposed Parkade
-  Existing Tree to Retain
-  Connected Soils



Ecological Connectivity, Biodiversity and Rewilding

Maintaining and restoring ecological connectivity is an established strategy for adapting to climate change. The plan for Skeena Terrace prioritizes linked habitat corridors within and through the site that provide plant biodiversity, mature tree canopies and connected soil which together have numerable benefits for community resilience.

Strategies that support ecological connectivity, biodiversity and rewilding include:

- Protect large and significant trees that provide shade in summer months and water infiltration in the rainy season. *(Refer to Tree and Soil Retention Plan)*
- Ensure all new and existing trees, including street trees, have ample space and soil to connect, grow, and flourish above and below ground. *(Refer to Sustainable Soil Strategy and Landscape Strategy—Trees)*
- Enhance the biodiversity on-site through the integration of additional tree species and understory shrubs and groundcover, pollinator meadows, and other natural areas that support habitat for a diversity of species. *(Refer to Landscape Strategy—Planting Zones and Sustainable Landscape Approach)*
- Integrate function and access of on-site green spaces and rainwater with the larger ecological network, with special consideration for Still Creek watershed.

-  Existing Tree Retained
-  Proposed Tree
-  Vegetated Areas
-  Extensive Green Roofs
-  Priority Naturalized Zone
-  Green Rainwater Infrastructure
-  Off Site Ecological Connections



Still Creek Watershed and Rainwater Management

The plan for Skeena Terrace prioritizes celebrating its position within the Still Creek Watershed and enhancing the site's capacity to manage rainwater on site. With the site sloping towards Still Creek, there is a great opportunity to highlight rainwater as a valued resource that is connected to a broader hydrological system.

The public realm, open spaces and building rooftops will utilize generous soil volumes, tree canopies, and integrated rainwater elements to manage the quality and quantity of rainwater on site, minimize pressure on existing stormwater infrastructure, ensure baseflow recharge of Still Creek, and take advantage of the many services that rainwater provides.

Strategies that support an Integrated Rainwater Management Plan include:

- Utilize rainwater on site through the use of Green Infrastructure features, including raingardens, bioswales, green roofs, permeable paving etc.
- Avoid or minimize the use of materials used in buildings, hardscape, and landscape construction that can be a source of pollutants in stormwater (i.e. copper and zinc roof and downspouts, treated lumber, etc).
- Skeena Terrace is located adjacent to the Still Creek watershed with a portion of the development vulnerable to overland flood hazards. Therefore, mitigation measures should be incorporated to ensure the development is resilient to flood hazards, and sustainable into the future.
- Use rainwater tree trenches, where appropriate.



Public Open Space Feature Areas

The open spaces of Skeena Terrace provide a connected and diverse public realm that supports the health and well-being of residents and the broader community. Within this open space framework, there are five (5) key feature areas that define the legibility, character, and function of the plan.

Hermon Drive Slow Street

Hermon Drive has been designed as a “people first” environment for walking, biking, resting, and socializing. The central portion of Hermon has been designed as a shared street inspired by the Dutch “woonerf” with a curb-free profile, meandering the one-way vehicle travel path and public space features. (Refer to *Illustrative Landscape Plan: Hermon Drive*.)

6th Ave Mews

The 6th Avenue Mews is the secondary east-west pedestrian mews within the community and is an expression of the city grid, providing a connection from Cassiar to Skeena street, with a portion of the eastern section of the mews including a utilities statutory right-of-way. (Refer to *Illustrative Landscape Plan: 6th Avenue Mews*.)

Still Creek Greenway










The Still Creek Greenway is the primary east-west connection through the Skeena neighbourhood. This major open space is informed by the greater Still Creek Watershed context and dramatic slopes that define the site. (Refer to *Illustrative Landscape Plan: Still Creek Greenway*.)

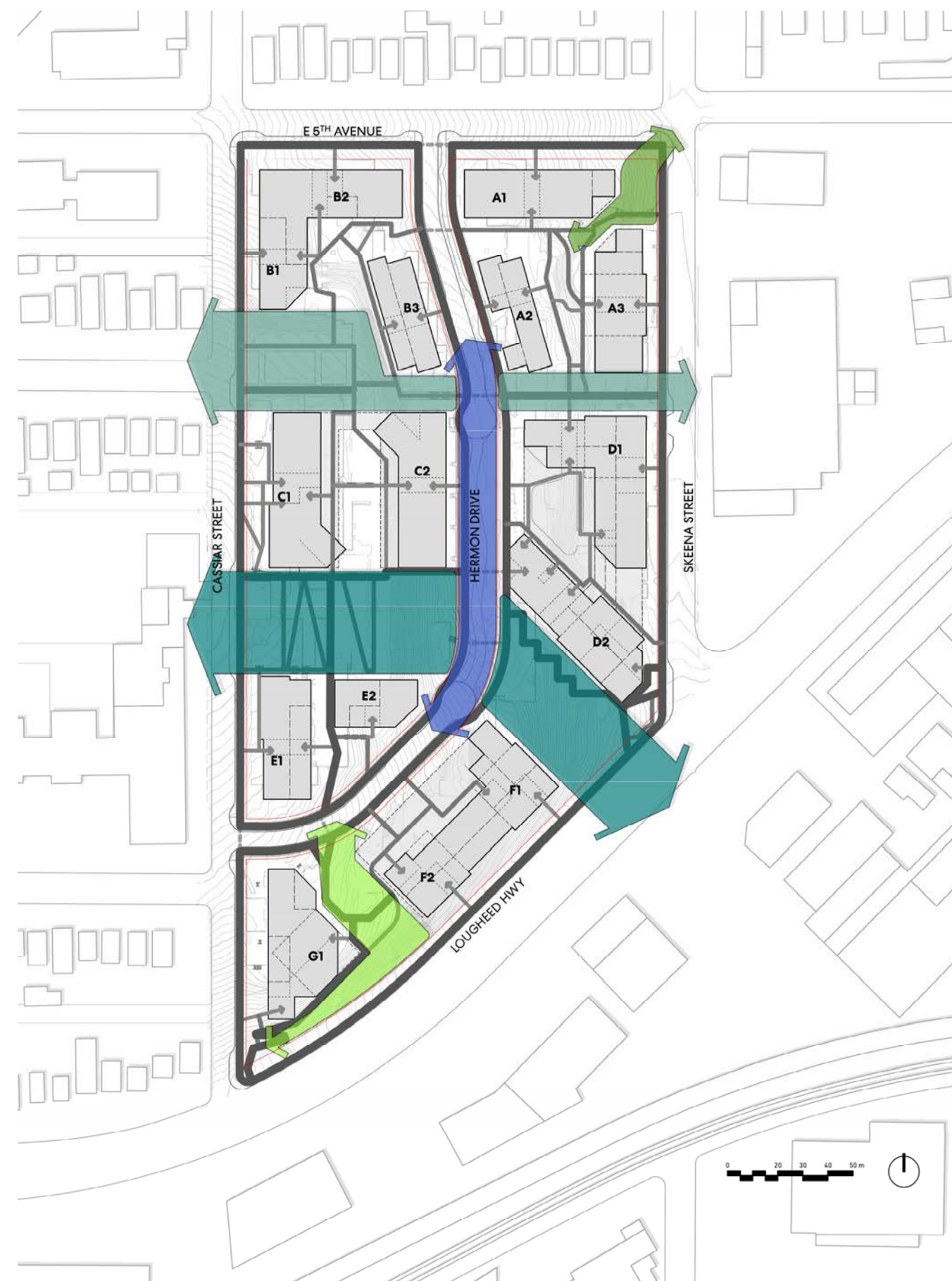
Northeast Gateway (5th Avenue Pocket Park)

The 5th Avenue Pocket Park is a Northeast gateway for the Skeena neighbourhood, providing an important point of arrival and departure, and opportunities for passive recreation and connection to nature. (Refer to *Illustrative Landscape Plan: The Meadow*.)

Southwest Gateway (Cassiar Arrival)

The Southwest Gateway is the primary entry point for many pedestrians and transit users to the Skeena site. A small public plaza is proposed at the foot of Lougheed and Skeena street as an important place of arrival and welcome to the community.

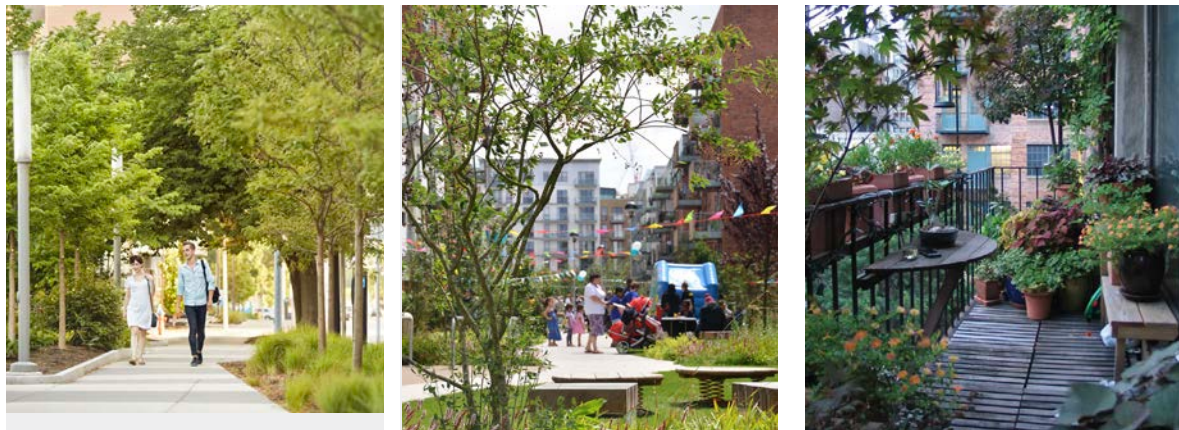
- | | | | |
|---|--------------------------|---|--|
|  | Hermon Drive Slow Street |  | Primary Pedestrian Circulation Route |
|  | 6th Avenue Mews |  | Neighbourhood Pedestrian Circulation Route |
|  | Still Creek Greenway |  | Building Entry Access Route |
|  | Northeast Gateway |  | Street Crossing |
|  | Southwest Gateway | | |



Public, Semi-Public and Private Open Space

Like all vibrant neighbourhoods, Skeena Terrace includes a balanced gradient of public, semi-public and private open space, with thoughtful transitions between the distinct typologies. The majority of open space within the Skeena Terrace neighbourhood is considered public, with a public greenway and a public mews that connect through, and within, the site. These public spaces serve as important setting for community activities, shared experience, and a collective identity that supports connection to place. Next, there are semi-public areas nestled between buildings that will serve as community amenity spaces, while still maintaining public pedestrian circulation routes through them. Finally, residents will also have private patios in many areas connected to their suites, allowing visual connections to the broader open space, while ensuring personal agency and independence.

Public-Private Gradient



- Public Open Space
- Semi-Public Open Space
- Private Patios
- Retail Plaza
- Main Entries



Private Open Spaces - Patios, Terraces, and Balconies

Private open spaces are important transitions that bridge the gap between the inside and outside as well as between private apartments and the shared environment. They should provide adequate levels of privacy, shelter and be integrated thoughtfully into both the architecture and the landscape.

-  Neighbourhood Rooms
-  Private Patios
-  Outdoor Landscape
-  Indoor Amenity Space



Residential Common Rooftop Areas

The roof deck of the buildings include two main approach in terms of use and programming.

Adjacent to the community plaza at Still Creek Greenway Park, **Building C1** offers a range of programming and amenity space on the roof decks. These include the outdoor play areas associated with the childcare, shared mixed amenity roof decks, as well as urban agriculture.

Located on the various roof deck levels, **Buildings A3, D1, D2, F1, F2 and G1** provide a range of outdoor programmed areas. These include shared mixed amenity roof decks with seating, shade structures, passive open space and planted areas. Urban Agricultural plots are also located on a number of roof deck areas. These locations have been selected to take advantage of the key sunny areas of the site.

Extensive green roofs are located on **Buildings A1 A2 B1 B2 B3 C2 E1 E2** and will feature a plant palette that prioritizes pollinators, rainwater management, and habitat.



- Extensive Green Roof
- Daycare Roof Deck
- Mixed Amenity Roof Deck
- Urban Agriculture Programmed Roof Deck

Streetscape Approach

The Skeena Terrace streetscapes have been designed to contribute to an enhanced public realm experience that supports the overall neighbourhood identity. Each streetscape responds to its context and prioritizes pedestrian safety, experience, and City design guidelines. The final design approach will be determined in collaborations with the City of Engineering Department.

Hermon Drive: Local Street—Slow Street / Pedestrian Prioritized

Hermon Drive intersects Skeena Terrace, creating ‘people-first’ central corridor where walking, biking, resting, and socializing are welcomed and encouraged. It prioritizes pedestrians along its entire length, with generous sidewalks and boulevards, and particularly in the central portion. This section is styled like a ‘woonerf’—a narrow slow, one-way street that limits vehicles and celebrates the pedestrian experience.

Cassiar Street: Local Street

Cassiar Street is currently a residential street with mature trees and important connection to Thunderbird Community Centre. The proposed plan will enhance its existing character and experience, prioritizing the retention of mature trees and key community connections.

5th Avenue: Local Street

5th avenue is a sloping residential street at the northern edge of the site with a generous setback that offers opportunities for blue-green infrastructure.

Skeena Street: Local Street

Skeena Street interfaces with a more urban, light industrial character along this most eastern and lowest edge of the site. It has been identified as an opportunity to integrate rainwater management and cycling infrastructure.

Lougheed Highway: Arterial Edge

A key gateway into the City of Vancouver, Lougheed Highway is a busy arterial road. On-going studies with the City of Vancouver will confirm key upgrades and priorities.



Site Access & Barrier Free Circulation













A focus on accessibility in the site approach ensures a sense of community supported by being fully inclusive and equitable for all residents, visitors, and staff.

The site poses some topographical challenges and planning ensures that equitable alternate routes are provided at locations where absolute accessibility is unattainable. With that comes opportunity to create unique solutions for these barriers, ensuring all users can navigate all mobility options with ease.

Solutions attempt to provide circulation routes for people of diverse mobility levels—biking, rolling, walking, wheeled mobility devices, canes, and others—within a connective and open space. If successful, the space will be beneficial for the health and wellbeing of its users, promoting values of livability, adaptability, and inclusivity. To achieve this, several areas of focus are taken into account:

- Barrier-free corridors planned across the site in response to the topography.
- Pathways providing a variety of rest options.
- Transitional areas to vertical modes of travel.
- Vertical circulation redundancy.
- Practical and accessible alternate routes.
- Clear sight lines along paths of travel.
- Direct connection to Skeena Terrace amenities & services.
- Intuitive wayfinding elements & lighting.
- Accessible loading zones in close proximity to building entrances including HandyDart.
- Direct building approaches from loading zones.

Please Note: There is an intention to provide barrier-free accessible access along the greenway from Thunderbird Community Centre down to the existing bus stop at Lougheed and Skeena, as well as, from the front door of the site at Lougheed and Cassiar to the Hut and shared street at the centre of the site.

	Accessible Route 0 - 3% Slope
	Accessible Route 3 - 5% Slope
	Accessible Ramp 8.3% Slope
	Existing Sidewalk 5 - 8.3% Slope
	Existing Sidewalk Greater Than 8.3% Slope Provide Handrails Where Possible
	Stairs Required Greater Than 8.3% Slope
	Potential Mechanized Vertical Transport
	Transit Stop
	Potential Shuttle Stop
	Proposed EV Charging Station
	Potential Resting Node
	Potential Accessible Shuttle Route
	Vehicular Circulation

General Notes:

1. Ensure all building entries have an accessible entry of 5% slope or less.
2. Additional bus stops will allow residents in Buildings at the north of the site not to have to cross the entire site to get to the existing bus stop.
3. Consider providing accessible shuttle systems (autonomous or driven) that loop the site and have stops along Hermon Drive as well as potential stops at the closest skytrain station.

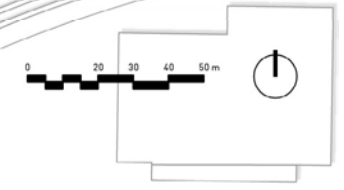


Open Space Program

The outdoor programming for Skeena Terrace reinforces the current spaces that are valued by the residents: community gardens, playgrounds, gathering places, front stoops, and mature trees.

The large amenities are all centrally located to serve the site equitably and include the addition of off-leash dog areas, stormwater features, plazas, accessible greenways, sports courts, children's play and a diversity of gathering places for people of all ages.

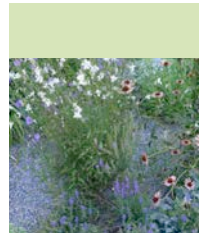
-  Neighbourhood Rooms
-  Private Patios
-  Entry Node
-  Plaza
-  Play Area
-  Outdoor Kitchen
-  Gathering Area
-  Hermon Drive Slow Street
-  Indigenous-Focused Cultural Garden
-  Memorial Area
-  Urban Agriculture
-  Dog Area
-  Passive Open Space
-  Primary Pedestrian Circulation
-  Neighbourhood Pedestrian Route
-  Building Entry Access Route
-  Street Crossing



Landscape Strategy—Planting Zones

Refer to Sustainable Planting Approach

The landscape strategy at Skeena Terrace implements planting as an assemblage of diverse communities that work together to support a more complex, adaptive system. The planting on site has been categorized into the following four (4) broad planting zones:



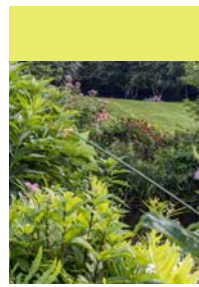
Naturalized (Informal) Planting Zone

This zone is representative of naturally occurring landscapes that would exist on site. They serve as habitat for native plants and wildlife, and a source of connection to nature for community members. A Naturalized Planting Zone may include distinct areas for rewilding, pollinator meadows and extensive green roofs that support habitat. (Refer to Ecological Connections.)



Edible Planting Zone

This zone prioritizes edible plants that support community engagement and food security through informal public landscapes, i.e mixed edible planting, berry paths, food forests, etc., and formal urban agriculture plots. (Refer to Landscape Food Assets and Service.)



Climate Adaptive (Formal) Planting Zone

This zone includes plants that serve a variety of needs within the community in terms of passive recreation, screening or buffering, or more formal frameworks. The species and plant palette are climate adaptive and provide valuable contribution to biodiversity and ecosystems services on site. This zone may include hedges, lawns, evergreen shrubs or groundcover, etc. (Refer to Neighbourhood Rooms for more details about these areas - which will typically include a mix of all planting types.)



Blue-Green Planting Zone

This zone refers specifically to planting areas that support specific Green Rainwater Infrastructure features (i.e. Raingardens or Bioswales) by utilizing plants that filter, absorb, and tolerate runoff. (Refer to Still Creek Watershed and Rainwater Management.)



Landscape Strategy—The Urban Forest

Refer to Sustainable Planting Approach and Tree and Soil Retention Plan.

The tree strategy on-site contributes to the City of Vancouver’s Urban Forest Strategy and its goals for healthy, sustainable and resilient community. Overall, this approach contributes to the fabric of urban forest in its support to local wildlife, providence of shade, and contribution to social and environmental well-being.

Strategies that support a sustainable Urban Forest:

- Tree Biodiversity**



Optimizing tree diversity is critical to maintain climate change resilience, reduce vulnerability to insect and disease attack, and provide ongoing and stable supply of ecosystem services. Species selection on site is guided by the 10-20-30 rule for planting no more than 10% of any species, 20% of any genus and 30% of any family. Furthermore, portions of the site will incorporate planting a diversity of tree species in layers (understory to overstory) to promote vertical structure and biodiversity. Native tree planting will be emphasized in to order to maximize contributions to ecosystems services.

- Mature Tree Protection**

This strategy prioritizes the retention of existing mature trees, recognizing the wealth of social and ecological benefits that a strong and established tree canopy can provide.

- Edible Trees**












The edible trees on site foster communal connection and deepen relationship to local ecology and food harvesting. Accessible tree harvesting fosters communal sense of pride and connection to place. Local edible trees also enhance a sustainably grown food supply, which improves nutrition and accessibility to healthy food. Local edible trees support locally grown food which saves resources and reduces fuel used for transport of food.

-  Existing Tree Retained
-  Proposed Tree



Wayfinding

Wayfinding is the process of guiding people through physical spaces, helping them to navigate and orient themselves, and find their way to their destination. The wayfinding strategy at Skeena Terrace encompasses a wide range of design elements, including signs, maps, landmarks, rest stops and other visual cues that contribute to an overall increase in connectivity, sense of place, and accessibility.

-  Resting Node
-  Shuttle Stops
-  Potential Mechanized Vertical Transport
-  Map Directional
-  Potential Bike and Scooter Share Station
-  Existing Transit Stop
-  Potential Mechanized Vertical Transport
-  Circulation
-  Stairs
-  Major Destinations
-  Minor Destinations - Neighbourhood Rooms



Public Art Strategy

Consistent with the City of Vancouver’s Public Art Policy, a detailed public art plan, prepared by the public art consultant will be developed during the development permit phase. The plan’s objectives will be to integrate high-quality public art into the overall design of the public realm in a way that enriches the experience, identity and character of the Skeena Terrace neighbourhood. The Public Art Strategy in this report identifies potential priority locations or elements for specific public art opportunities, including the following:



Artistic elements integrated into linear rainwater features that celebrate, and draw attention to, blue-green infrastructure on site.



Priority areas for **integrated landscape-based artwork**.



Gateway artwork marks entries and creates thresholds.



Feature/Plaza Artwork including functional or sculptural elements that encourage engagement with hardscape spaces.



3.3 Illustrative Landscape Plan

Aerial View



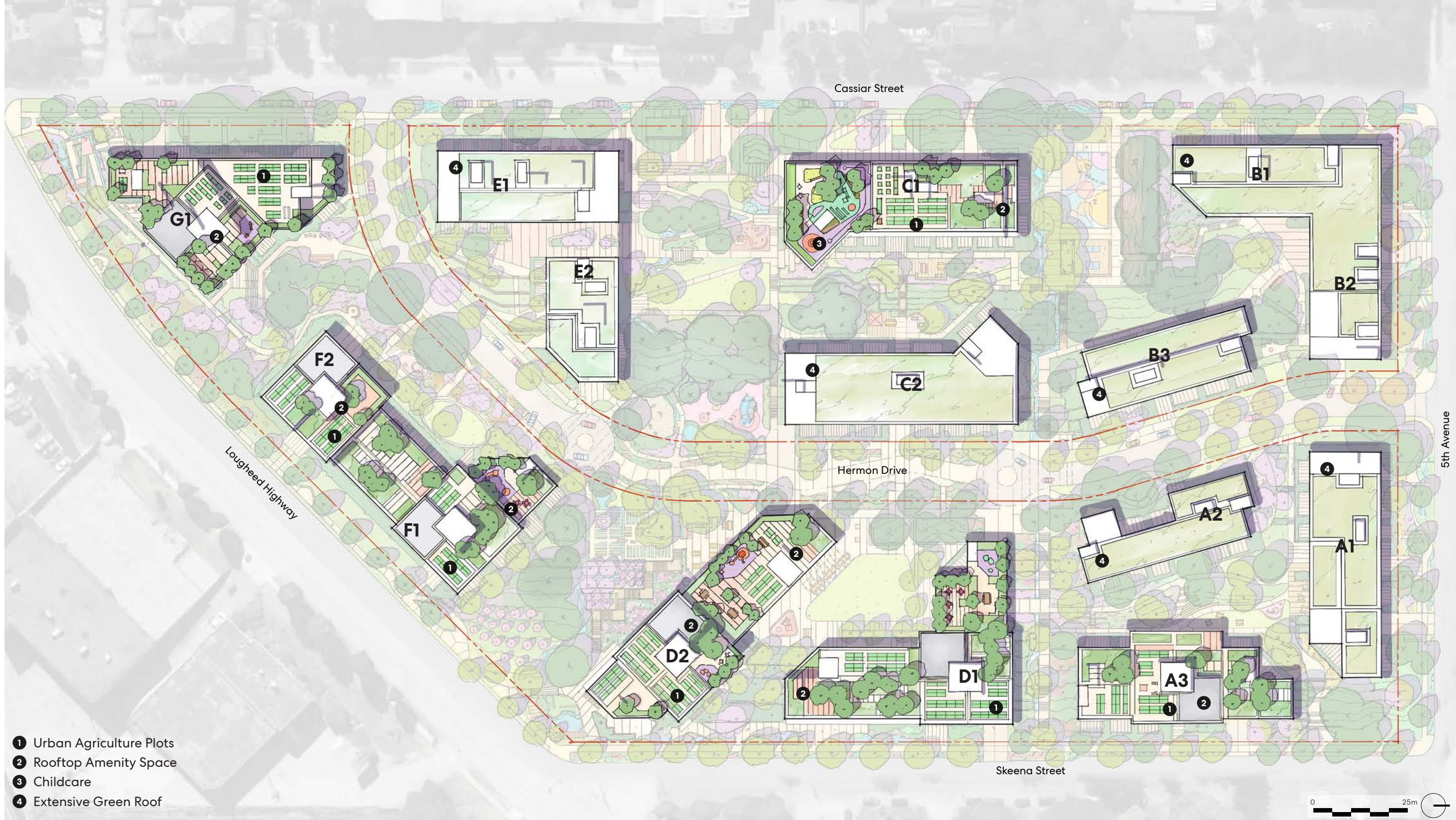
Overall Site Plan



Site Plan at Grade



Roof Plan



- 1 Urban Agriculture Plots
- 2 Rooftop Amenity Space
- 3 Childcare
- 4 Extensive Green Roof

3.4 Pedestrian Corridors

Still Creek Greenway: Illustrative Landscape Plan

The Still Creek Greenway is the primary east-west connection through the Skeena Neighbourhood. This major open space is informed by the greater Still Creek Watershed context and dramatic slopes that define the site.

Anchored by a large plaza at Cassiar Street, this high point is an important gateway and gathering point for residents and the public, connecting to Thunderbird Community Centre and Thunderbird School, as well as the commercial-retail spill-out areas for Buildings C1 and E1. This flexible open plaza is able to host both large and small-scale events from a morning coffee run to a weekend farmer’s market under the canopy of existing mature trees. The plaza will include infrastructure necessary to support a variety of events and programming including power, water, storage and covered areas. Additionally, the plaza will target a minimum of 930 sq. m (10,000 sq. ft.) of contiguous space provided on private property and be flexible in design to serve as a central gathering space for both on-site residents and the wider neighbourhood. Local-serving retail will frame the plaza, and be located adjacent to other community serving spaces.

A range of smaller, public spaces cascade down the landscape and include terraced seating nodes, a young children’s play area, and open lawn. A large grove of retained trees provide an opportunity for exploration

and informal play adjacent to the off-leash dog area and all-ages playground.

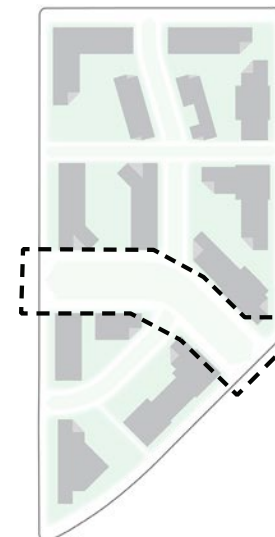
In addition to the pedestrian network within the greenway, mechanical transport is proposed at the foot of Buildings D2, C2 and C1 to streamline the journey from Skeena to Cassiar streets and connection to Hermon Drive for those with mobility challenges. An accessible pathway also links the existing transit stop along Lougheed.

The landscape program of the lower greenway reflects the existing grades of the site. Gathering areas associated with the Hut in Building D2 step down through a terraced landscape to generous urban agriculture plots and community orchard spaces. A continuation of the community orchard on the lower slopes provides a place for passive recreation and informal play for all ages.

A robust green rainwater infrastructure and planting approach is an important guiding component of the greenway and are woven throughout the various program areas. The dynamic stormwater expression in the sloped landscape concludes in a feature raingarden at the entry node and retail plaza areas of Building D2.

The Entry Node adjacent to Building F2 and Lougheed Highway will consider seating and weather-protection for transit users waiting and arriving at the bus stop.

Key Plan



- 1 Cassiar Plaza
- 2 Retail Plaza associated with Buildings C1 & E1
- 3 Entry Node
- 4 Terraced Landscape with Resting Nodes
- 5 Passive Open Space
- 6 All Ages Playground
- 7 Toddler and Young Children’s Playground
- 8 Informal Nature Play Area
- 9 Off-Leash Dog Park
- 10 Accessible Connection via Mechanical Transport
- 11 Green Rainwater Infrastructure Feature
- 12 Shared Food Growing Plots
- 13 Community Orchard
- 14 Hermon Drive Woonerf
- 15 Portal Connection to Neighbourhood Room D
- 16 Retained, Mature Tree Grove



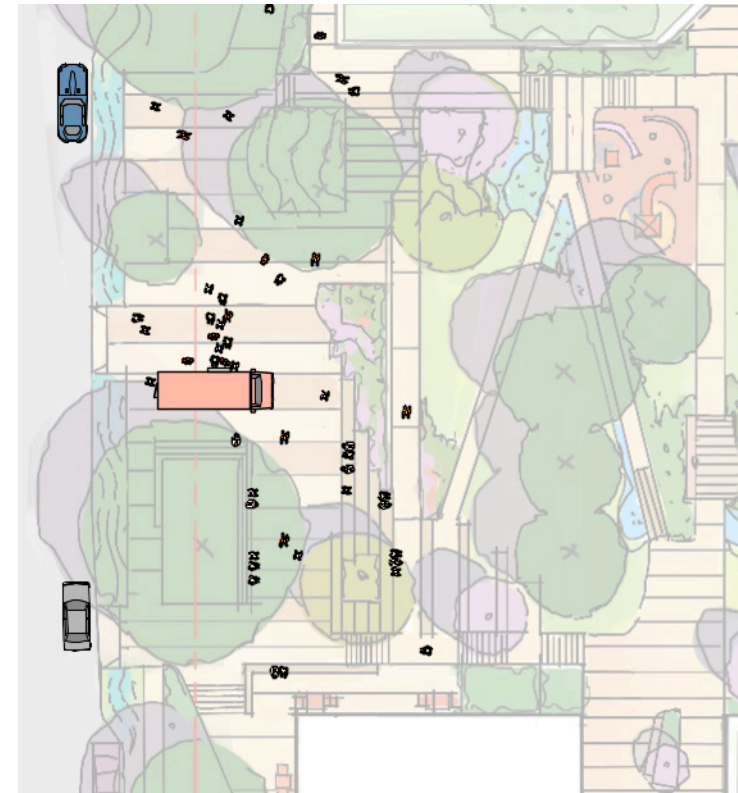
Still Creek Greenway: Plaza Programming Options

The Cassiar Street Plaza at the top of the Still Creek Greenway is intended to be a flexible, public open space with the ability to host a range of events:



- Farmer's Markets
- Seasonal Markets
- Flea Markets

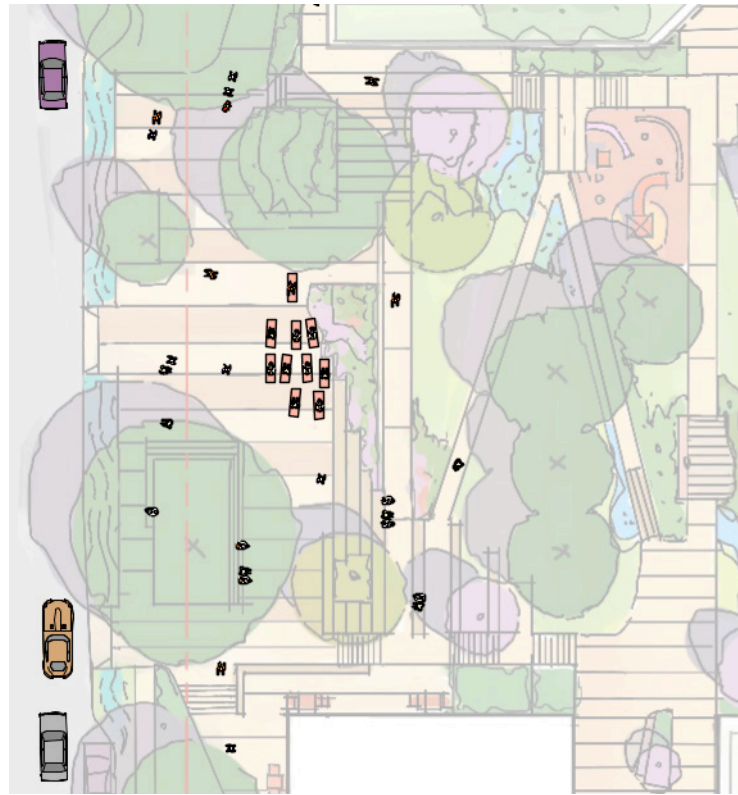
Left: Ten 10' x 10' market stalls, 1:500.



- Food Truck Festivals
- Special Events
- Cook-Offs
- Community Centre or School Spill-Out Events

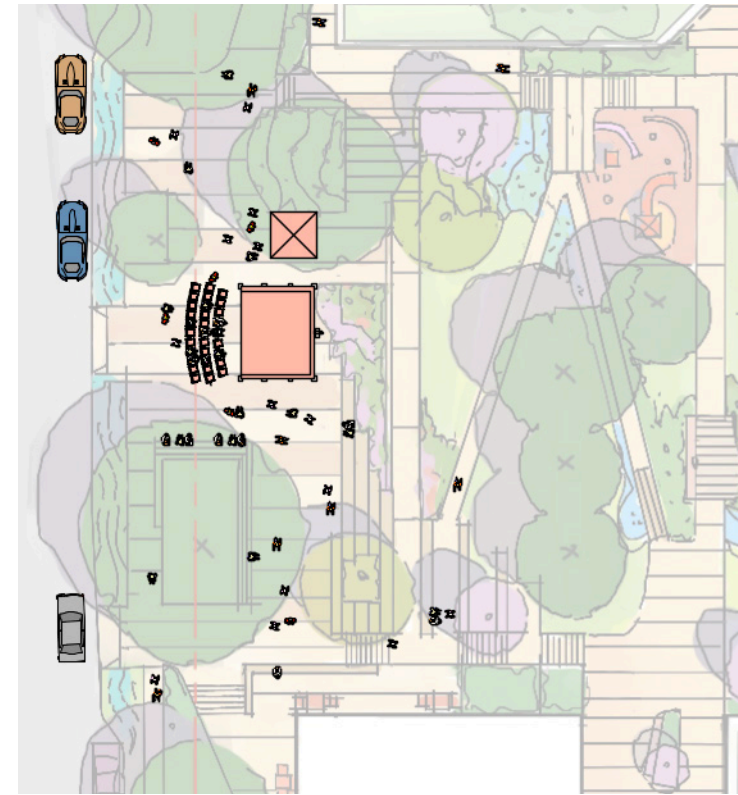
Left: Typical food truck, 1:500.





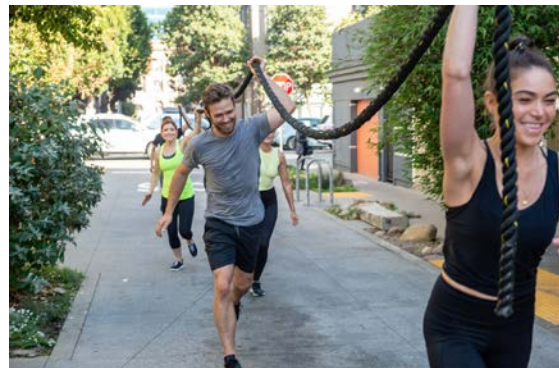
- Yoga
- Fitness
- Training Camps

Left: Ten yoga mats, 1:500.

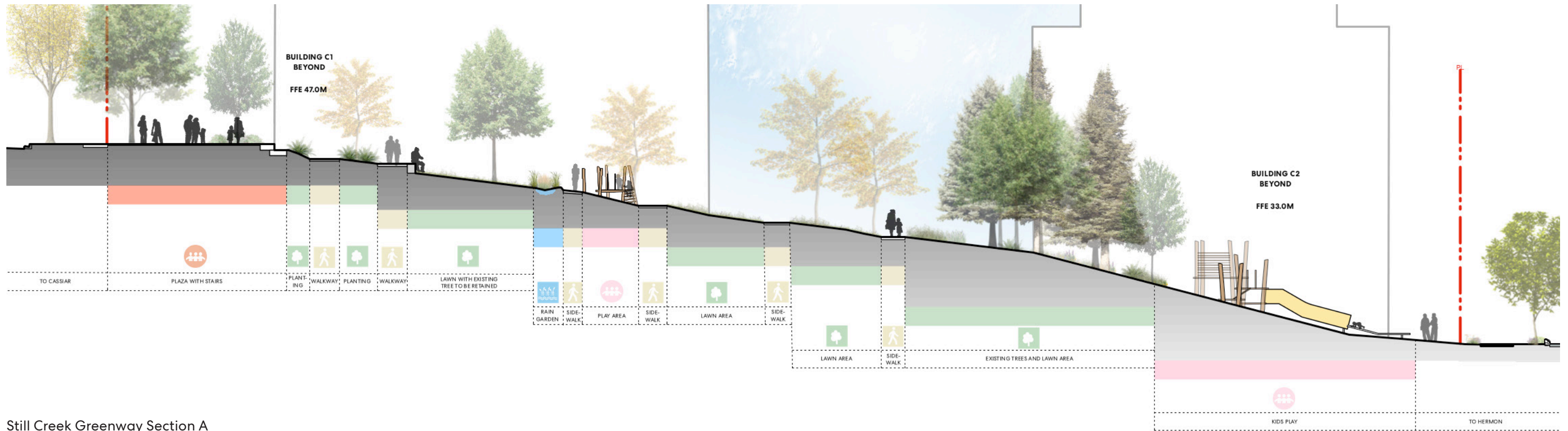


- Concerts
- Performance
- Buskers
- Theatre
- Movies

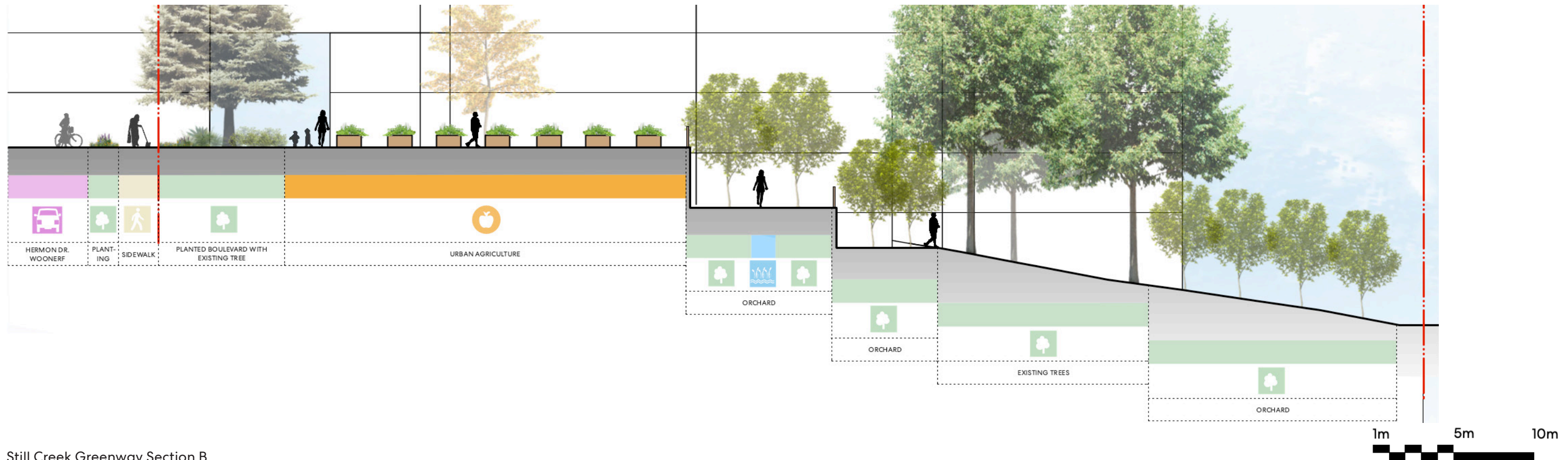
Left: 16' x 20' mobile stage, 30 chairs, and 10' x 10' ticketing tent; 1:500.



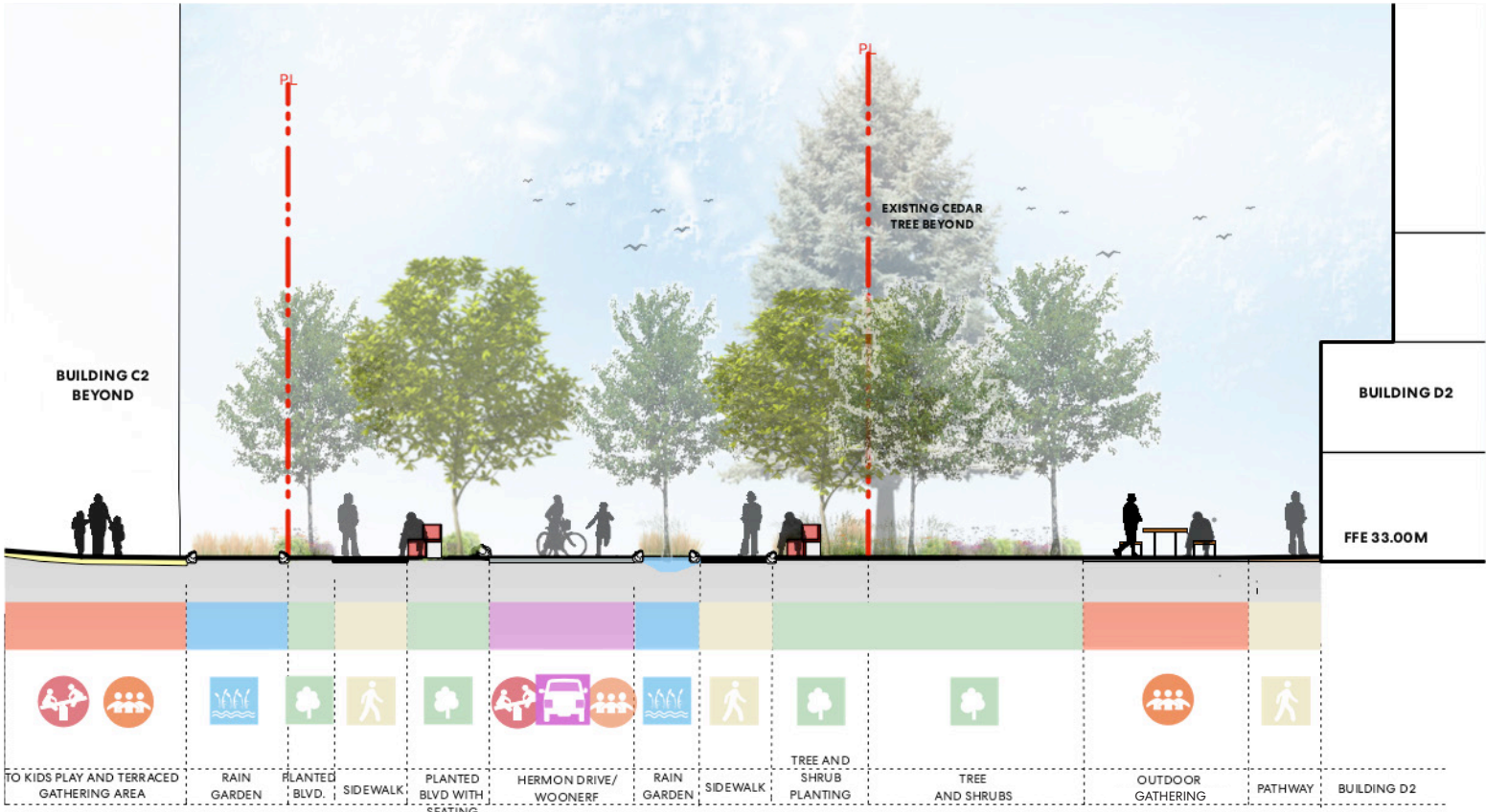
Still Creek Greenway: Illustrative Landscape Sections



Still Creek Greenway Section A

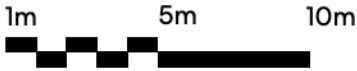
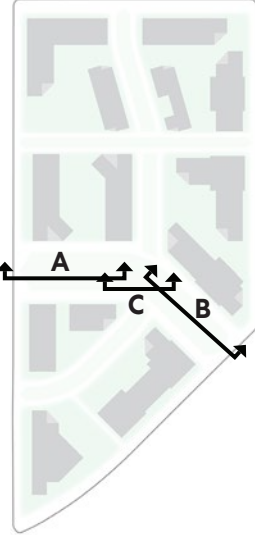


Still Creek Greenway Section B



Still Creek Greenway Section C (at Hermon Drive)

Key Plan



Still Creek Greenway: Character Expression

Still Creek Greenway - West

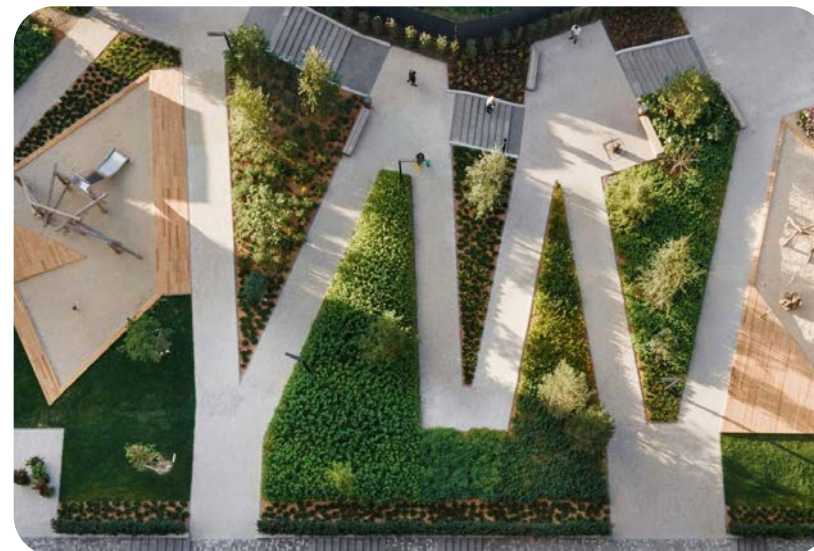
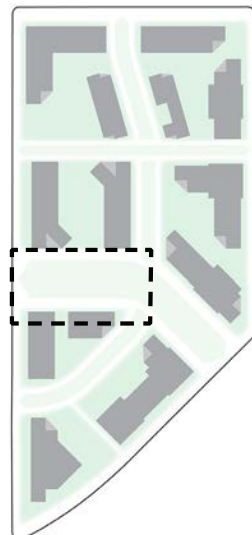
The Cassiar Plaza at the high point of the Greenway makes use of warm-tone paving materials and timber seating elements to make the space as inviting as possible, encouraging public interaction and gathering associated with the nearby Thunderbird Community Centre, School, and retail spaces of Buildings C1 and E1.

Due to the anticipated high level of foot traffic, as well as hosting larger events and movable structures, this space is intended to be bright and open and to minimize barriers to pedestrian flow. As this area of the public realm is layered with many circulation routes in addition to providing key accessible connections via ramp and a potential mechanized vertical transport, the plaza must accommodate all ages and mobilities. Attention to tactile and visual warnings and handrails is of particular importance in this space. Hardscape and seating types with more formal or streamlined qualities, as well as bike racks are proposed in this high-traffic area.

The use of whimsical paving patterns and colour in the landscape communicate that this is a welcoming space to both residents and visitors, and emphasis on durable, high-quality materials encourage a sustainable and low maintenance landscape.

The planting character in the Greenway is envisioned to be a robust understory of native and climate-adaptive plant species that work in tandem with the large stands of existing trees to establish this as a major ecological corridor. The character of the green rainwater infrastructure features in this area are intended to be bold and playful as a visual reminder of the site's connection to the greater Still Creek Watershed.

Key Plan



Still Creek Greenway - East

The lower portion of the Still Creek Greenway hosts a several smaller social spaces for outdoor dining, community gardens, and orchards. As a continuation of Cassiar Plaza, the Greenway leads way to a less formal, but still high traffic, landscape.

The character of materials in this zone is intended to be a simple, and less refined version of the upper Greenway, creating a gradient toward Skeena Street. Informal seating and gathering areas are encouraged throughout. Seat walls, mass timber, rough-hewn stone, and large-scale unit pavers dominate the public realm areas. Playful and colourful furnishings that encourage group seating and dining such as harvest tables, chair swings, and trellises are proposed in key moments along the Greenway, signalling that this is a main thoroughfare for public use.

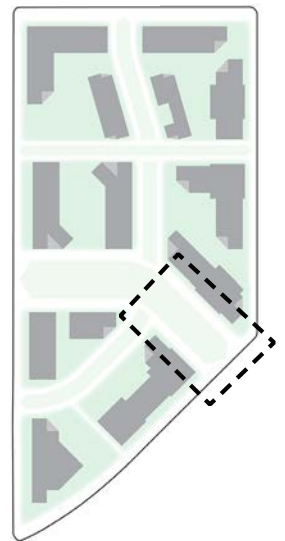
In addition to the urban agriculture / community garden / community orchard areas, planting is intended to be loose and colourful, including fruiting and flowering trees, contributing to the overall planting and ecology objectives of the site, with additional edible plant species woven into the plant palette.

The form and character of materials toward the eastern end of the Greenway at Building D2's retail plaza and Lougheed Entry Node are envisioned to have focused, refined moments, such as timber walkways, in an otherwise naturalized landscape.

The rainwater infrastructure of the Greenway is intended to be playful and interactive in nature and increase in scale, with the terminus at Lougheed incorporating a water feature that speaks to the connection to Still Creek.



Key Plan



6th Avenue Mews: Illustrative Landscape Plan

The 6th Avenue Mews is the secondary east-west pedestrian mews within the community and is an extension of the city grid, providing a connection from Cassiar to Skeena Street. The Mews (including the sports court) is secured by a Statutory Right of Way (SRW). The exact location of the SRW will be determined in the later stage of design.

The Mews steep grades unite a series of small program areas and create opportunities for adult fitness, unique vantage points, and dramatic rainwater expression in the landscape.

Linking the multi-use sport court recreation area at Cassiar Street, a series of stairs pass through a grove of retained trees to a rest node that is also the entry

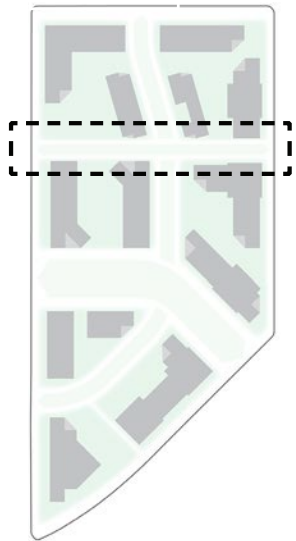
point of the Hermon Drive pedestrian-focused street.

The Mews paving expression is extended seamlessly across Hermon as a means to provide a visual reminder for vehicles entering the 'slow street' and to improve the pedestrian crossing toward Skeena Street.

The eastern portion of the Mews integrates resting nodes and small areas of pause amongst the required stairs. The naturalized planting character in this zone also integrates edible planting which supports the greater food strategy goals across the site.



Key Plan

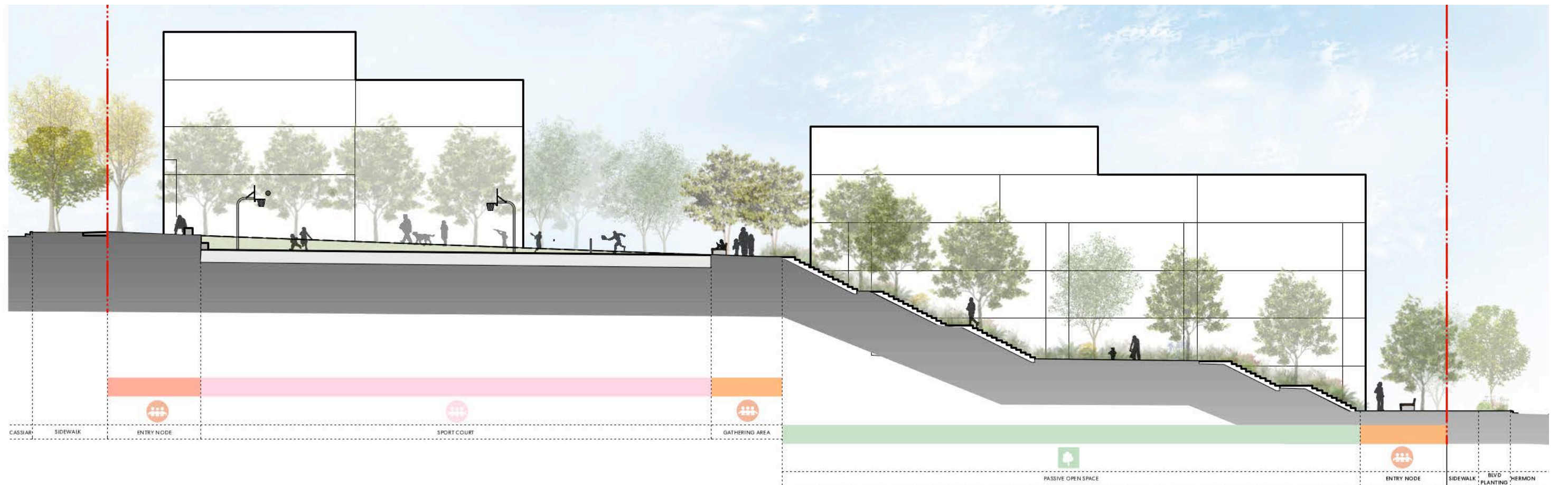
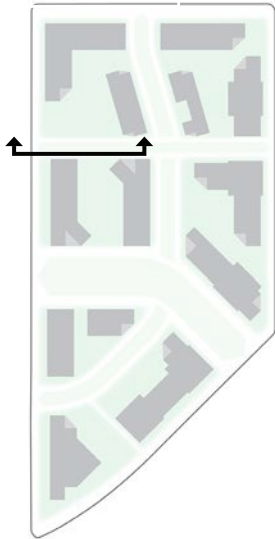


- ① Entry Node
- ② Informal Gathering Area
- ③ Retained Mature Tree Grove
- ④ Seating Nook
- ⑤ Connection to Hermon Drive
- ⑥ Green Rainwater Feature



6th Avenue Mews: Illustrative Landscape Section (West)

Key Plan



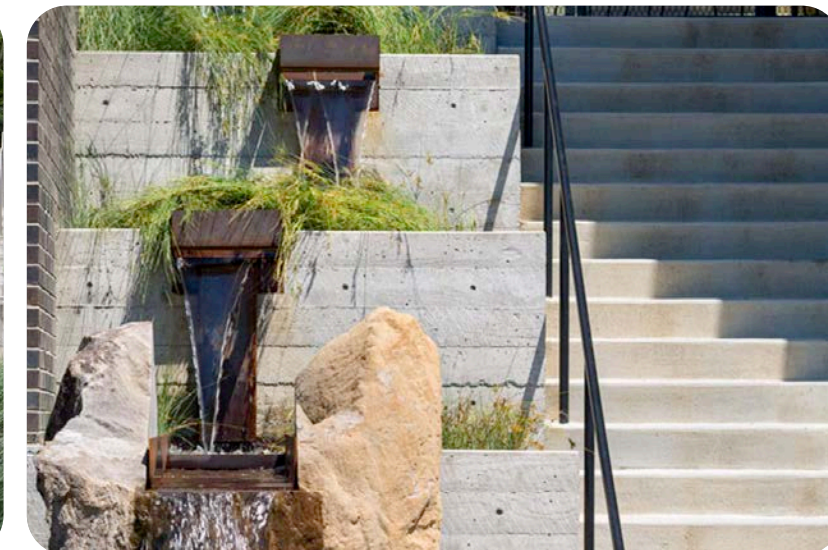
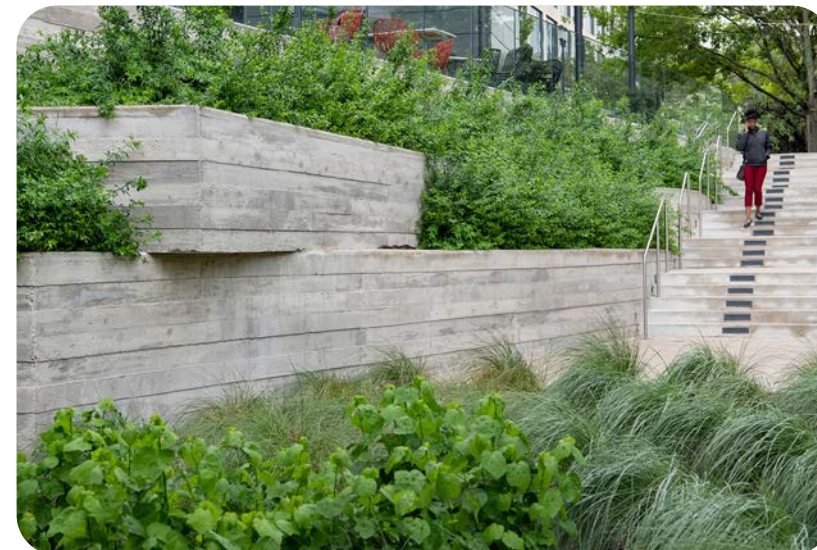
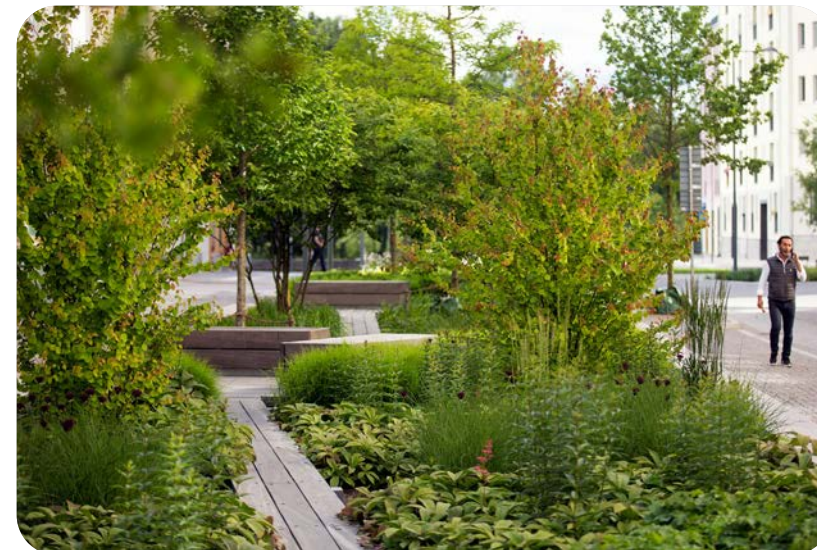
6th Avenue Mews Section

6th Avenue Mews: Character Expression

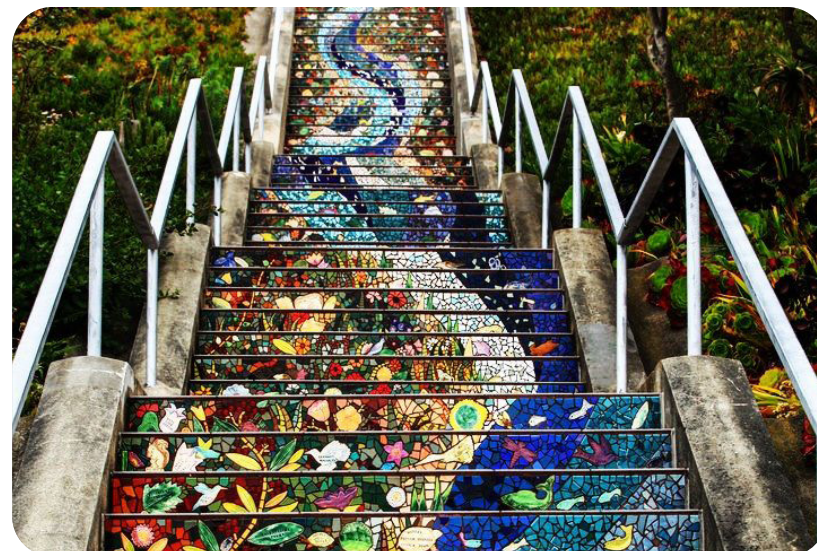
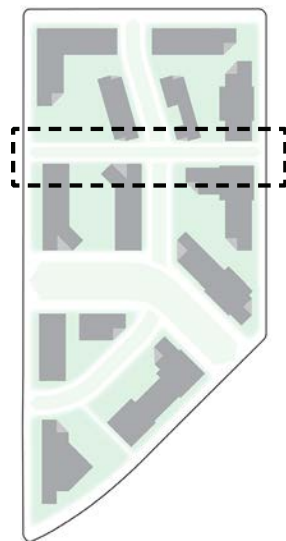
The second major east-west pedestrian connection on site, the 6th Avenue Mews, requires a series of stairs to navigate dramatic, sloping terrain. A portion of the eastern section of the mews includes a utilities statutory right-of-way which restricts landscape treatment and furnishings to surface treatment in this area.

The clean lines of the staircases are in contrast to the naturalized planting character of the pedestrian corridor and present an opportunity for playful public art or varied articulation of the stairs themselves in order to break up the journey from Skeena to Cassiar Street. There is also potential to integrate edible planting zones, such as a berry-harvesting patch, in sunnier rest stop areas along the route.

Rainwater expression along the length of the corridor is envisioned to be more architectural in character, due in part to limited space, but could include playful elements such as runnels and spouts while using the topography to its advantage.



Key Plan



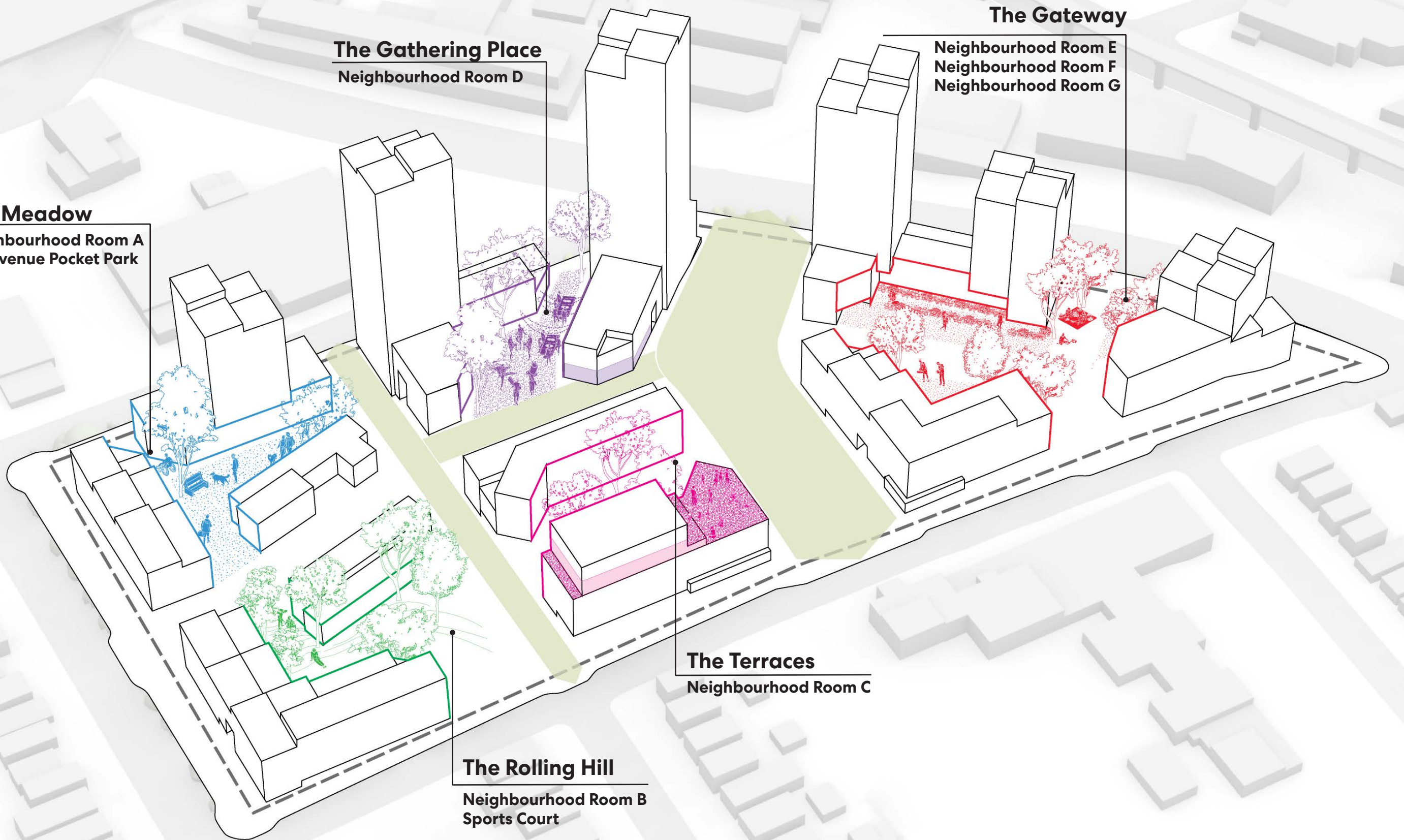
The Meadow
Neighbourhood Room A
5th Avenue Pocket Park

The Gathering Place
Neighbourhood Room D

The Gateway
Neighbourhood Room E
Neighbourhood Room F
Neighbourhood Room G

The Terraces
Neighbourhood Room C

The Rolling Hill
Neighbourhood Room B
Sports Court



3.5 Neighbourhood Rooms

The community of Skeena Terrace is organized into a number of Neighbourhood Rooms. These rooms capture their unique character and approach, while maintaining a unified character of the community at large.

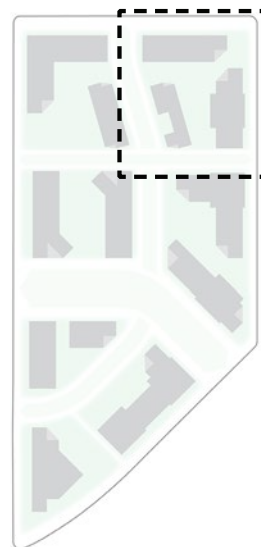
The Meadow: Illustrative Landscape Plan

“The Meadow” area includes Neighbourhood Room A and adjoining 5th Avenue Pocket Park which are both characterized by two elements of Skeena’s legacy landscape: a playful hillside and stand of mature pine trees.

This Neighbourhood Room navigates steep terrain with a series of accessible pathways that connect smaller gathering areas including a toddler play area, pockets of flexible open lawn, picnic tables, terraced seating, and smaller seating nodes beneath the retained tree canopy. An edible showcase garden provides a point of interest along the 6th Avenue Mews and is a sunny spot to read and relax. A dog run and agility area is proposed at the interface of Hermon Drive where it is easily accessed by residents. Outdoor amenity spaces associated with Buildings A1 and A3 have the possibility of interacting/overlapping with the proposed features in the shared landscape areas when hosting special events for tenants.

At the Northeast corner of the site, the Pocket Park’s gently sloping landscape creates opportunities for passive recreation and connection to nature, featuring whimsical bird houses, a pollinator meadow, wayfinding signage, and seating nodes. As one of the lowest points on the site, a rainwater feature is envisioned here. These program elements support important habitat goals of the site and present an educational opportunity for the greater public.

Key Plan

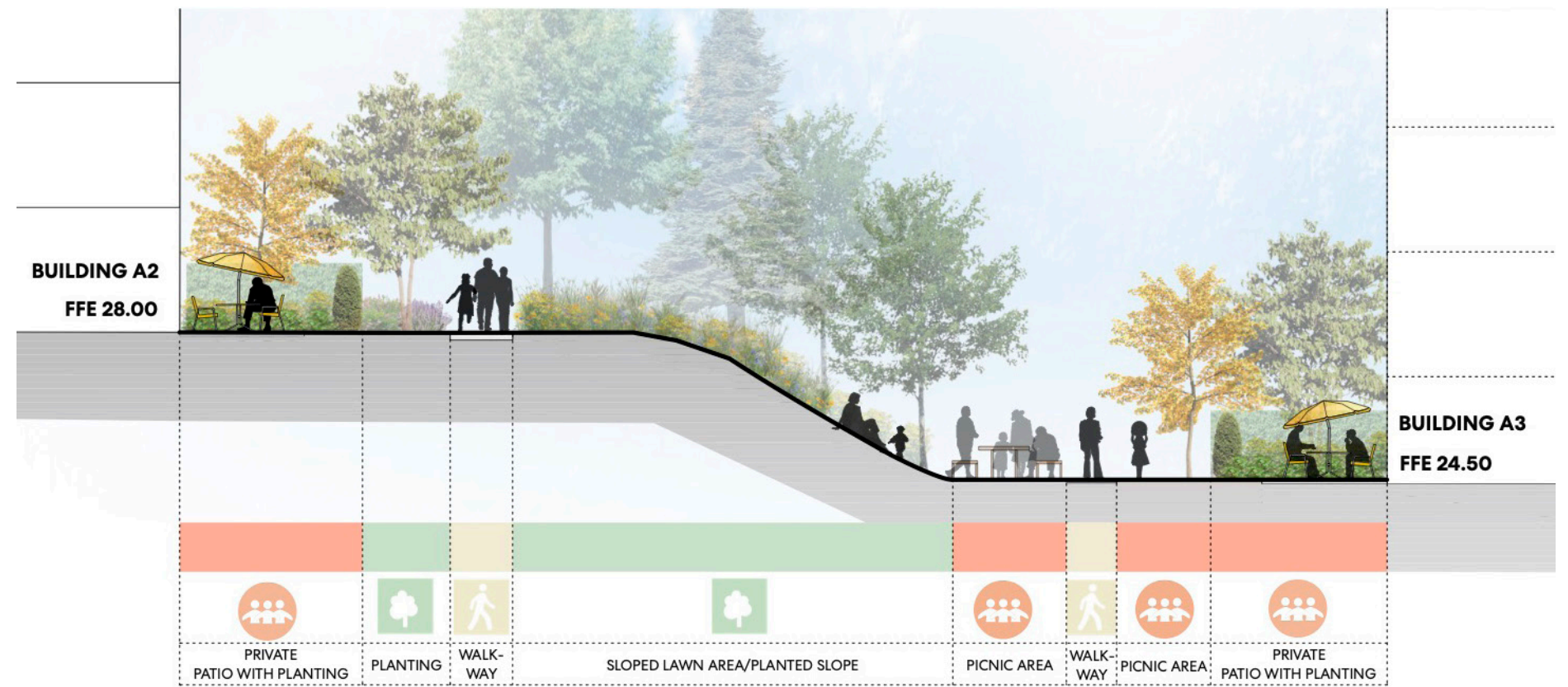
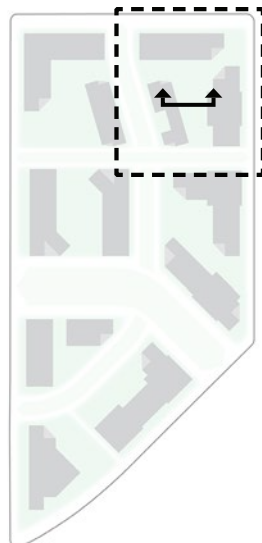


- 1 Entry Node
- 2 Terraced Seating
- 3 Seating Nook
- 4 Flexible Open Space
- 5 Artistic Bird Houses
- 6 Pollinator Meadow
- 7 Retained Mature Tree Grove
- 8 Toddler Play Area
- 9 Picnic Area
- 10 Edible Showcase Gardens
- 11 Green Rainwater Feature
- 12 Outdoor Amenity Space
- 13 Dog Area



Meadow: Illustrative Section

Key Plan



Neighbourhood Room A Section



The Meadow: Character Expression

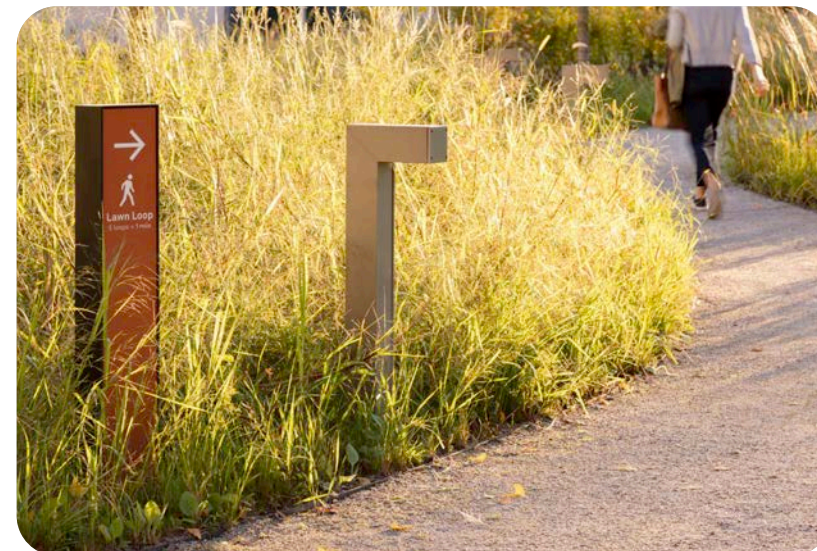
5th Avenue Pocket Park

The 5th Avenue Pocket Park is an important northeast gateway for the Skeena neighbourhood, providing an important point of arrival and departure, as well as an amenity space for the community. An existing stand of pine trees at the northeast corner of the site are the focal point for the 5th Avenue Pocket Park. This area draws its character from the legacy landscape of Skeena Terrace, with a rolling hill and mature trees.

Landscape interventions are limited in this space as it is intended to be more natural and restrained in character, with emphasis on providing habitat for birds and pollinators. Pathways in this area are to be primarily crushed granular surface with feature paving at entry nodes. Rough-cut stone block seating and simple benches are proposed in this informal landscape.

Planting is to be a mix of lawn and pollinator-friendly meadow areas that support the greater habitat goals of the site, and colourful planting with seasonal interest is encouraged.

In contrast to the planting palette, the Pocket Park has potential to incorporate whimsical elements or public art interventions that speak to the rewilding and pollinator strategies, such as colourful bird or bee/bat houses, way-finding/interpretive signage, or feature lighting. These artistic interventions also present an educational opportunity for residents and the public.



Key Plan

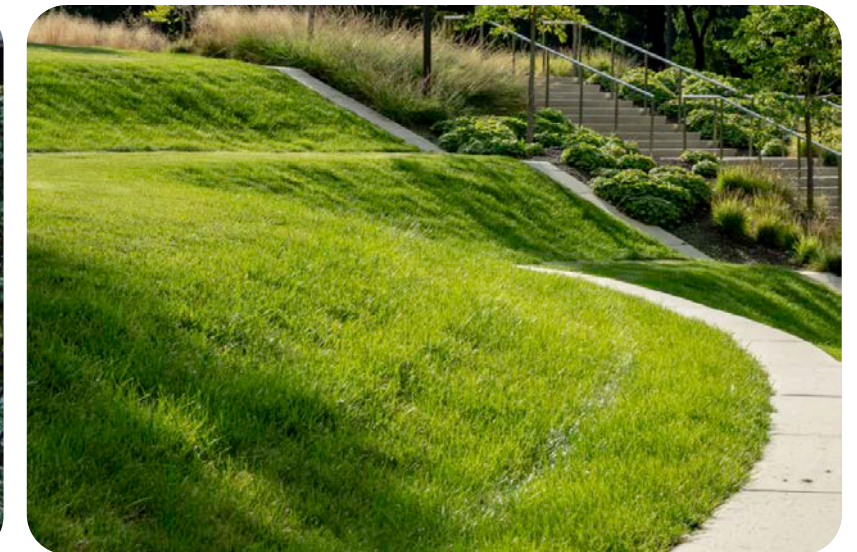


The Meadow: Character Expression

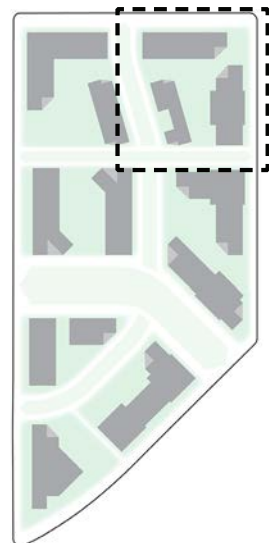
Neighbourhood Room A

The naturalized landscape character from the 5th Avenue Pocket Park is carried west into Neighbourhood Room A. This semi-public open space includes a series of smaller nodes, due in part to its steep, existing berm and retained trees, which require a meandering pathway to connect the surrounding buildings. The berm is to be retained as open lawn, while lush planting and smaller tree species provide a delineation between public and private spaces. An edible showcase garden and fruiting trees contribute to the project's habitat strategy while supporting food security and community gardening for the residents.

Paving material is to be a warm tone and fine-grain pattern to reflect the intimate scale of these outdoor nodes and to make them feel like inviting extensions of the architectural amenity spaces. Natural material will unite the character of the surfaces and furnishing, contributing to an overall sense of place and identity.



Key Plan



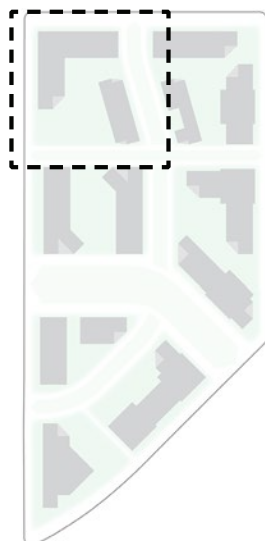
The Rolling Hill: Illustrative Landscape Plan

“The Rolling Hill” area includes Neighbourhood Room B and the adjacent Sport Courts, and is located just north of the 6th Avenue Mews. The landscape in Neighbourhood Room B encourages passive recreation areas, such as outdoor dining, seating and reading books nestled beneath the trees. A staircase navigates the slope and hosts a viewing platform and resting node.

A large raingarden and lush planting along this portion of 5th Avenue contribute to the greater stormwater and rewilding principles of the site. A walking connection is provided from 5th Avenue via portal through Building B2 to an open courtyard with harvest table for outdoor dining and small gatherings.

In contrast to the quiet nature of this Neighbourhood Room, a public multi-sport court and games area is proposed at the top of the slope adjacent to Cassiar Street. This flexible open space provides a rare flat surface on the site, with potential for a variety of fair weather activities for residents and the wider neighbourhood, from learning to ride a bike to a birthday party, in addition to recreation.

Key Plan



- ① Green Rainwater Feature
- ② Harvest Table / Outdoor Dining
- ③ Seating Nook
- ④ Passive Open Space
- ⑤ Portal Connection to 5th Avenue
- ⑥ Staircase and Tree View Deck
- ⑦ Retained Mature Tree Grove
- ⑧ Outdoor Amenity Space
- ⑨ Multi-Sport Court

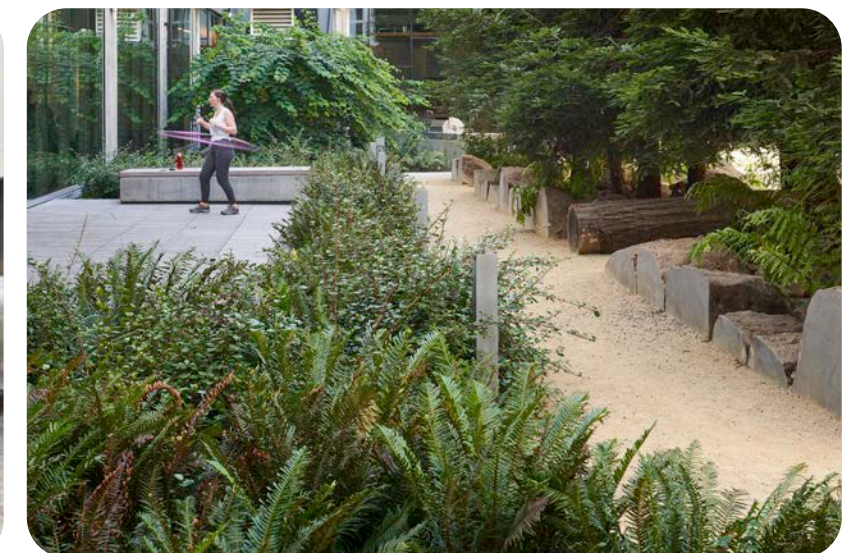
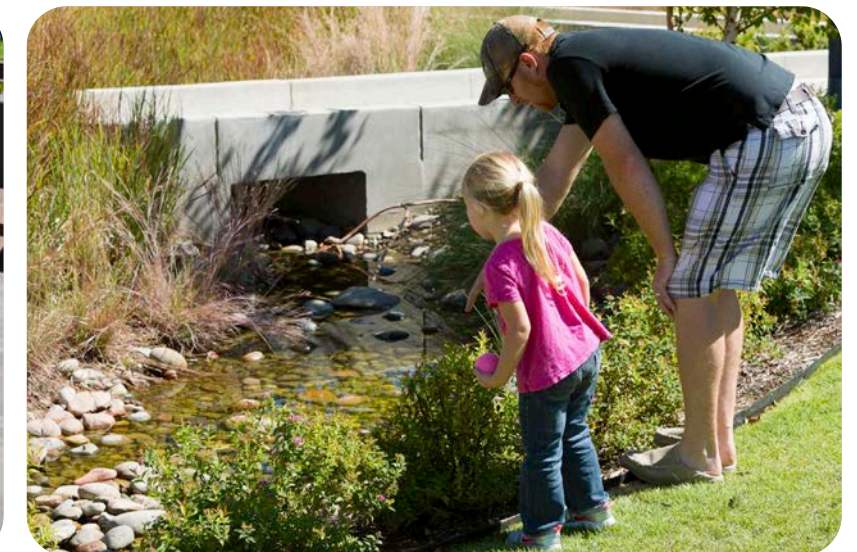


The Rolling Hill: Character Expression

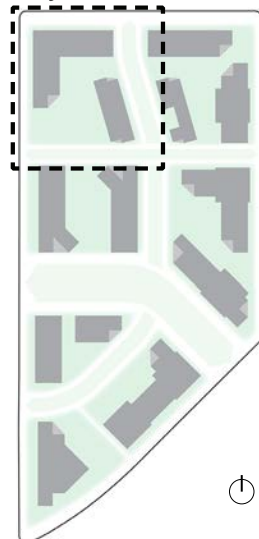
Neighbourhood Room B is designed around a grove of mature trees and its dramatic slope. These defining features require a sensitive approach to grading, in order to ensure accessible pedestrian pathways that allow visitors to experience the urban forest without compromising the health and longevity of this culturally significant landscape.

Timber decking, narrow paths that meander through the hillside, and lush, naturalized planting, contribute to a feeling that recalls forest walks and treehouses. Berry patches line key corridors, providing foraging opportunities and supporting a diversity of meaningful connections with nature. Wood harvest tables, stone paving slabs, rough-hewn timber seating below mature tree canopies contribute to a rustic charm that is informed by nature. Small seating nodes are scattered through the area, offering a quiet and intimate scale for restoration and reflection.

The Multi-use Sports Court Area balances the natural character of Neighbourhood Room B, with a playful expression that celebrates recreation in a creative way. The surface of the court is an opportunity for bright colours and/or graphics, or a public art intervention, in addition to on some walls that might be required here. Furnishings are flexible, playful and offer a variety of settings to play, socialize, or relax. As the western entry to the 6th Avenue Mews, this space provides an active and welcoming arrival to the Skeena neighbourhood.



Key Plan

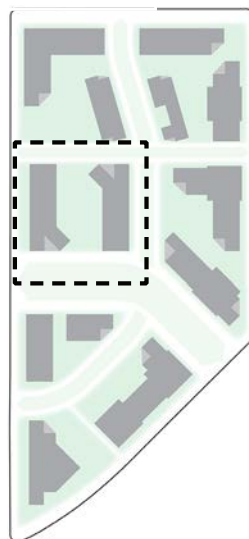


Terraces: Illustrative Landscape Plan

The Terraces is the area defined by Neighbourhood Room C. Drawing activity from the adjacent Greenway and the Mews, multi-sport court area, and childcare, the Neighbourhood Room C landscape hosts playful gathering areas that encourage social interaction. A 'backyard for all', the space is intended for residents of all ages to connect and safely use the space.

Program areas are nested along the change in grade between buildings. Small plazas and seating nooks in this courtyard are linked by terraced, gardenesque planting beds for residents to enjoy lively colour and seasonal interest. A community pagoda provides space for informal and formal community events, as well as weather protection. The open lawn beneath a grove of existing ginkgo trees encourages passive recreation and casual play.

Key Plan

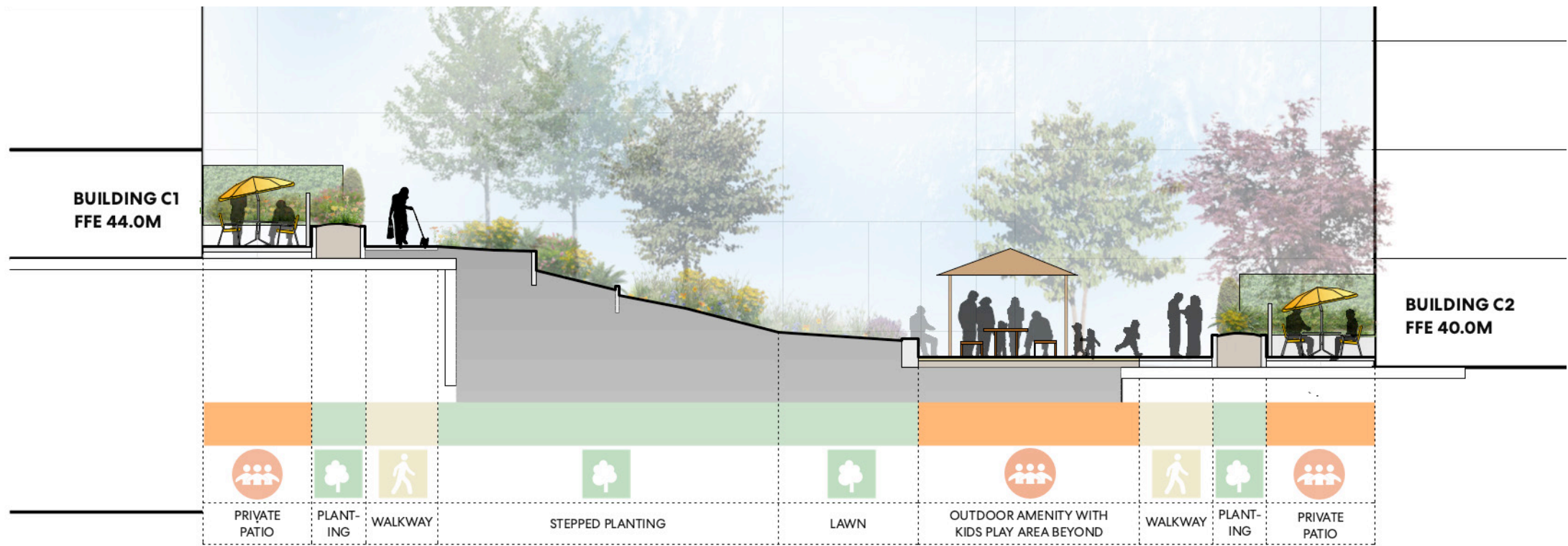
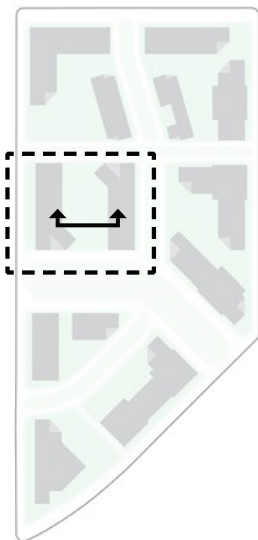


- ① Entry Node
- ② Gathering Hut with Harvest Table
- ③ Seating Nook
- ④ Passive Open Space
- ⑤ Retained Mature Tree Grove
- ⑥ Terraced Landscape with Edible Planting
- ⑦ Commercial-Retail Plaza
- ⑧ Accessible Connection via Mechanical Transport



Terraces: Illustrative Section

Key Plan



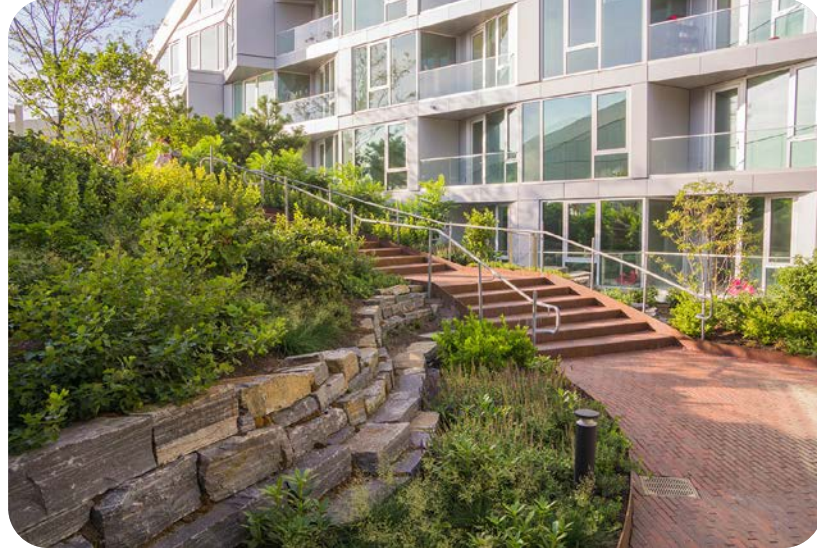
Neighbourhood Room C Section



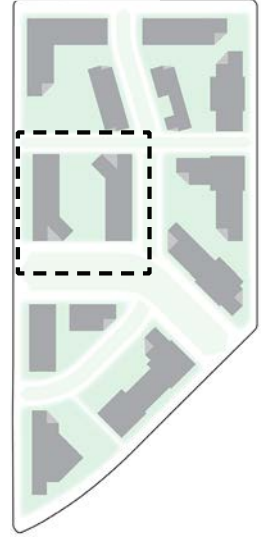
Terraces: Character Expression

The Neighbourhood Room C (Terraces) has a character that celebrates its position in the heart of the neighbourhood, providing a 'backyard for all', that encourages residents of all ages to connect and safely use the space.

An existing row of Ginkgo trees are the focal point of the gardenesque planting, that provides a variety of colour, texture and kid-friendly species that have positive sensory qualities. Paving character at the small plazas and nodes have a warm tone and fine grain, with retaining walls that mirror the human-scale of the space by using stacked stone or other natural material. Furnishings include simple trellis frames for climbing plants or catenary lighting, movable seating, picnic-style seating, and proposed gazebo structure that provides space to gather in all seasons.



Key Plan



The Gathering Place: Illustrative Landscape Plan

The Gathering Place is defined by Neighbourhood Room D and its central position along Hermon Drive.

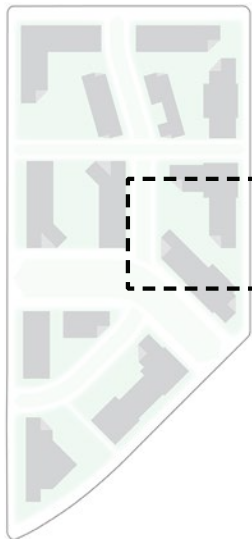
The site spans an approximately 12 m grade difference from west to east, and by its nature, houses a diverse set of spaces and program. The Hut community amenity and retail frontage of Buildings D1 and D2 along Skeena Street inform the landscape spaces and encourage porosity and openness. Additionally, the space is characterized by two architectural portals that provide a north-south connection between the 6th Avenue Mews and Still Creek Greenway.

Adjacent to Hermon Drive at the west, a generous plaza area is activated by its relationship to the community Hut located in Building D2. This plaza spill-out area features an outdoor dining and gathering area with feature lighting overhead. As a continuation of this gathering area, a large open lawn provides a sunny spot for informal sports, picnics, play, and the occasional larger event. A small toddler play area nearby allows residents a convenient play space just outside their front door.

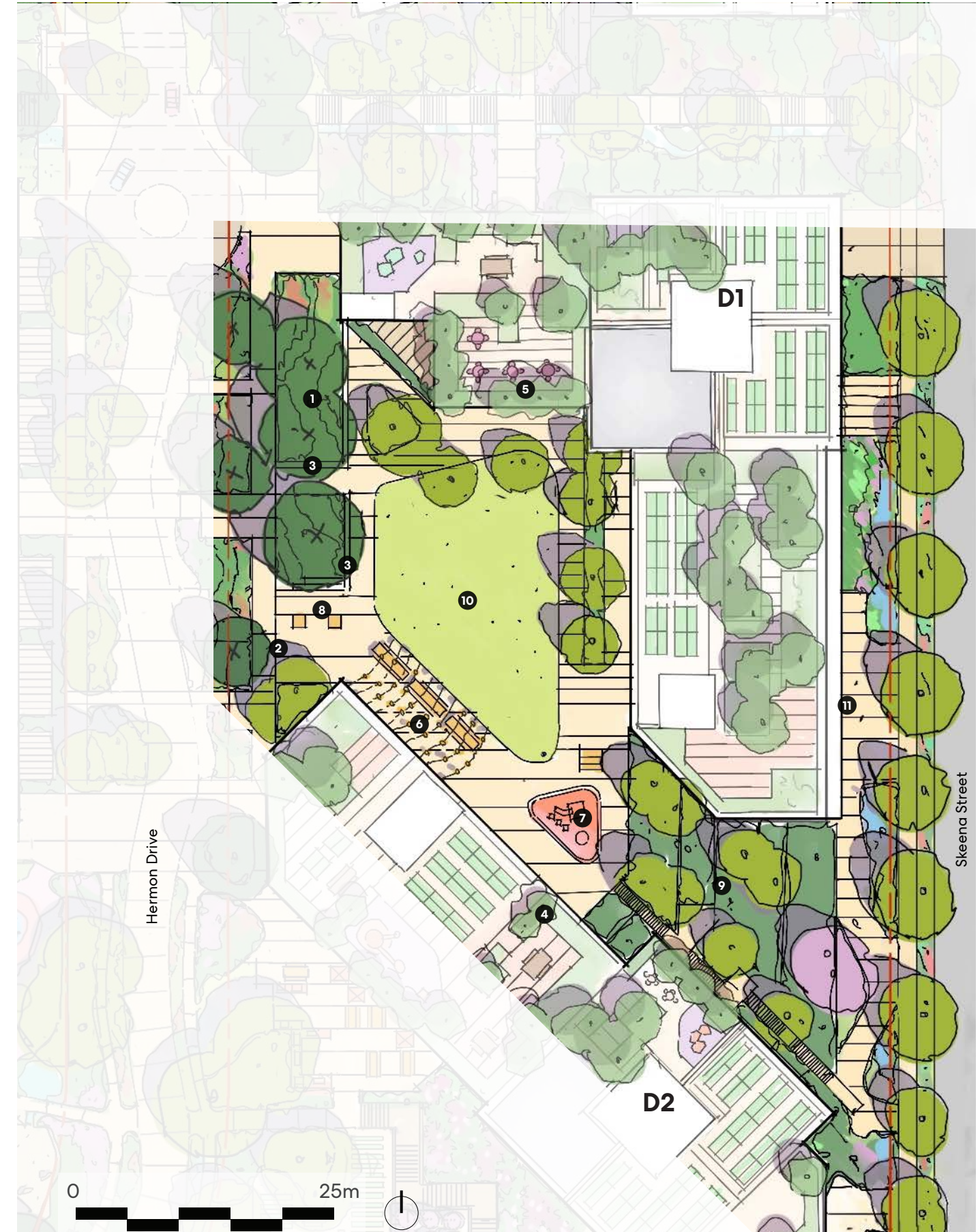
An Indigenous Focused Learning Garden is proposed along Hermon amongst a grove of retained, mature cedar trees. A network of smaller walkways, interpretive signage, seating nodes, and seat walls are woven below and enriched with other culturally-significant plant species.

The terraced approach of the eastern portion of the room creates a series of smaller seating nodes and spots for relaxation in a lushly planted setting, which also acts as a visual buffer from the public plaza frontage along Skeena Street.

Key Plan

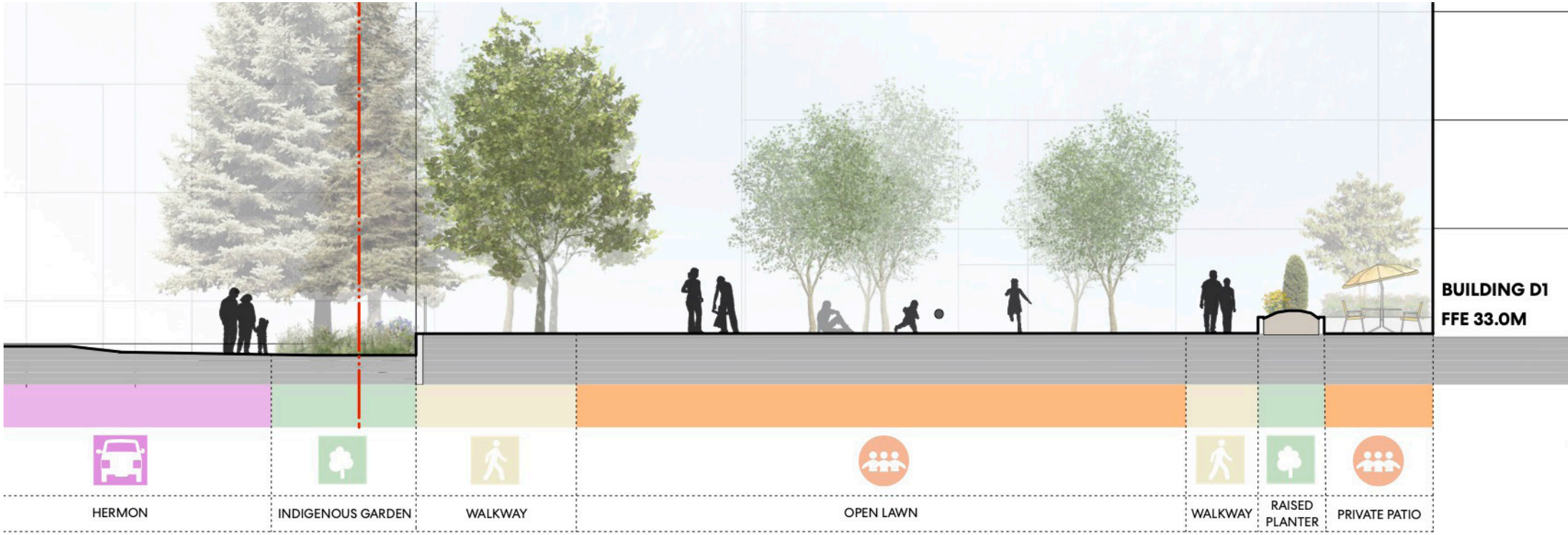
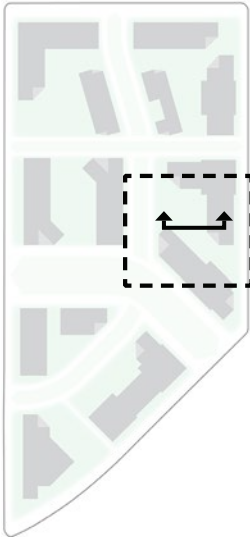


- 1 Indigenous Focused Cultural Learning Garden
- 2 Entry Node
- 3 Seat Walls
- 4 Portal Connection to Still Creek Greenway
- 5 Portal Connection to 6th Avenue Mews
- 6 Harvest Tables with Feature Lighting
- 7 Toddler Play Area
- 8 Informal Gathering Area
- 9 Terraced Landscape
- 10 Passive Open Space
- 11 Retail Plaza



The Gathering Place: Illustrative Section

Key Plan



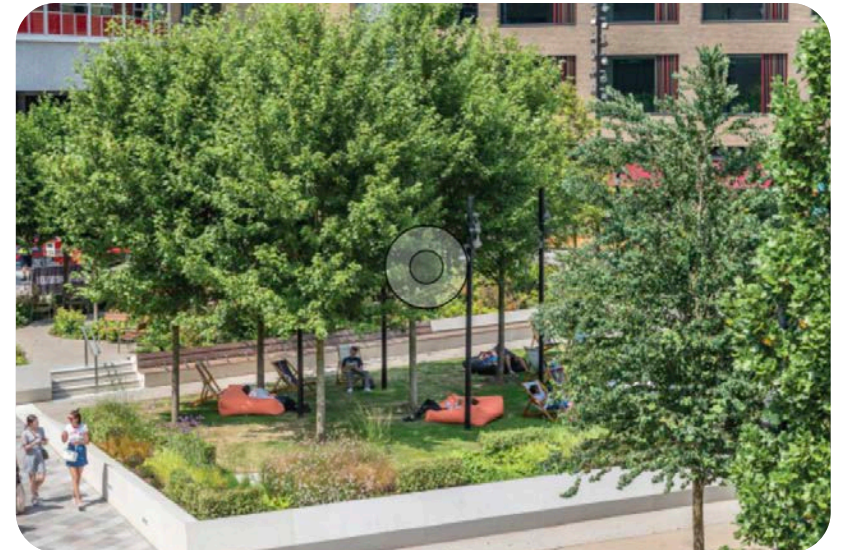
Neighbourhood Room D Section



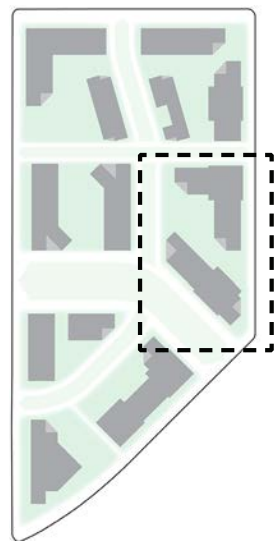
The Gathering Place: Character Expression

Neighbourhood Room D is the ‘hub’ of the community, located off the centre of Hermon Drive, and with a large flat open space—a rare opportunity for large gatherings in the otherwise sloping site.

The space has an architectural character to the landscape forms and finishes with modern wood furnishings, feature lighting and bold colour. A naturalized planting approach contrasts the clean lines of materials, with a backdrop of large trees on the north side of the lawn to allow for a sunny lawn area for informal and formal gathering, year-round. A framework of soft grasses and cheerful flowering species contribute to the site’s landscape strategy and provide year-round interest. Paving is linear in pattern, branching off the hardscape area of Hermon Drive, and continuing around the Hut area and retail plaza areas along Skeena Street.



Key Plan

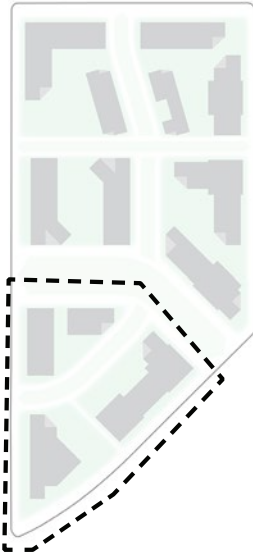


The Gateway: Overall Illustrative Landscape Plan

The Gateway is defined by the southern area of the Skeena Site, and includes Neighbourhood Room E, Neighbourhood Room F, Neighbourhood Room G, and the Cassiar Arrival.



Key Plan



The Gateway (Neighbourhood Room E): Illustrative Landscape Plan

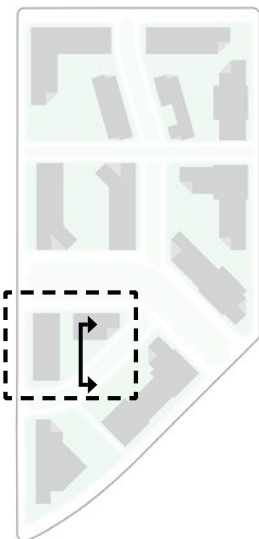
The dramatic, sloped setting of Buildings E1 and E2 features a terraced landscape of semi-private spaces and is anchored by entry plazas for the retail space at the west and Hermon Drive at the east.

A portal in this building creates a gateway and connects the Neighbourhood Room to the activity of the Still Creek Greenway and its network of pathways across the site.

Benefiting from ample sunlight, shared food growing plots are proposed within a rhythm of seat walls and pathways leading down to Hermon Drive. This seating area provides respite from the steep existing sidewalks of Hermon, and is intended to accommodate both residents and visitors seeking a quiet spot to sit, enjoy the view, or tend the garden in an unconventional setting.

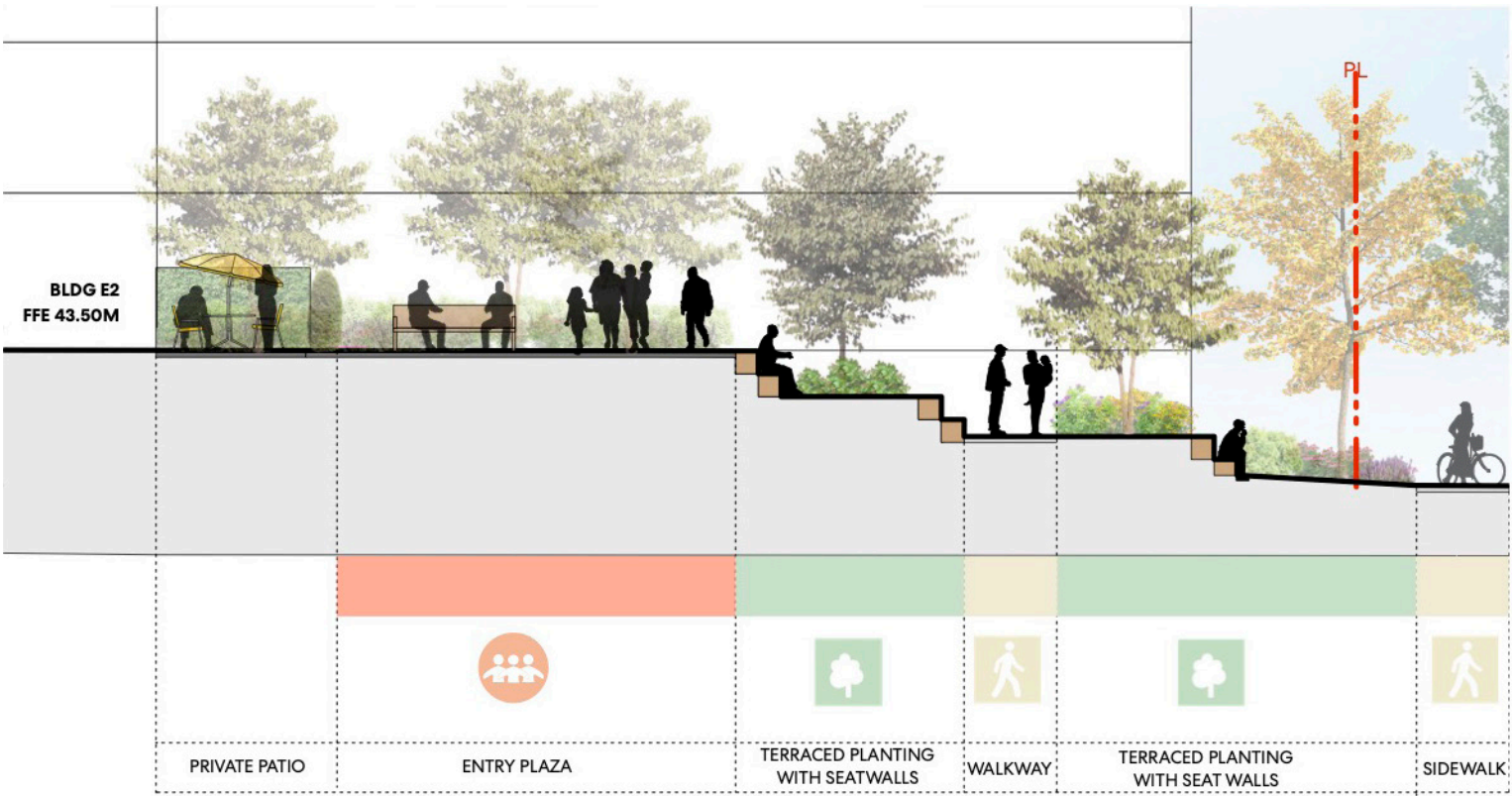
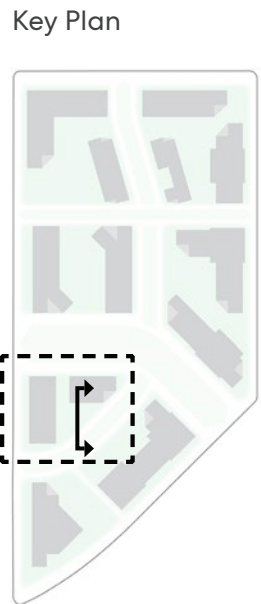


Key Plan



- 1 Retail Plaza
- 2 Shared Food Growing Plots
- 3 Entry Node
- 4 Seat Walls
- 5 Portal Connection to Still Creek Greenway
- 6 Passive Open Space
- 7 Outdoor Amenity

The Gateway (Neighbourhood Room E): Illustrative Section



Neighbourhood Room E Section

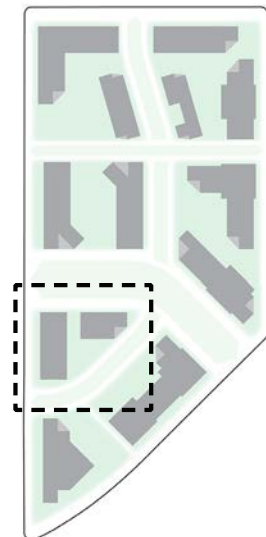


The Gateway (Neighbourhood Room E): Character Expression

Neighbourhood Room E is positioned at the gateway of Hermon Drive, providing a bright, softly stepping landscape that cultivates a sense of community and care. Curvilinear forms stemming from the urban agriculture terraces and stepping building on the slope support various opportunities for urban agriculture and intimate gathering nooks. The paving material echoes the hardscape character of the Still Creek Greenway that is connected to the space via the building portal. The planting character includes flowering pollinator meadow rows, fruiting trees, and pockets of open lawn for small picnics and gatherings. Simple timber bench toppers on seat walls and flexible seating are integrated into the smaller spaces of this cozy yet central corner of the neighbourhood.



Key Plan



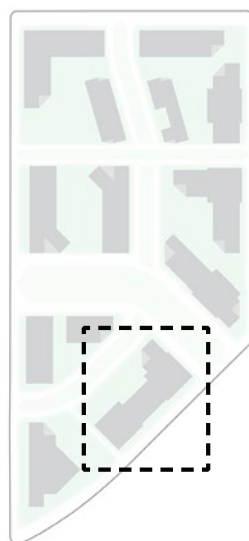
The Gateway (Neighbourhood Room F): Illustrative Site Plan

Neighbourhood Room F includes a large, open, and relatively flat space for residents of Buildings F1 and F2. Two significant tulip trees frame the program areas here while providing seasonal interest and a green buffer from Hermon Drive.

Sitting on top of a major slope toward Lougheed, Neighbourhood Room F is also the landing point for a major accessible pathway stemming from the Southern corner of the site. This pathway encourages a slower pace of pedestrian movement and has a more private landscape character in contrast to the activity of the live-work studios along the South side of the building.

A play area for young children and open lawn embraced by seat walls are central to the open space and are framed by lush, naturalized planting. These program areas provide various opportunities for passive recreation and pause, or to host smaller group gatherings such as outdoor yoga or coffee with neighbours.

Key Plan

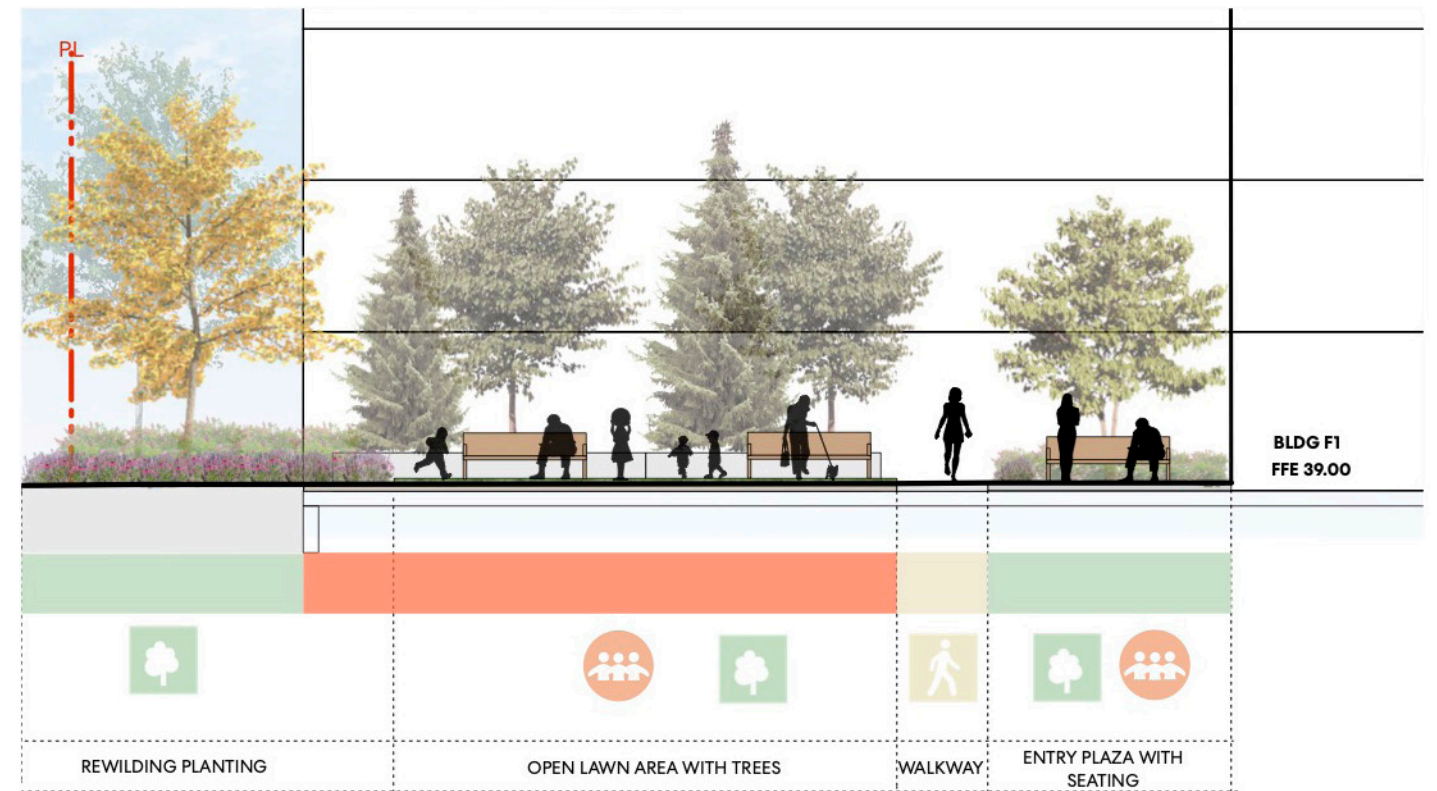
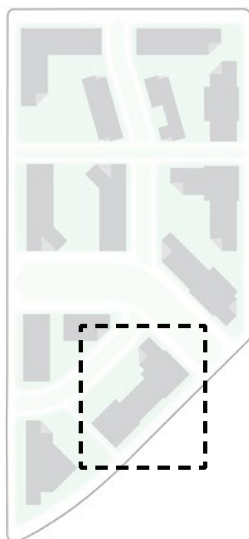


- ① Open Lawn Area
- ② Formal Gardens
- ③ Seating Nook
- ④ Toddler Play Area
- ⑤ Passive Open Space
- ⑥ Outdoor Amenity



The Gateway (Neighbourhood Room F): Illustrative Section

Key Plan

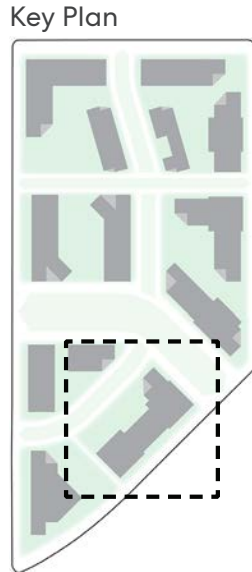


Neighbourhood Room F Section



The Gateway (Neighbourhood Room F): Character Expression

Neighbourhood Room F is a front porch along Hermon Drive, connecting Cassiar Street to the interior of the Neighbourhood. Its large open space offers a variety of flexible passive uses for people of all ages. Modern wood furnishings, bold pops of colour and linear paving, all contribute to modern yet welcoming character. The planting character is naturalized and diverse—utilized to delineate public and private spaces, and to offer a contrast to the modern clean forms and material of the site.



The Gateway (Neighbourhood Room G and Cassiar Arrival): Illustrative Site Plan

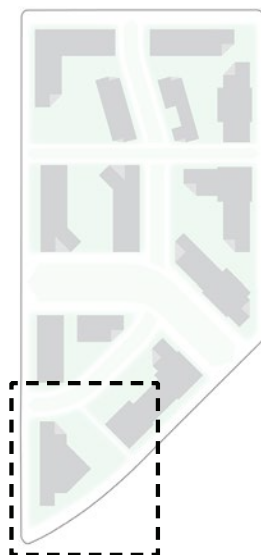
The primary entry point for many pedestrians and transit users to the Skeena site, Building G1 is perched at the South of the neighbourhood and communicates a strong sense of arrival and connection.

A small public plaza is proposed at the foot of Lougheed and Skeena Street as the first point of welcome to the community. This plaza includes a curvilinear seat wall and raingarden with raised walkway, and is backed by dramatic, terraced planting beds that contribute to the site's habitat and rewilding strategies.

An accessible pathway navigates this significant slope and informs the architectural massing of Building G1, passing below the tower corner and leading up to a stepped gathering area. Programming opportunities in this Neighbourhood Room include urban agriculture plots and a forested walk, strengthening the existing stand of trees toward Building F2.

The heart of this landscape area is the Memorial Garden, surrounded by existing flowering trees, at the top of the slope. This area is critical to the identity and legacy of Skeena Terrace. It incorporates the existing memorial table and includes gathering spaces with seating and picnic areas that also support the adjacent community garden/urban agriculture activities.

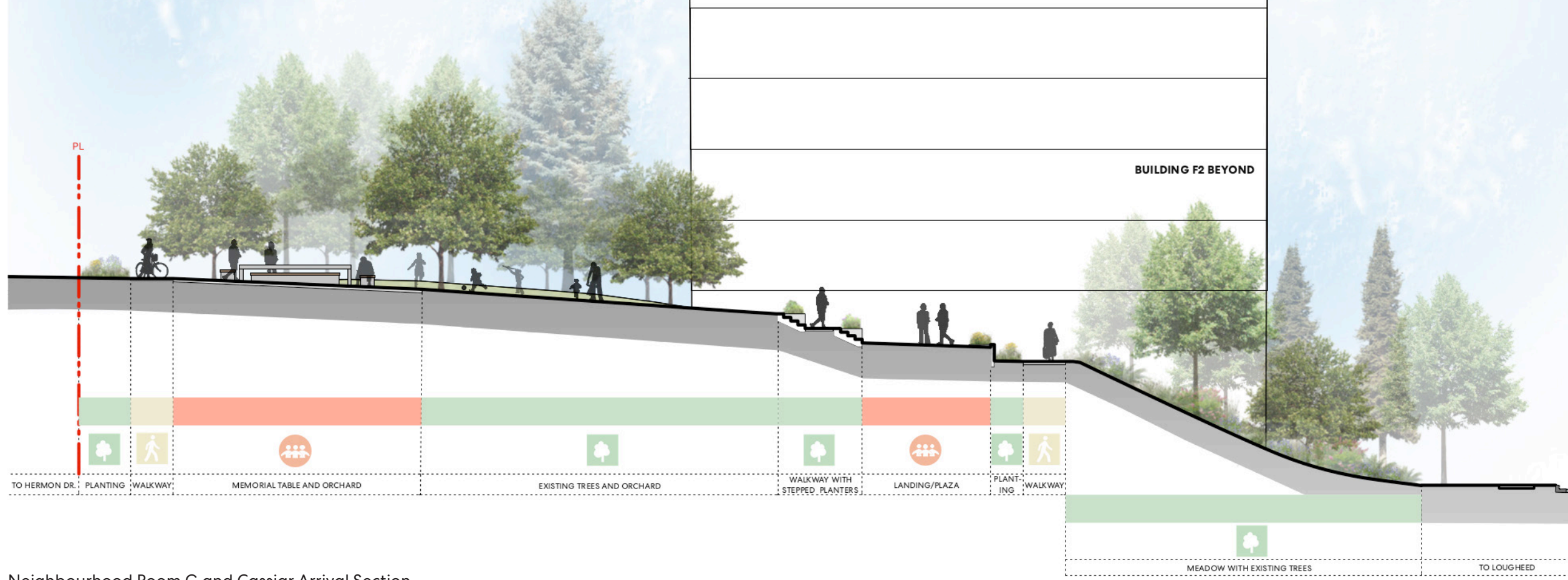
Key Plan



- 1 Memorial Table
- 2 Building Entry Court
- 3 Community Orchard
- 4 Terraced Raingarden
- 5 Private Patios
- 6 Seat Walls
- 7 Seating Nook
- 8 Informal Lawn Area
- 9 Passive Open Space
- 10 Retained Mature Tree Grove
- 11 Outdoor Amenity
- 12 Gateway Entrance to Cassiar Arrival



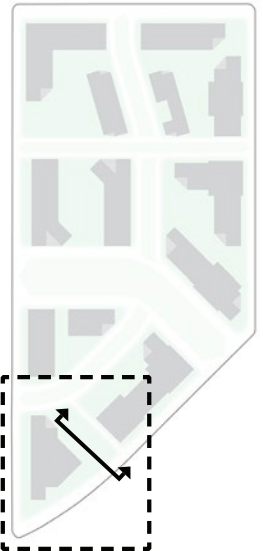
The Gateway (Neighbourhood Room G and Cassiar Arrival): Illustrative Section



Neighbourhood Room G and Cassiar Arrival Section



Key Plan



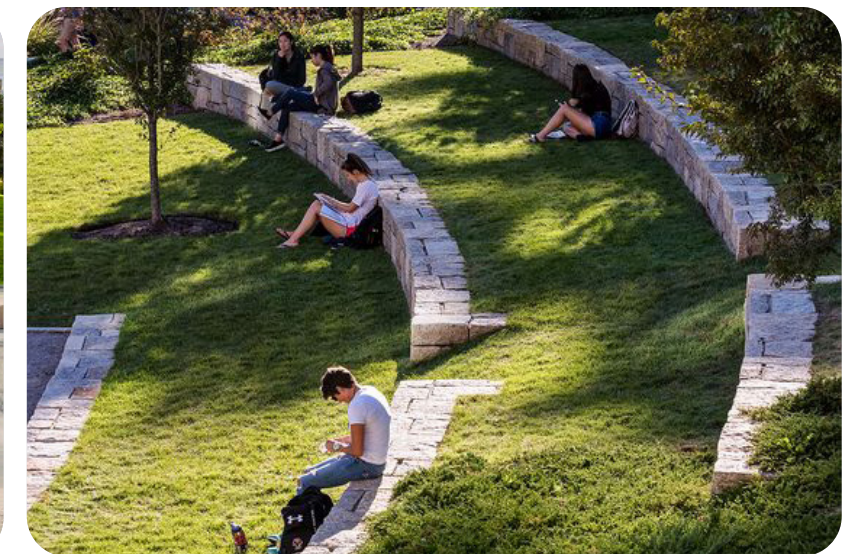
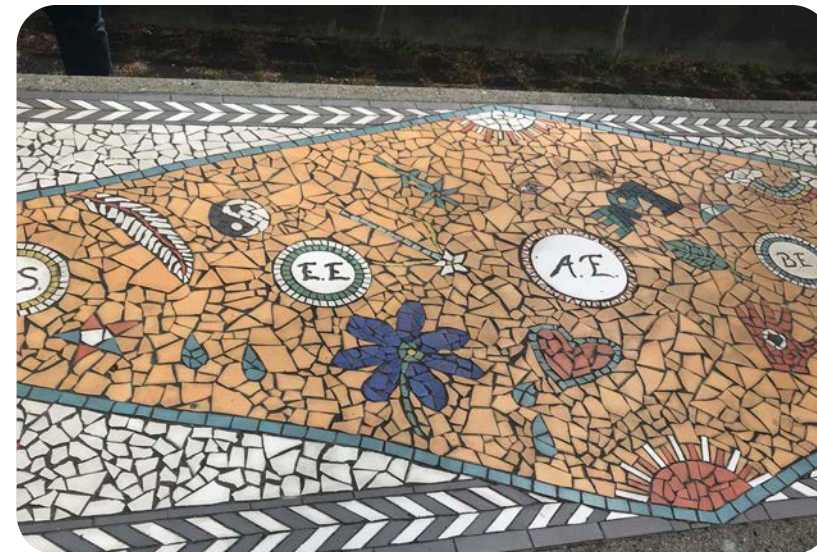
Neighbourhood Room G & Cassiar Arrival Park

This park is the welcome mat for the community, the front porch of the community arriving from Lougheed and Cassiar. Layered with the rich history of the community, the park is centred on the Skeena Terrace Memorial Table and its large mature trees. Inspired by the tiled mosaic of the Memorial Table, this park is envisioned to use materials which capture its warmth and granularity. With a range of community focused programming elements, including shared food growing plots, the park is a nourishing and active place where residents can feel a sense of arriving at home.

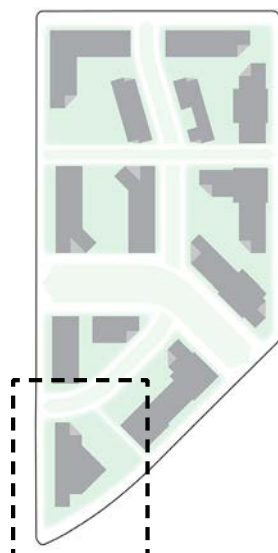
As a gateway into the community, the park hosts an important pathway that links the Arrival Plaza at the corner of Cassiar St and Lougheed Highway, with the Hermon Drive, at the heart of the neighbourhood. Terraced walls help define usable spaces for community gardens, and support landscapes that prioritize sensory plants (such as rosemary, sage, mondara, etc) that contribute to feelings of place and memory.

The planting character in this park draws reference from the informal, playful nature of the community gardens, prioritizing a variety of edible landscapes, pollinator meadows, and a woodland food forest that buffers the gatherings spaces from Lougheed. Pockets of lawn provide opportunity for passive open space that takes advantage of the sunny orientation.

The material palette takes its cue from the mosaic of the memorial table, celebrating colour, texture and the use of recycled material imbued with meaning.



Key Plan



3.6 Streets

Streetscape Character Expression

Cassiar Street

Cassiar Street is a residential street with mature trees and important connection to Thunderbird Community Centre. The site plan celebrates this character by emphasizing the pedestrian experience below the generous tree canopies, and providing multiple invitations into the neighbourhood. Informed by the existing mature trees, the street is formal in character with a rich plant palette, seating nooks and refined surface materials.

E 5th Avenue

E 5th Avenue is a sloping residential street at the northern edge of the site with a generous setback. With its wide planted boulevards, the street captures a park like experience with naturalized planted boulevards and seating nooks. The street character is further defined the rainwater management system within the boulevard. Refined surface materials create a warm welcoming character.

Skeena Street

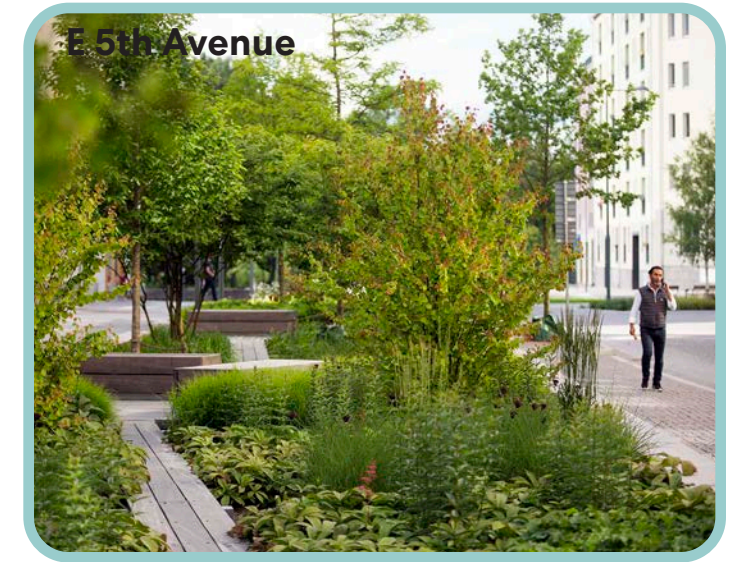
Skeena Street interfaces with a more urban, light industrial character along this most eastern and lowest edge of the site. This streetscape is defined by the planted boulevard with naturalized planting and rainwater management systems. Key connections into the site create a strong rhythm along the streetscapes western edge.

Lougheed Highway

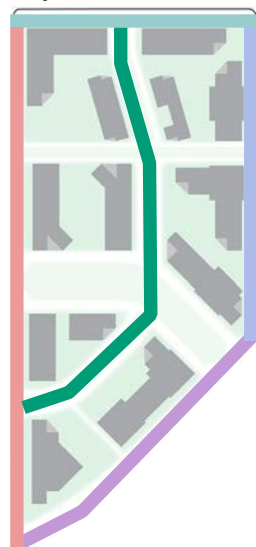
A key gateway into the City of Vancouver, Lougheed Highway is defined by its strong relationship to this busy arterial road. The streetscape design approach looks to retain the mature trees with formal lawns. Seating nooks are provided about the sidewalk to provide rest stops.

Hermon Drive

Refer to Hermon Drive: Character Expression for more details.



Key Plan



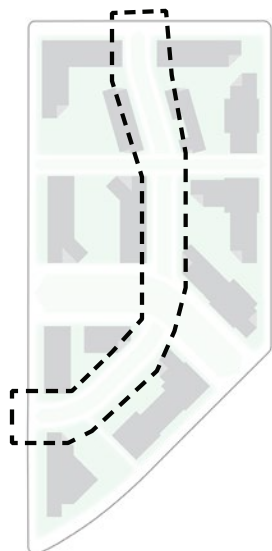
Hermon Drive: Illustrative Landscape Plan

Hermon Drive has been designed as a “people first” environment for walking, biking, resting, and socializing. At the south and north ends, local motor vehicles are permitted for parkade access, pick-up and drop-off, emergency services, or deliveries.

The central portion of Hermon has been designed as a living street inspired by the Dutch “woonerf” with a curb-free profile, meandering one-way vehicle travel path and animated public space. Barrier-free walking, and cycling, are prioritized, while hardscape colour and pattern signal this as a pedestrian-scaled space. Sidewalks and pathways seamlessly integrate into the living street section of Hermon Drive, creating a continuous walking experience. Green rainwater infrastructure features are incorporated along the length of Hermon (final location to be coordinated), as well as seating nooks, rest stops, bicycle parking and lay-by parking/drop-off (per City’s Accessibility Guidelines).

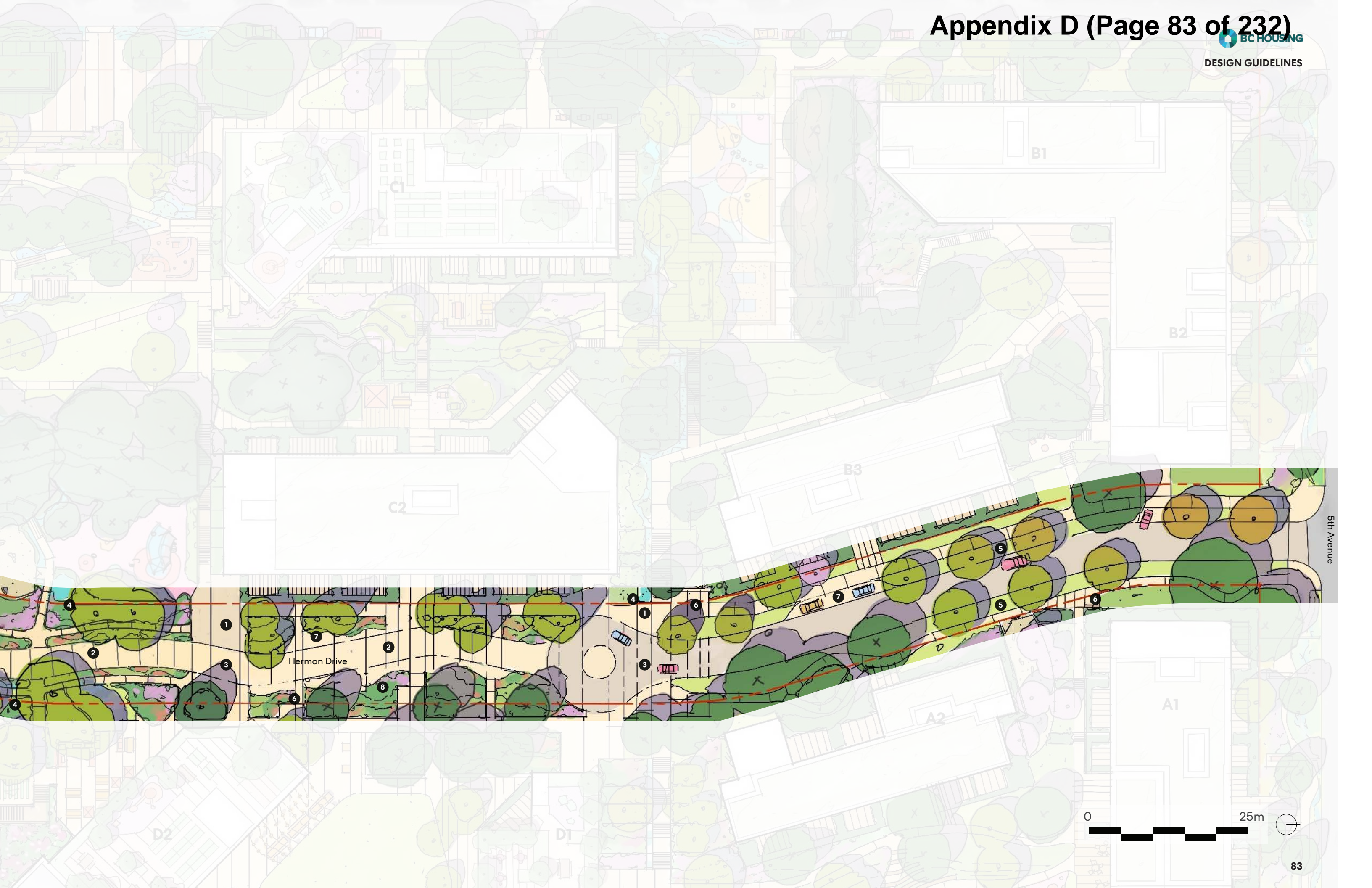
An existing stand of mature cedar trees creates an opportunity for an Indigenous-focused garden, centred around these culturally significant species, where additional native plants are highlighted in an area for education and respite. The remaining existing and proposed street trees in generous boulevards support the site’s urban tree canopy and tree strategy.

Key Plan



- 1 Entry Node
- 2 Hermon Drive Slow Street and One-Way Vehicular Access
- 3 Expanded Pedestrian Crossings
- 4 Green Rainwater Feature
- 5 Planted Boulevards
- 6 Seating Nook
- 7 Lay-by Parking
- 8 Indigenous Garden





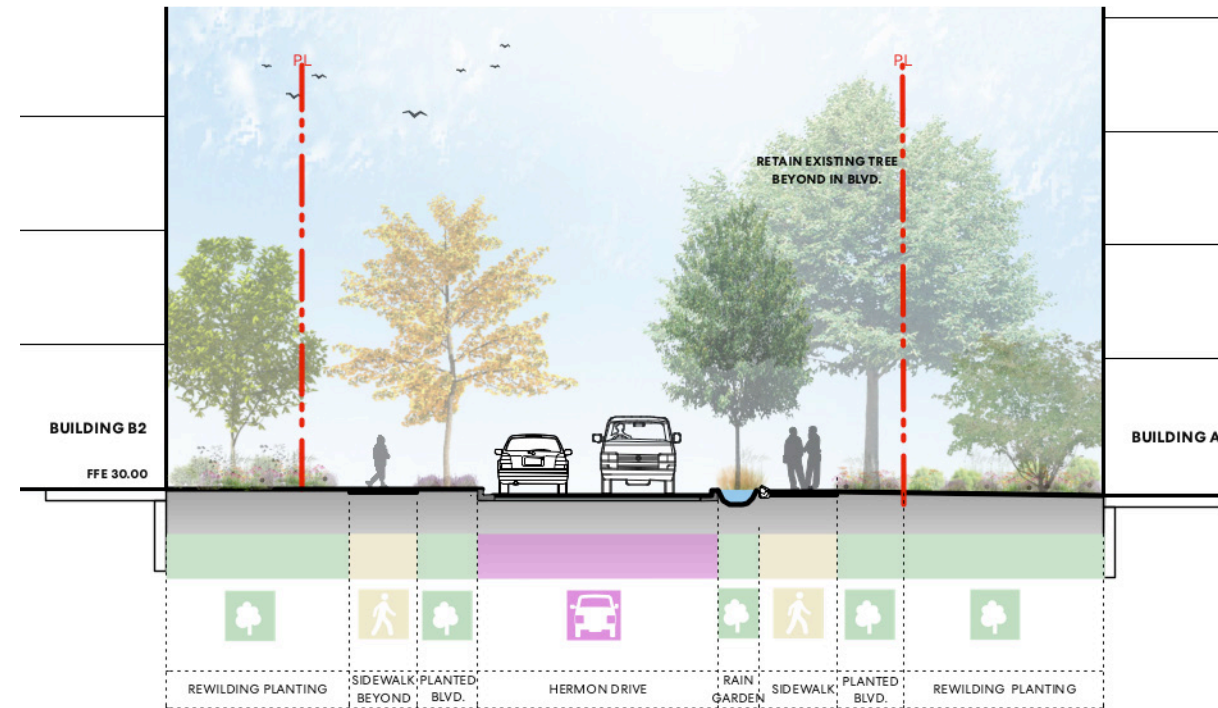
5th Avenue

Hermon Drive



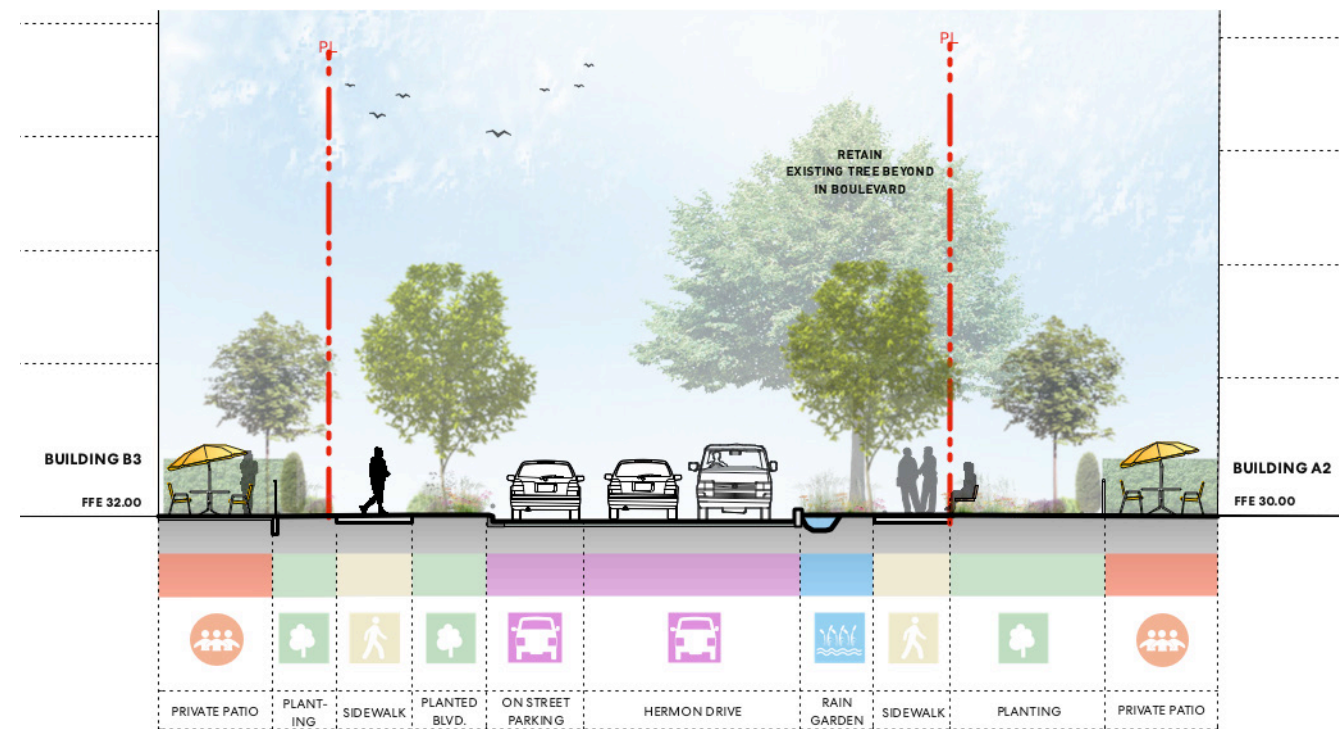
Hermon Drive: Illustrative Landscape Sections

Key Plan



Hermon Drive Section A

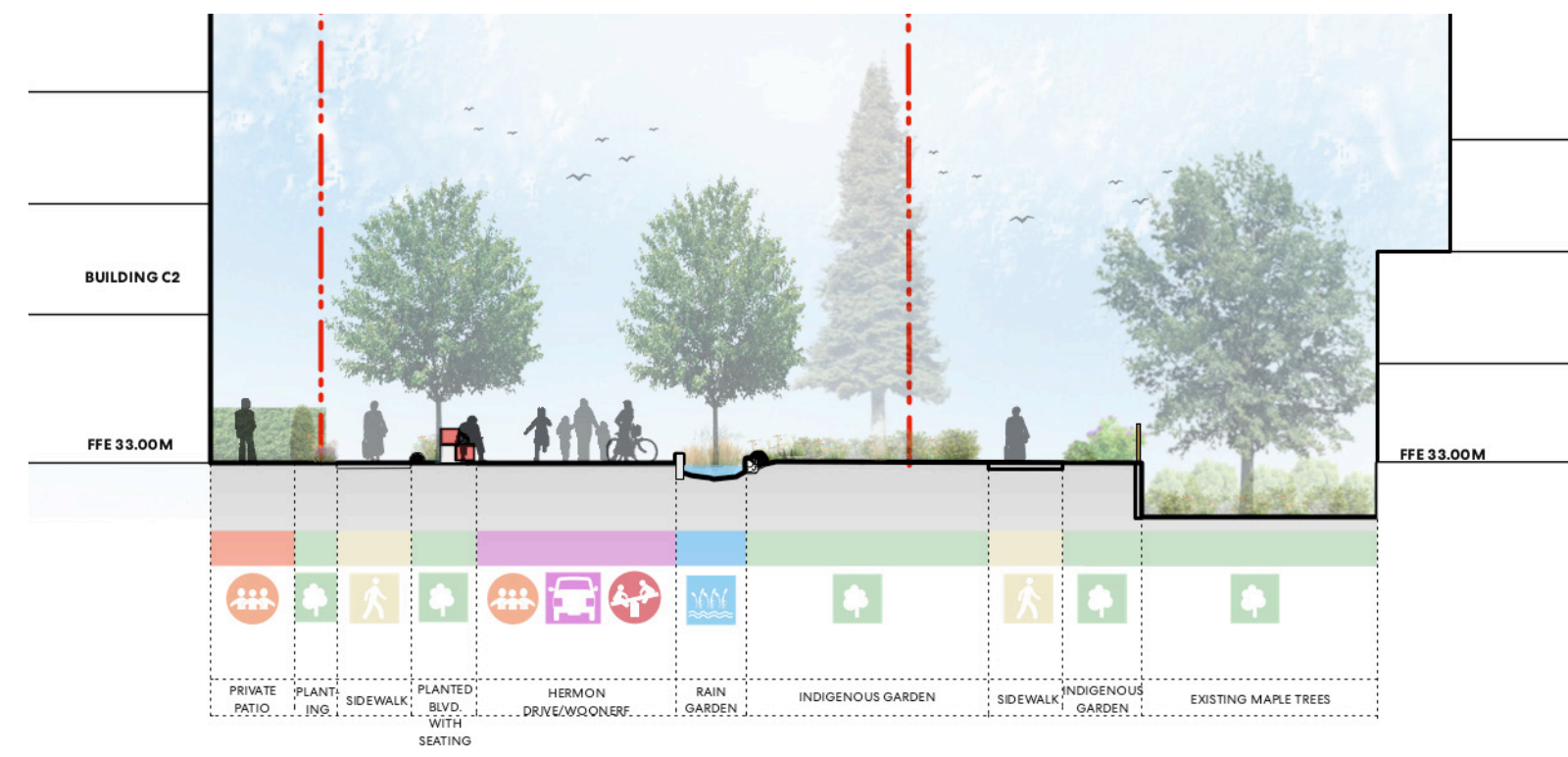
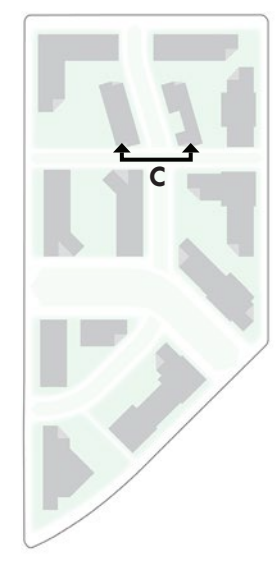
Key Plan



Hermon Drive Section B

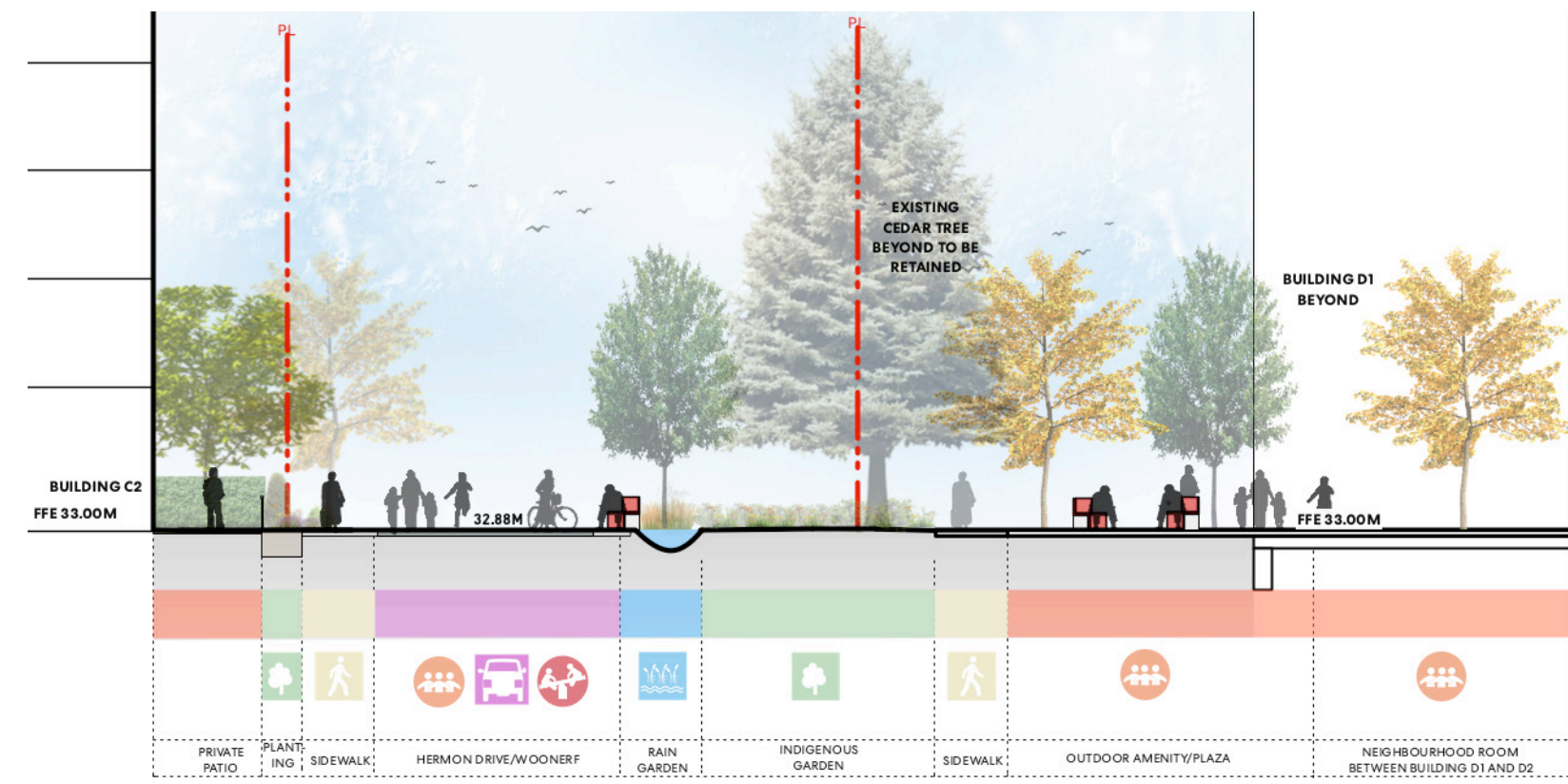
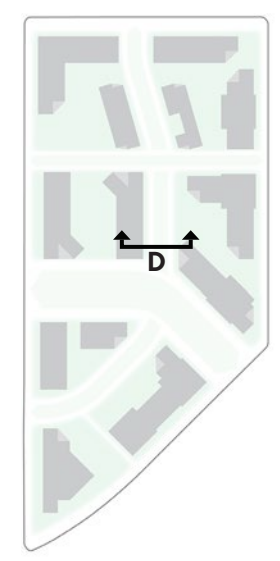


Key Plan



Hermon Drive Section C

Key Plan

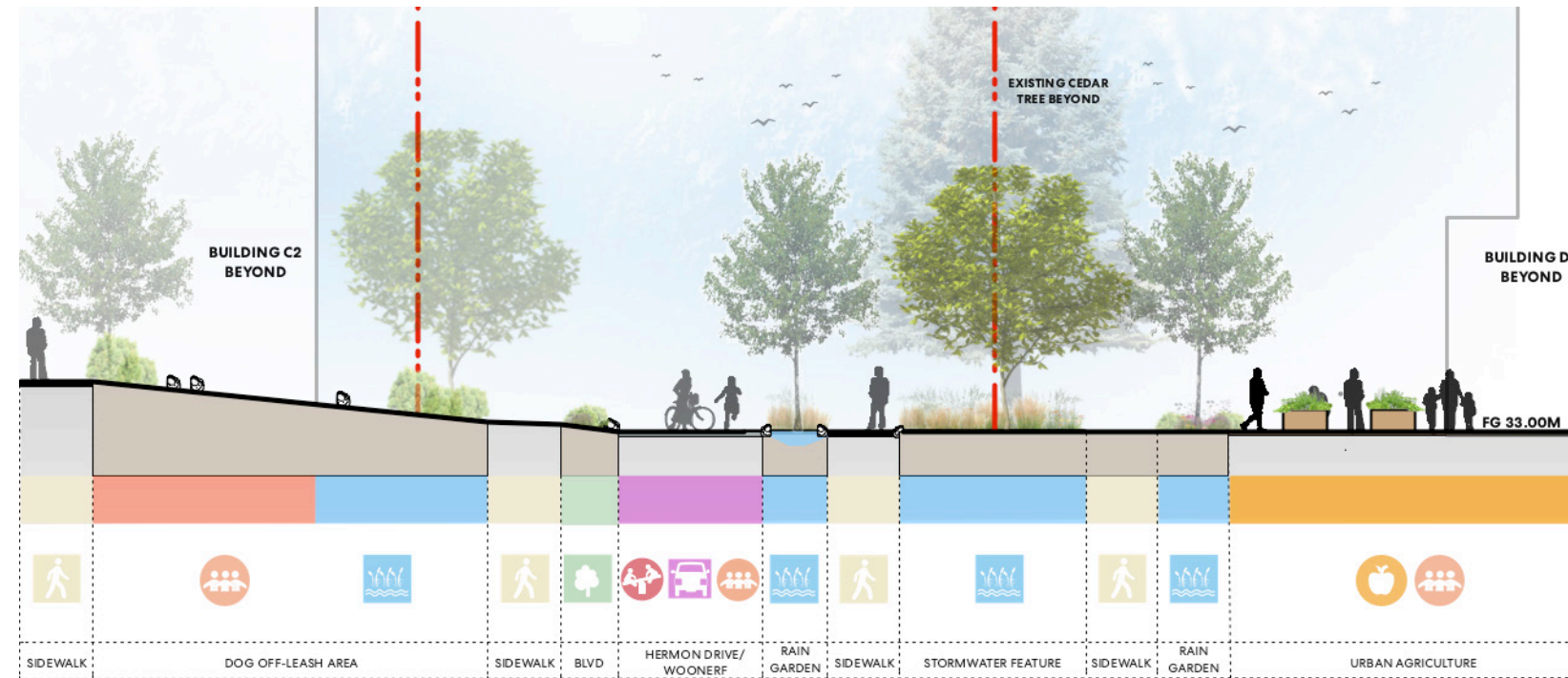
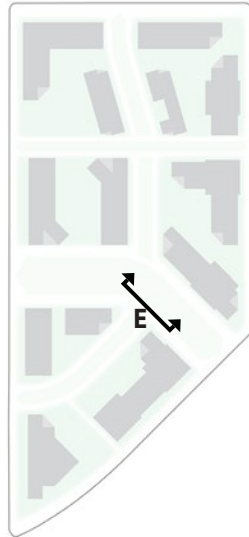


Hermon Drive Section D



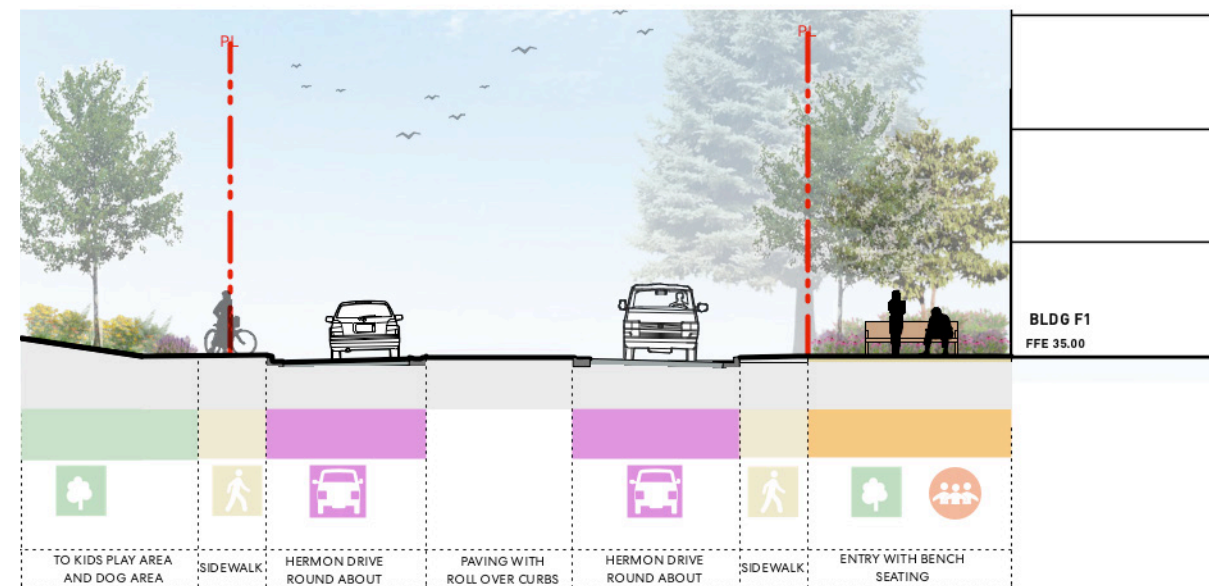
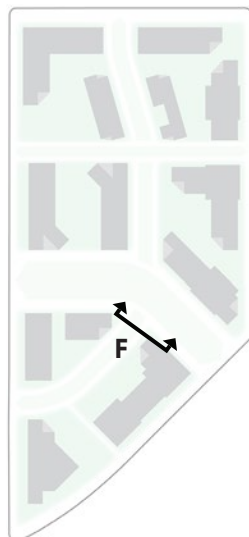
Hermon Drive: Illustrative Landscape Sections

Key Plan



Hermon Drive Section E

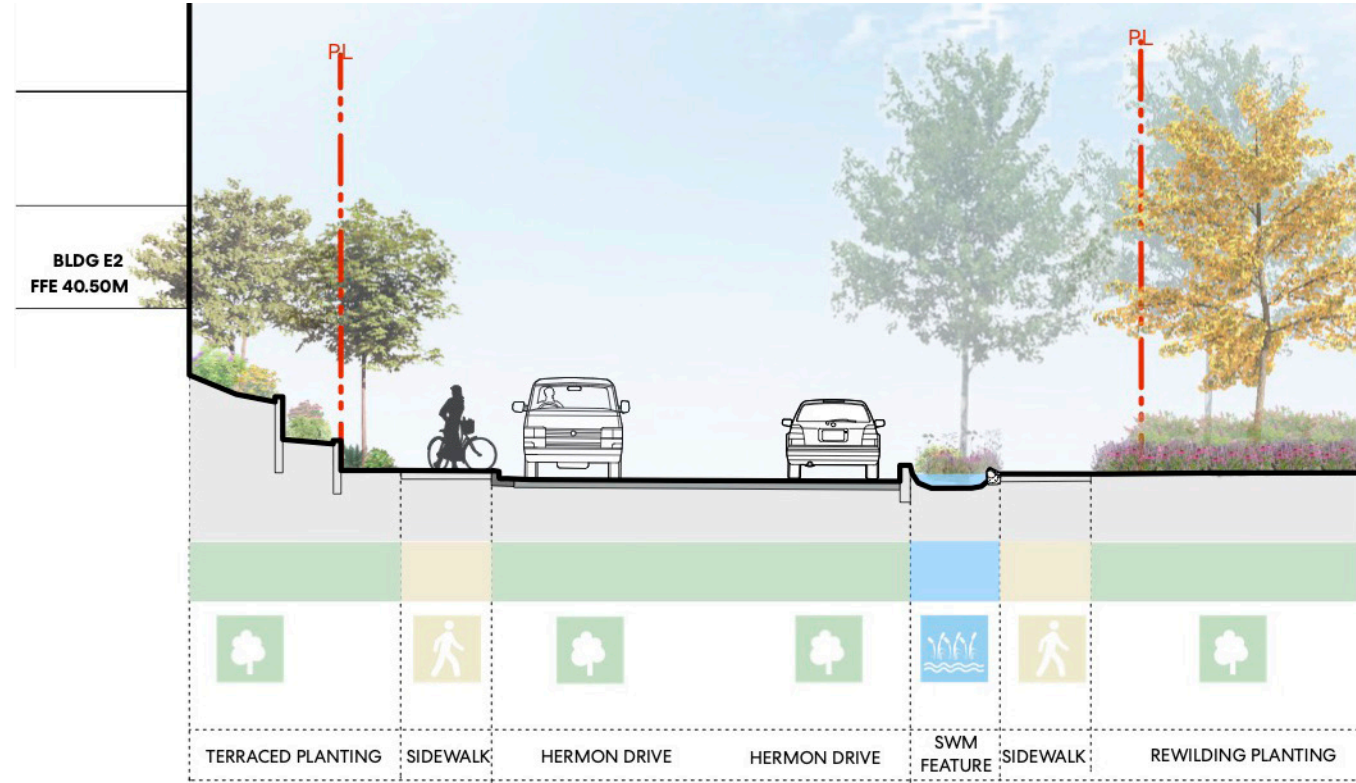
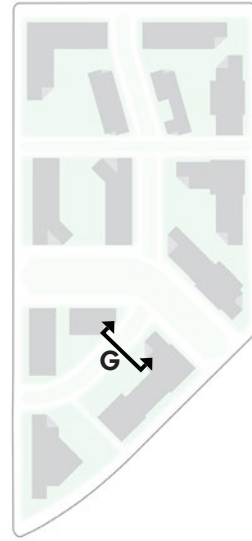
Key Plan



Hermon Drive Section F

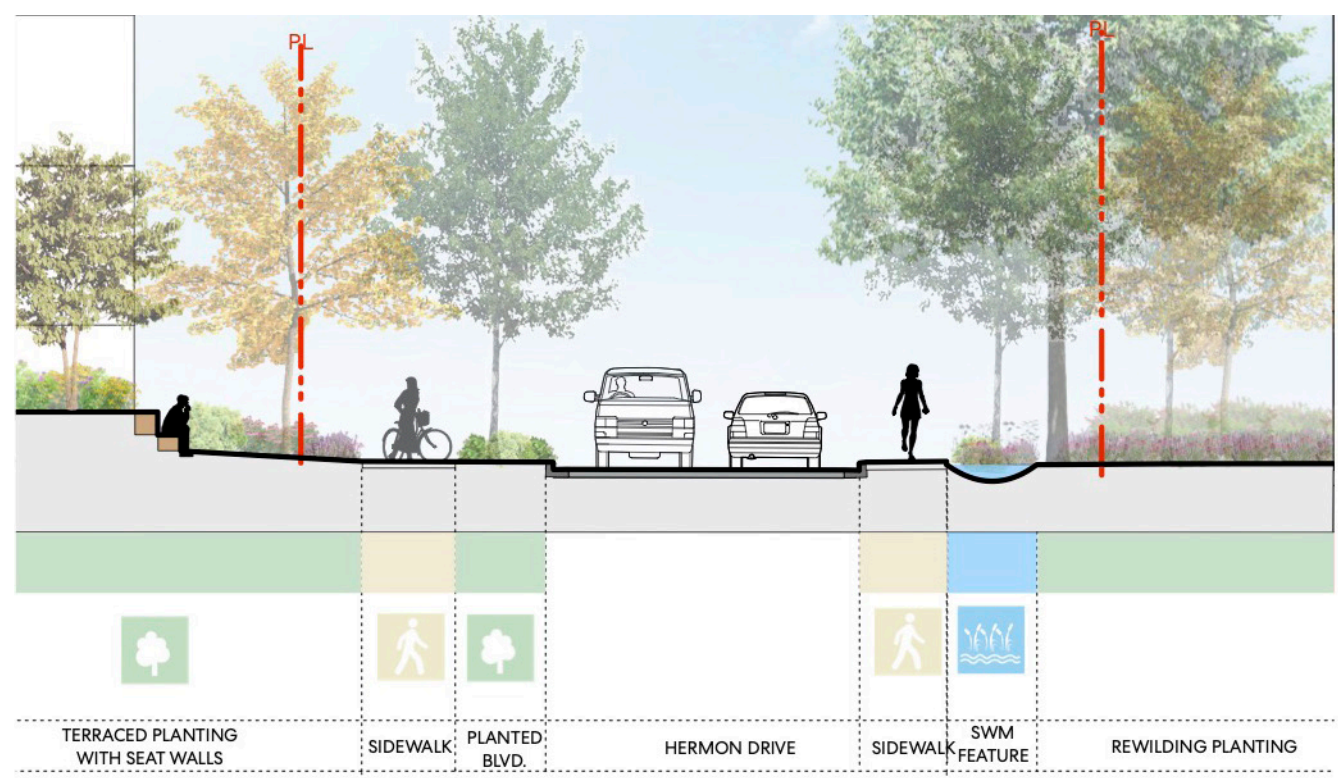
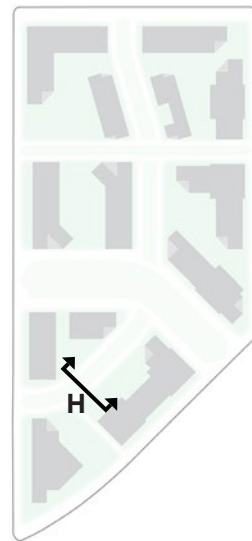


Key Plan

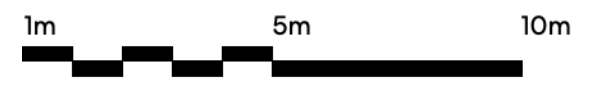


Hermon Drive Section G

Key Plan



Hermon Drive Section H



Hermon Drive: Character Expression

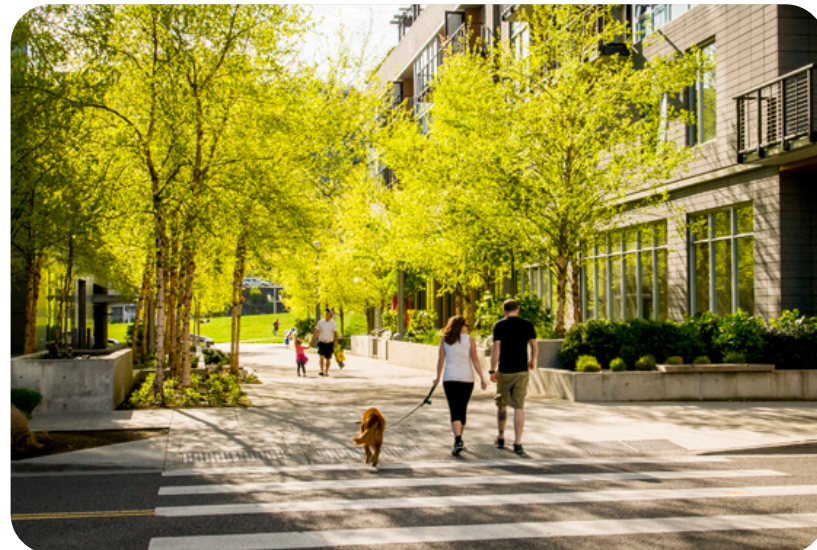
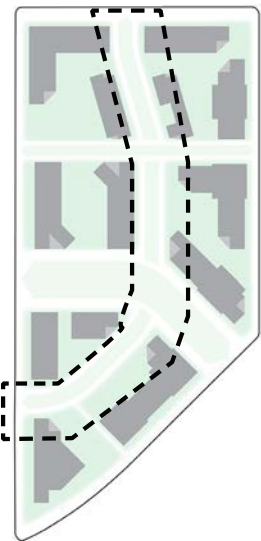
The central portion of Hermon has been designed as a living street inspired by the Dutch “woonerf”, meandering the one-way vehicle travel path and public space features. Barrier-free walking, cycling, and playing are prioritized, while hardscape colour and pattern signal a slower pace for vehicles. In this zone, paving bands perpendicular to the path of travel and in contrasting colours are preferred to encourage vehicles to reduce speed. The detailed design of Hermon Drive will occur in close collaboration with the City of Vancouver Engineering and Transportation teams to ensure safe and legible connections for the various modes of travel in a shared space.

As this section has a curb-free profile, paving bands are proposed where hardscape edges meet planting beds, while not impeding stormwater flow to planted areas. In place of bollards, boulders are proposed at key moments to guide vehicles and distinguish pedestrian-only areas.

Green rainwater infrastructure features along the length of Hermon Drive* are intended to be a mix of naturalized planting and river rock swales with curb cuts for stormwater, where applicable. Planting will be of low to moderate height, with consideration for pedestrian and vehicle visibility. A more refined planting approach at key intersections acts as a secondary visual cue for pedestrians. Contributing to the retained trees along the street, the proposed trees in generous boulevards support the site’s urban tree canopy and tree strategy.

*Note: Location of rainwater infrastructure to be confirmed in coordination with Civil.

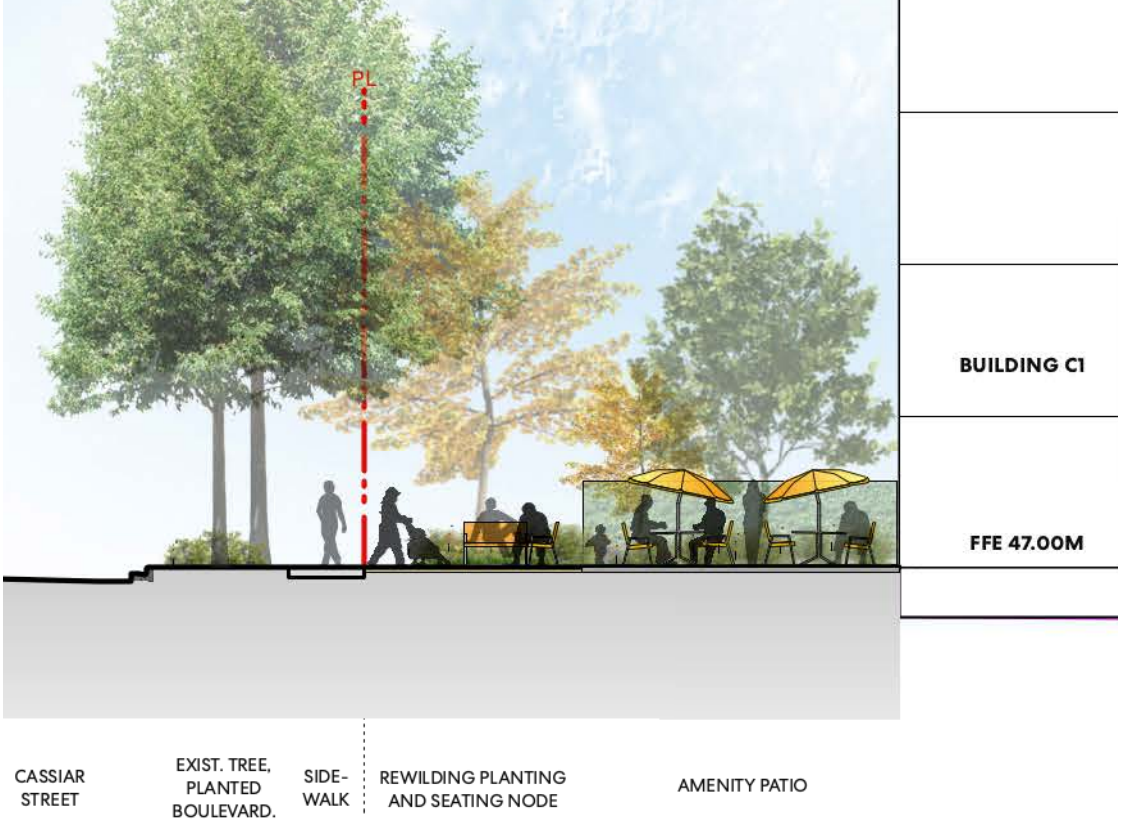
Key Plan



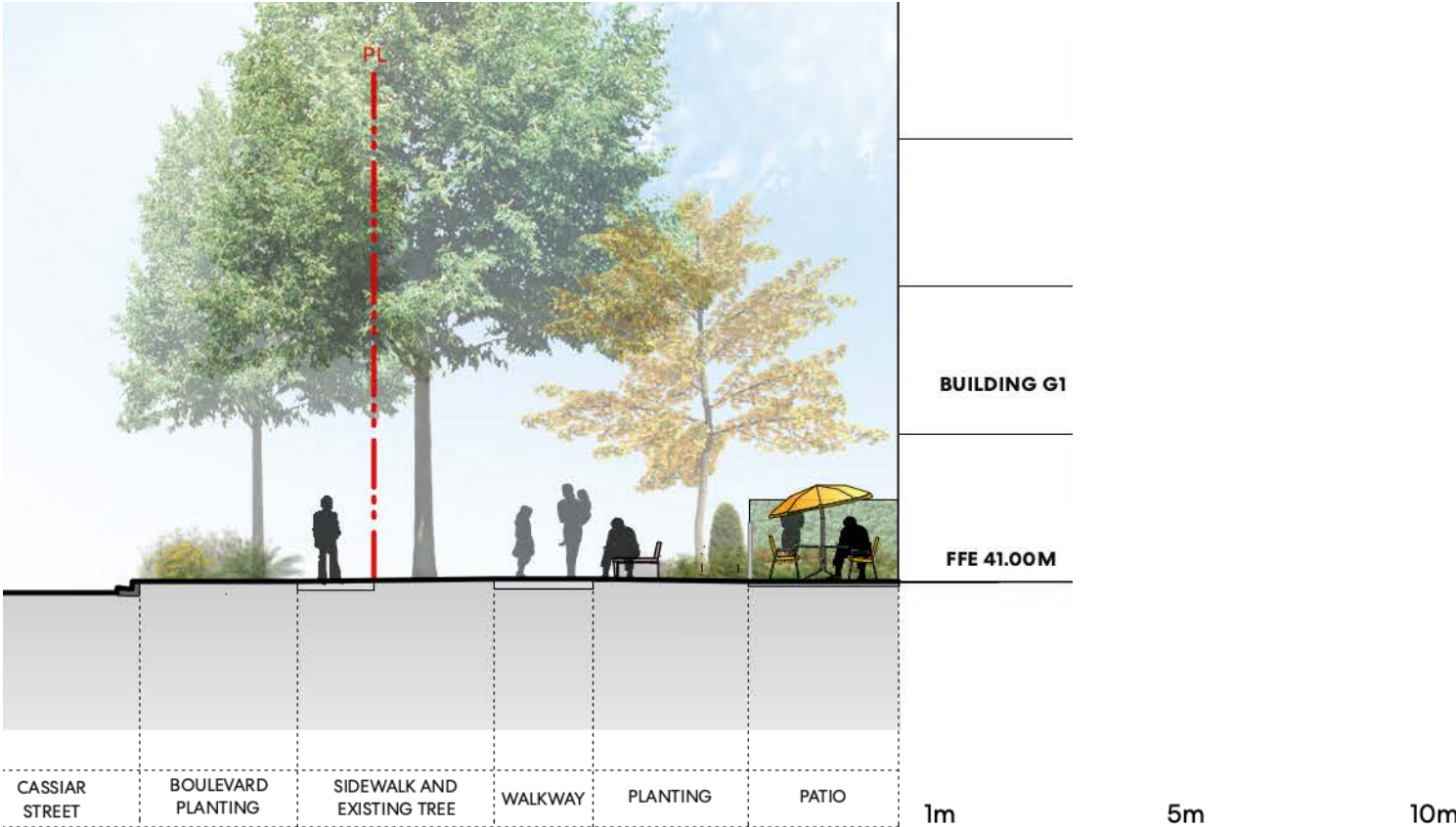
Cassiar Street

Cassiar Street is a tree-lined residential street with an important connection to Thunderbird Community Centre. Upgrades to the streetscape include:

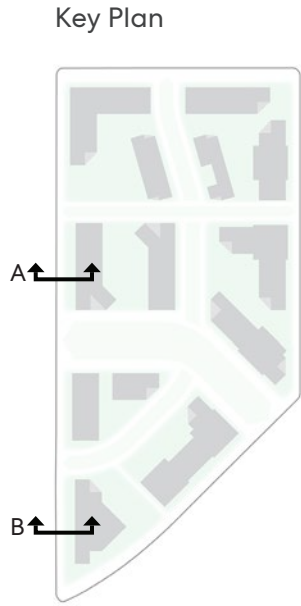
- Improved Cassiar Street frontage to provide an enhanced pedestrian realm with frequent invitations into the site.
- Improved safety and comfort for people crossing Cassiar Street to access the school and community centre, potentially bulging and raising a new mid block crossing between the school/community center and the childcare /plaza on the Skeena site.
- Sidewalk and crossing improvements at Hermon Drive and Lougheed highway.
- Retention of mature street trees and the addition of raingardens at bump out locations, where feasible.



Cassiar Street Section A



Cassiar Street Section B

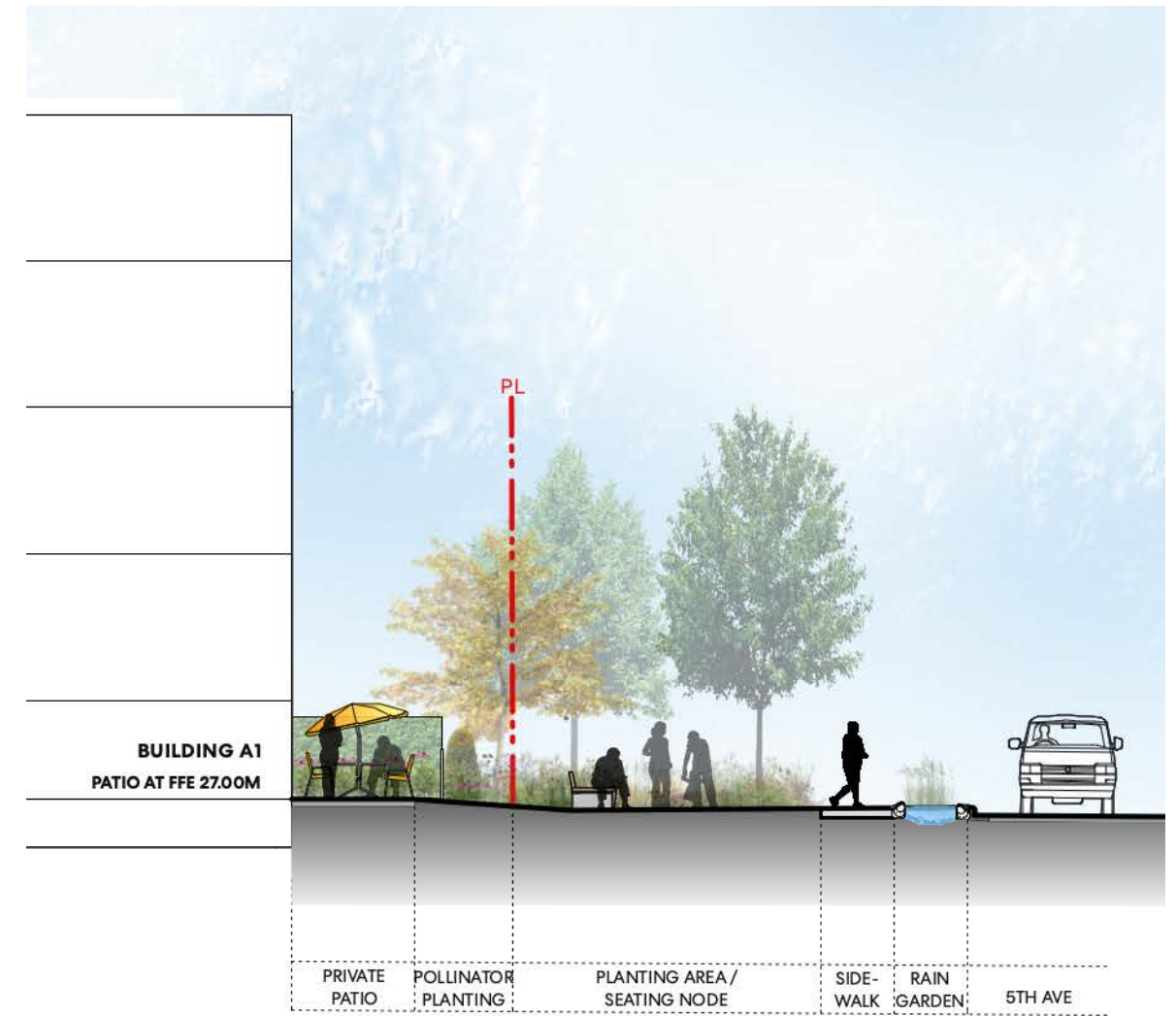
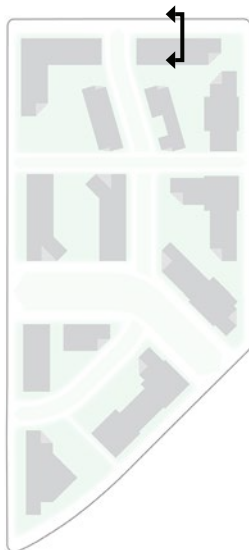


5th Avenue

5th Avenue is a sloping residential street at the northern edge of the site with a generous setback between the road and the buildings. Upgrades to this streetscape include:

- Improved pedestrian experience that includes more generous sidewalks, and more frequent seating nodes and rest stops.
- A mix of new and retained street trees with enhanced boulevard plantings.
- Raingardens in boulevard along the street edge that provide a buffer between the street and sidewalk while contributing to rainwater management.

Key Plan



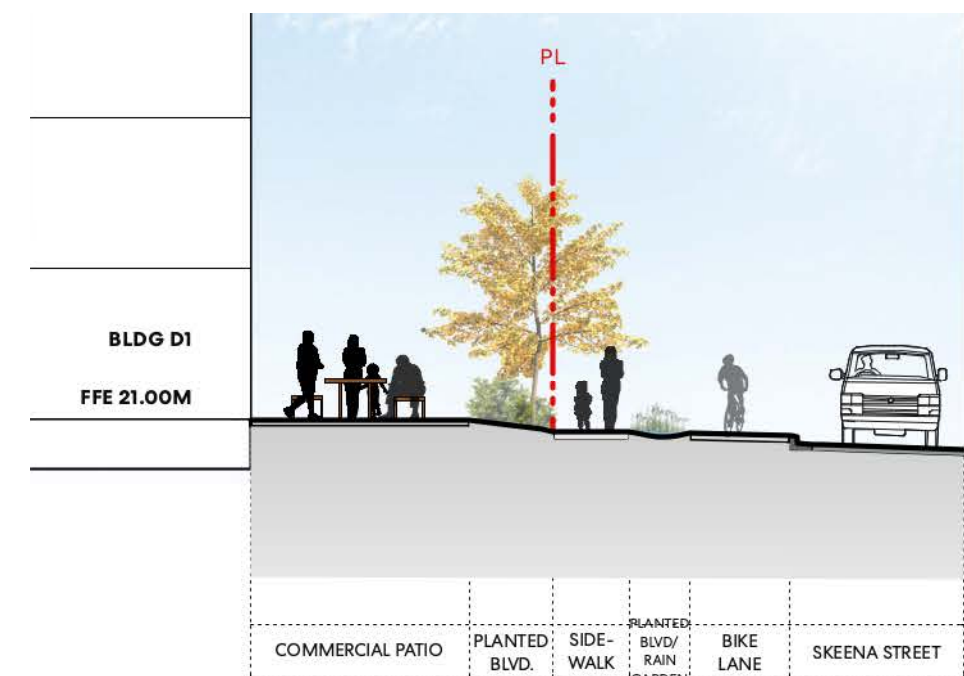
5th Avenue Section



Skeena Street

Skeena Street interfaces with a more urban, light industrial character along this most eastern and lowest edge of the site. Upgrades to the streetscape include:

- Full upgrades to sidewalks to improve pedestrian experience.
- New street trees and enhanced boulevard plantings that include raingardens along street edge.
- New bike lane, by the City of Vancouver.



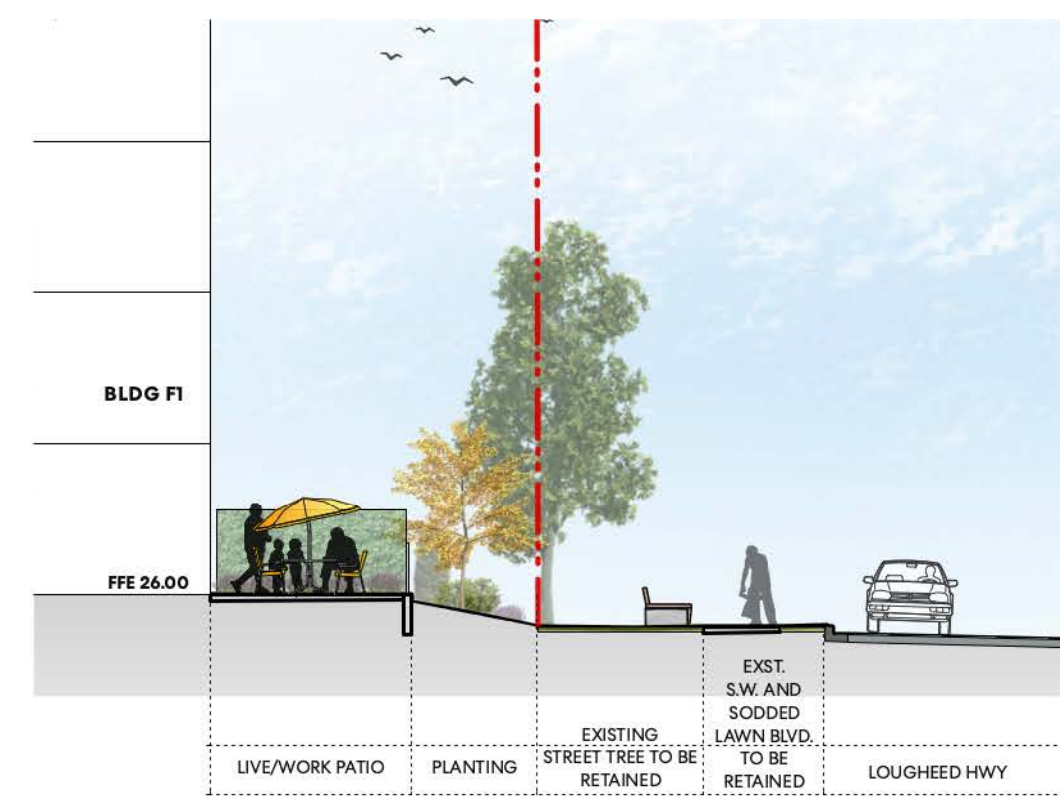
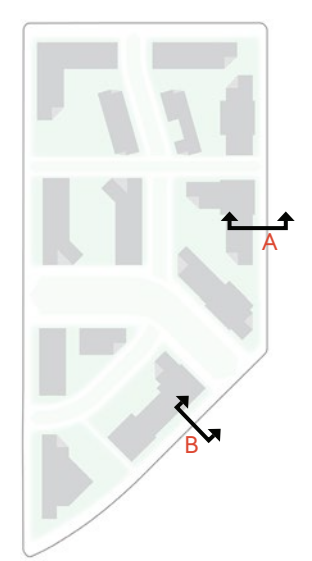
Section A: Skeena Street

Lougheed Highway

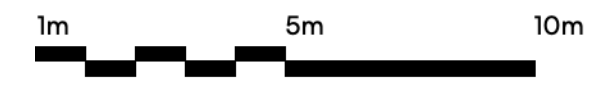
A key gateway into the City of Vancouver, Lougheed Highway is a busy arterial road. As a result of ongoing studies with the City of Vancouver, upgrades to this streetscape focus on:

- Existing street trees retained with select upgrades to boulevard plantings.
- Seating node's location within the Right of Way, connected to existing sidewalks to be retained.
- New bike lane, by City of Vancouver.

Key Plan



Section B: Lougheed Highway



3.7 Mobility

Active & Shared Mobility

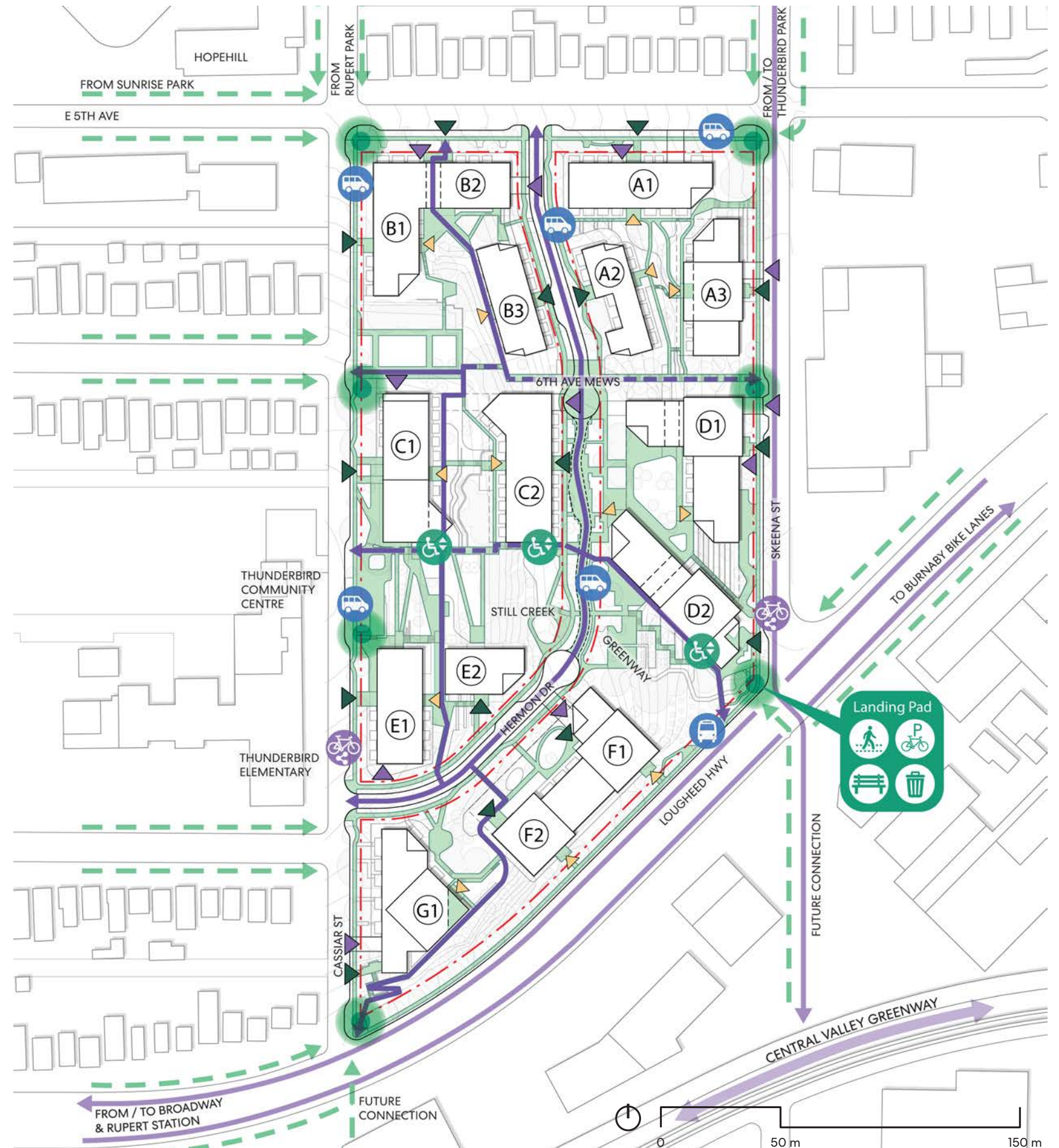
Skeena Terrace is transforming into a transit-oriented community focusing on a modal shift to active and shared modes of mobility. As part of the Renfrew and Rupert Station Area Plan, off-site connections, enhanced public realm improvements, and wayfinding along primary station connections are main drivers of the design process.

A key opportunity for Skeena Terrace is to anticipate the transforming mobility patterns due to technology, urban morphology, and being more ecologically conscious. These changes include higher reliance on bicycles and e-scooters, coupled with a reduction in private vehicle ownership, and the emergence of autonomous vehicles. A shared path network has been incorporated across the site where both wheeled devices (low speed) and pedestrians can traverse the site to points of interest and buildings.

Additionally, mobility “landing pads” are placed at locations where pathways connect to the periphery to enhance pedestrian and cycling access into the site. Depending on available space, landing pads could include any combination of bike and scooter parking and sharing, passenger pick-up/drop off zones, and a suite of furnishings including garbage receptacles, benches, and enhanced lighting. These landing pad areas will be seamlessly connected with the adjacent sidewalk and bridge the public sidewalk with pad surfaces located primarily on private property within setbacks.

Hermon Drive is turned into a slow street, prioritizing active mobility, with the potential for a shuttle stop in front of the Hut. Two (2) barrier-free paths traverse the terraces, running north-south and a series of stairs connect from east to west. Because of the steep slopes, the buildings often have two (2) entrances on different levels, and elevators provide the ability to traverse steep grade through the buildings. Additionally, mechanized vertical transports are proposed along Still Creek Greenway. On the periphery, two (2) future on-street bike routes are proposed. One (1) on Lougheed Highway which connects to Burnaby and another on Skeena street connecting to Central Green Valley Greenway.

- Active Mode Site Approaches
- Pedestrian Network
- Existing Transit Stop
- Potential Additional Site Shuttle Stops
- Potential Mechanized Vertical Transport
- Landing Pads
- Primary Building Entrance
- Secondary Building Entrance
- Existing Bike Routes
- Future On-Street Bike Routes
- Multi-Use Network
- Multi-Use Network with Bike Rail
- Potential Bike and Scooter Share Station
- Bike Parking Entrance



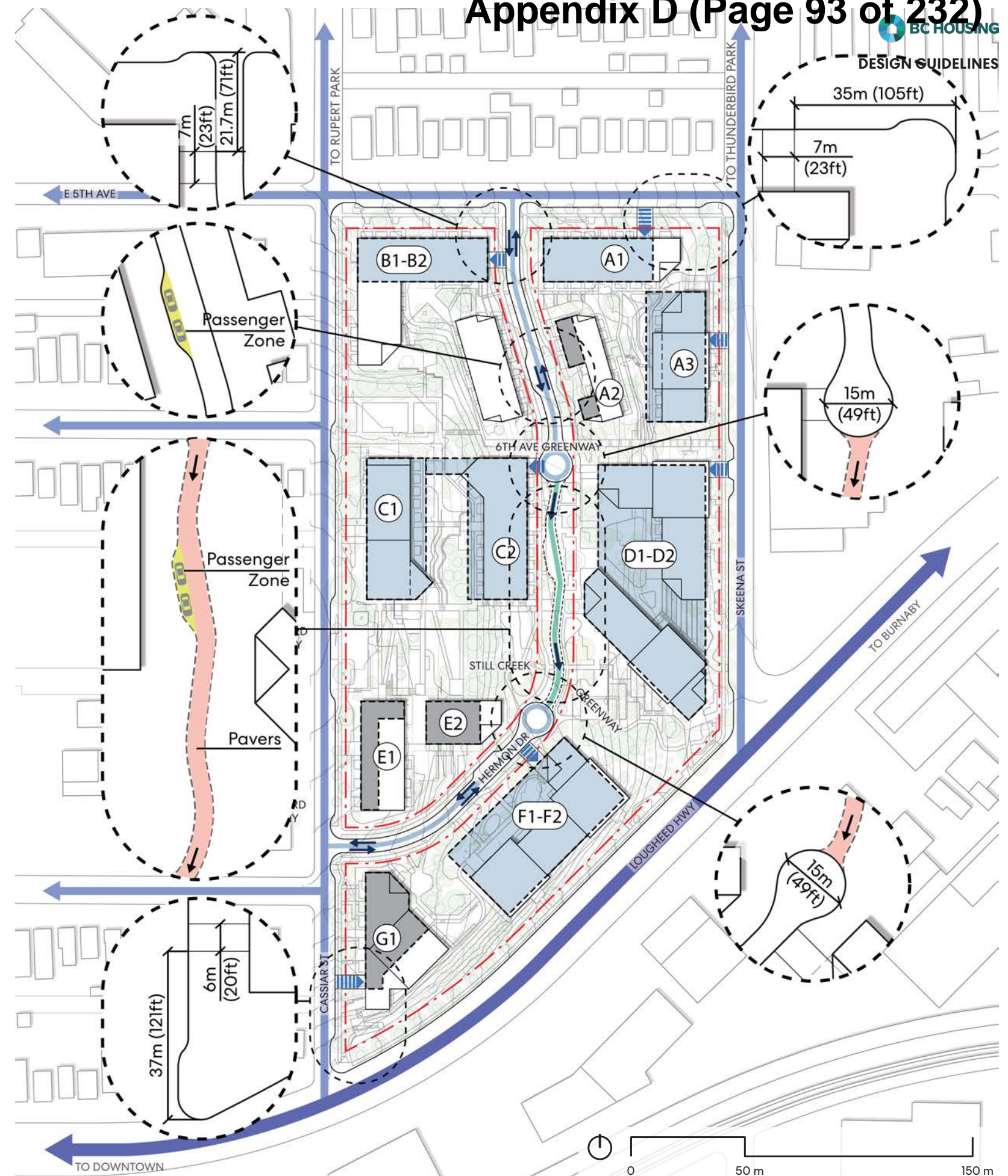
Road Network

The site is situated beside Lougheed Highway, an arterial roadway; the primary routes into the site from this road are via Skeena Street and Cassiar Street. Hermon Drive is the sole vehicular access through the site bisecting it and connecting to East 5th Ave and Cassiar Street. East 5th Ave is the primary route west to connect with secondary arterial Rupert Street.

Hermon Drive

Hermon Drive is redesigned as a “people-first” environment where walking, biking, resting, and socializing are the expectation. At the south and north ends, motor vehicles are still allowed to provide access to homes or driveways, pick-up/drop-off, services, and deliveries.

In the portions of Hermon Drive that are not part of the one-way meandering central portion, two (2) roundabouts are strategically placed which allow the greenway and the mews to cross, and minimize vehicle volumes using traffic calming features to promote lower speeds.



- Arterial Road
- Local Street
- Slow Street
- Shared Street (woonerf-like)
- Driving Direction
- Buildings
- Below-grade Parkade
- Below-grade Service Area
- Parking/Loading Access

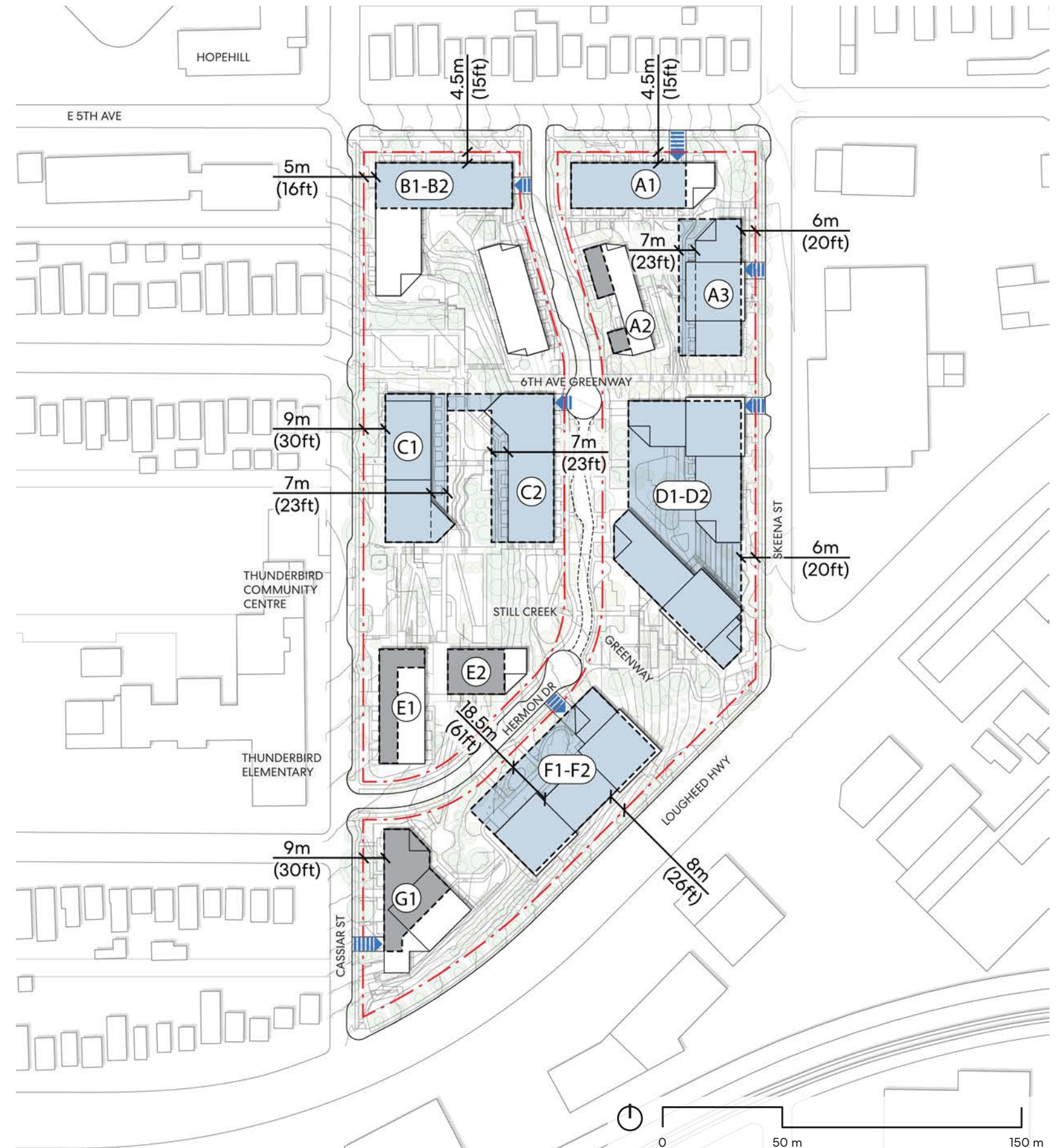
3.8 Parking and Loading





Hermon Drive is narrowed into a slow, one-way street to limit vehicular access and prioritize the pedestrian environment. The exception is a bi-directional stretch at each entry point into Hermon, up to the round-about at access points of adjacent below grade parking structures and loadings. This approach will minimize traffic from the one-way section.

To minimize the traffic impact on Hermon Drive and Cassiar St, and to eliminate the need for an extra driveway and taking into account the steep grade of the site, buildings A2, B3, E1-E2 and G do not have an underground parkade. Instead, a district parking approach will be employed to serve the tenants of those buildings with the parkade under another building sized to accommodate both. Please refer to Vehicle Parking Provided table for distribution details.

Only concrete buildings and stick-frame with large footprints have underground parkades that prioritize connection to Hermon Drive and limit access from Cassiar, 5th Ave and Lougheed Hwy. This approach minimizes the excavation and ensures minimal soil impact, all while providing the required parking capacity for the new development. Turnarounds are provided on Hermon Drive, at either end of the pedestrian-prioritized section.

Pick up and drop off are generally located around landing pads and building entrances. The approach prioritizes active mobility including: taxis/ ride-hailing, car-share vehicles, public bike share, and loading for smaller delivery and service vehicles.



-  Building Footprint at Grade
-  Below-grade Parkade
-  Below-grade Service Area
-  Parking/Loading Access

Vehicle Parking (Minimum Bylaw Requirement)

Parcels	A	B	C	D	E	F	G	Total	Ratio
Residential									
Market Units	38	0	55	137	25	89	32	376	0.58
RGI Units (<2 bed)	0	0	0	0	0	0	0	0	0
RGI Units (≥2 bed)	20	28	0	0	0	0	0	48	0.30
HILS Units (<2 bed)	15	2	15	46	8	31	11	128	0.30
HILS Units (≥2 bed)	37	4	37	115	21	77	27	318	0.50
Visitor	14	7	11	31	6	21	7	97	0.05
Childcare	0	0	13	0	0	0	0	13	
Commercial	0	0	7	9	3	0	0	19	
Total Spaces	124	41	138	338	63	218	77	999	

Vehicle Parking (with TDM Reductions)

Parcels	A	B	C	D	E	F	G	Total	Ratio	Reduction
Residential										60%
Market Units	15	0	22	55	10	36	13	151	0.23	
RGI Units (<2 bed)	0	0	0	0	0	0	0	0	0	
RGI Units (≥2 bed)	8	11	0	0	0	0	0	19	0.12	
HILS Units (<2 bed)	6	1	6	18	3	12	4	51	0.12	
HILS Units (≥2 bed)	15	2	15	46	9	31	11	129	0.20	
Visitor	14	7	11	31	6	21	7	97	0.05	0%
Childcare	0	0	13	0	0	0	0	13		0%
Commercial	0	0	5	7	2	0	0	14		30%
Total Spaces	58	21	72	157	30	100	35	474		

Accessible Parking

Parcels	A	B	C	D	E	F	G	Total
Residential	13	8	9	23	6	16	6	81
Non-Residential	0	0	3	1	0	0	0	4
Total Spaces	13	8	12	24	6	16	6	85

Passenger Spaces

Class	Class A								Class B	Class C
	A	B	C	D	E	F	G	Total		
Residential	2	1	2	4	1	3	1	14	0	0
Commercial	0	0	1	0	0	0	0	1	0	0
Total Spaces	2	1	3	4	1	3	1	15	0	0

Vehicle Parking Provided

Parcels	A	B	C	D	E	F	G	Total
Total Spaces	46	19	63	215		131		474

Bicycle Parking (Minimum Bylaw Requirement)

Parcels	A	B	C	D	E	F	G	Total
Class A								
Residential								
Studio & 1-Bed	162	66	134	386	71	258	92	1169
2-Bedroom	303	115	253	740	135	495	175	2216
3-Bedroom	174	165	63	183	36	126	45	792
Childcare	0	0	0	0	0	0	0	0
Commercial	0	0	1	2	1	0	0	4
Total Spaces	639	346	451	1311	243	879	312	4181
Class B								
Residential	15	8	12	32	7	22	8	104
Commercial	0	0	3	4	2	0	0	9
Total Spaces	15	8	15	36	9	22	8	113

Bicycle Parking (with TDM Increase)

Parcels	A	B	C	D	E	F	G	Total	Increase
Class A									
Residential									
Studio & 1-Bed	227	92	188	540	99	361	129	1636	40%
2-Bedroom	424	161	354	1036	189	693	245	3102	
3-Bedroom	244	231	88	256	50	176	63	1108	
Childcare	0	0	0	0	0	0	0	0	
Commercial	0	0	1	3	1	0	0	5	40%
Total Spaces	895	484	631	1835	339	1230	437	5851	
Class B									
Total Spaces	15	8	15	36	9	22	8	113	0%

Loading Spaces

Class A								
Parcels	A	B	C	D	E	F	G	Total
Residential	1	1	1	3	1	2	1	10
Childcare	0	0	0	0	0	0	0	0
Commercial	0	0	0	0	0	0	0	0
Total Spaces	1	1	1	3	1	2	1	10

Class B								
Parcels	A	B	C	D	E	F	G	Total
Residential	1	1	1	3	1	2	1	10
Childcare	0	0	1	0	0	0	0	1
Commercial	0	0	1	1	1	0	0	3
Total Spaces	1	1	3	4	2	2	1	14

Class C	
Parcels	Total
Residential	0
Childcare	0
Commercial	0
Total Spaces	0

Section 4.0

URBAN DESIGN

4.1 Built Form Principles

Skeena Terrace is intended to have a mid- and high-rise form of development surrounding a connected network of publicly accessible open spaces, with an emphasis on ground-oriented units. Higher density should be concentrated near the low point of the site along the southern and eastern edges to avoid extensive shadows and visually imposing on the existing residential neighbourhood and school grounds.

Building orientations should respond to the curved streets created by Lougheed Highway and Hermon Drive with heights gradually transitioning from low-rise on Cassiar Street and E 5th Avenue site edges to mid-rise and eventually high-rise along Skeena Street and Lougheed Highway, creating a dramatic visual landmark at the gateway to Vancouver on approach from Burnaby.

Achieving a legible massing strategy across the site is an important consideration. The form and scale of development at Skeena Terrace are intended to be respectful of its context by respecting views, privacy, and daylighting through design of slender point towers. The building anchoring the corner of Cassiar and Lougheed is planned to orient towards the southwest to reinforce a 'front door' to the site for people arriving from Rupert SkyTrain Station and trips from the west.

Building massing and architectural response should give priority to a human-scaled pedestrian experience at grade, supporting a successful public open space network. Mid-rise and podium heights are intended to step down with the sloping landscape, with upper level step-backs along sensitive site edges, major active-mode routes, or where daylighting improvements to

open spaces result. Form and material changes in facade treatments should be designed to create a visual horizontal datum at the lower levels to break up the verticality of building faces and respond to the pedestrian realm.

Another important principle is designing for inclusion and equity by ensuring non-market is indistinguishable from market residencies through a variety of building forms and scales.

Whenever possible buildings should provide the following:

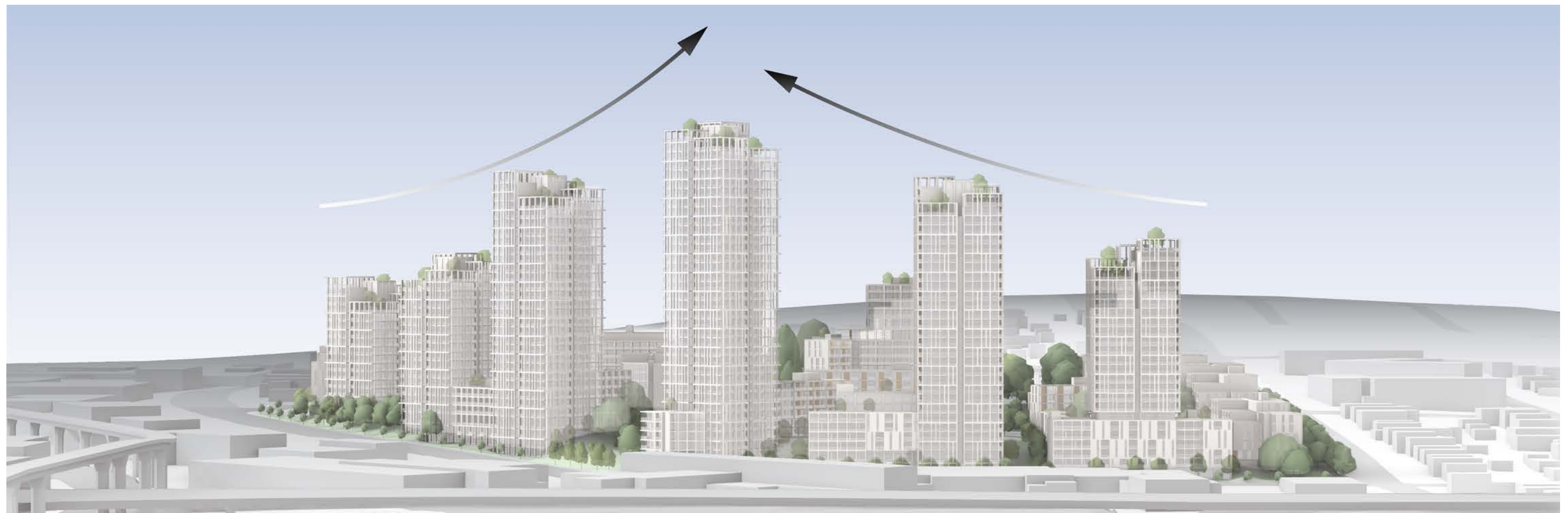
- a) Ground-oriented units with doors opening onto the street or public open space.
- b) Private outdoor space for all units.
- c) Unit layouts that maximize natural lighting and

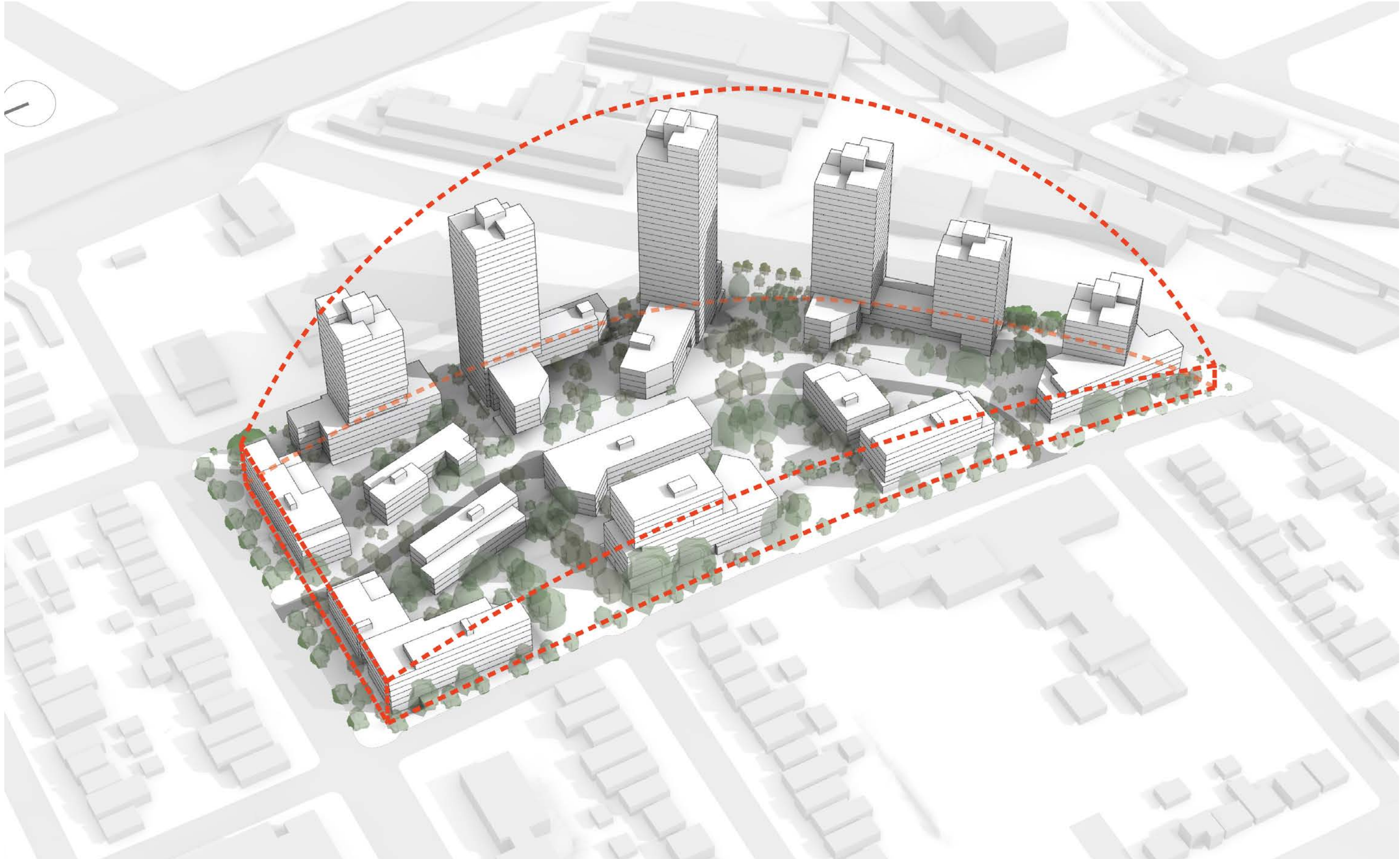
provide cross-ventilation to units to the greatest extent possible.

d) Common outdoor space in conjunction with an indoor amenity.

e) Slender "point" tower floor plates to a maximum of 605 sq. m (6,500 sq. ft).

f) Variation in form and expression, particularly at the upper levels.





4.2 Land Use

The plan ensures that the Skeena Terrace legacy of providing affordable housing is maintained and enhanced into the future with an elevated level of tenant+community amenities. The site continues to provide a diversity of housing types and tenures, supported by local-serving shops, services, community amenities, and animated open spaces.

Non-residential programs such as the childcare, the “Hut” and retail spaces are planned primarily along the Still Creek Greenway and Cassiar Street. Through redevelopment, Skeena Terrace also offers the opportunity for family-oriented, live-work, and social enterprise uses.

Non-residential uses are located more centrally on the site further from neighbouring residential areas to ensure minimum disturbance. Thunderbird Elementary School and Community Centre, together with the non-residential programs on the site, create a central hub of activity and connectivity. This approach aims to promote a vibrant and connected community by providing diverse uses and amenities in close proximity.

- Residential Use
- Mixed Use
- Public Open Space
- Utilities SRW
- Hermon Drive ROW
- Parcel Boundary

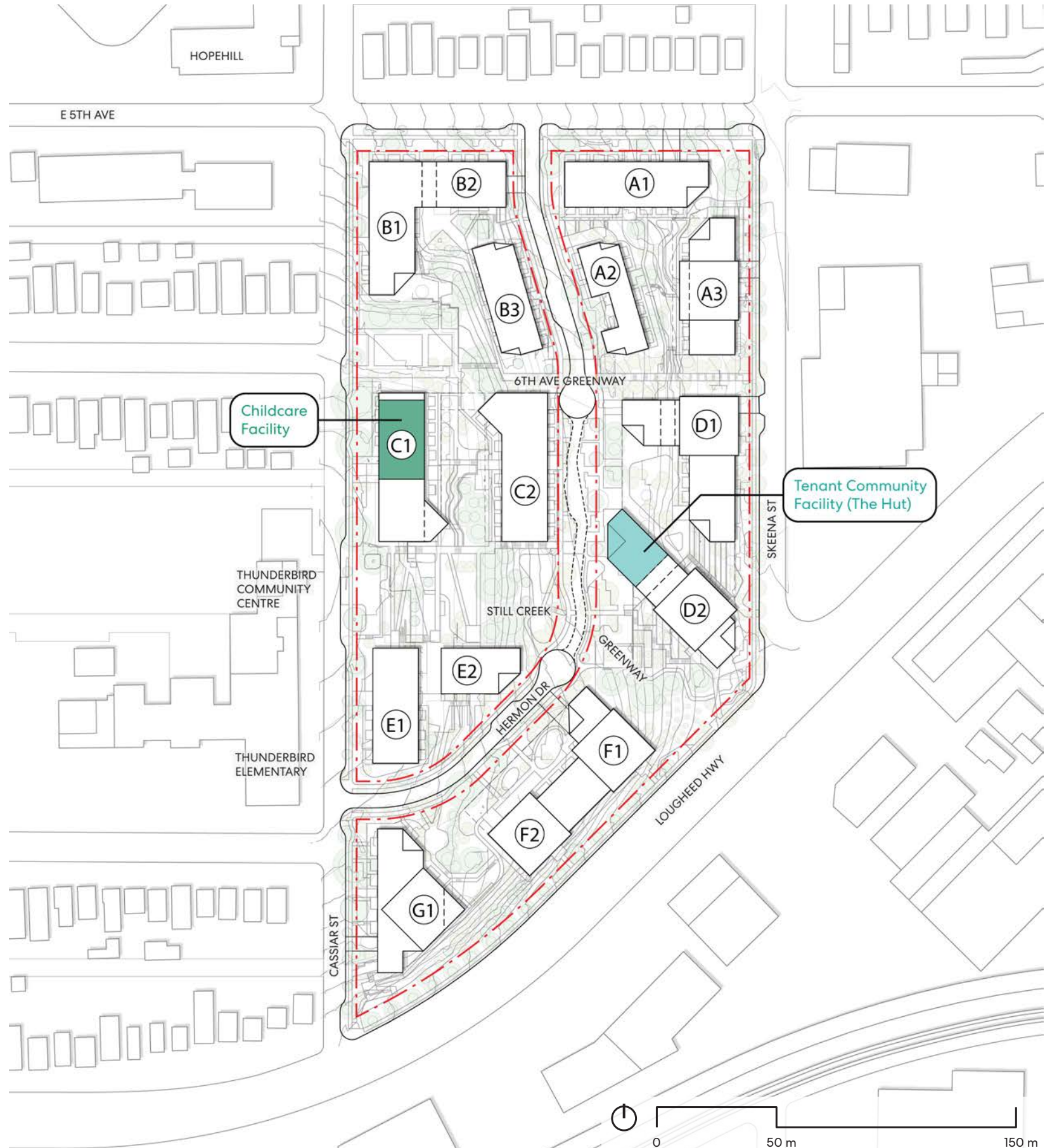


Indoor Community Amenities and Services

The project provides a number of community amenities and services for the future residents. Childcare facilities are located in close proximity to Thunderbird Elementary School and Community Centre, with its lobby oriented towards Cassiar street. Seven ground-oriented licensed family childcare units are included within homes on site and 74 fully-fitted childcare spaces are provided in the childcare centre. The facilities are designed in accordance with the city’s Childcare Design Guidelines with an adequate outdoor playground area and daylighting. For further details, refer to Parcel C section.

The existing Skeena tenant community facility, or the “Hut”, is replaced with an amenity centre strategically located in the heart of the site to allow for equitable access. Designed as a multi-purpose space, the Hut ensures on-site programs continue to operate while providing additional space for expansion. An indoor community kitchen is included within and satisfies one of the food asset requirements of the Rezoning Policy for Sustainable Large Developments.

In addition to the “Hut”, further indoor amenities are provided within each building that serve only their residents/tenants. These amenities are designed in accordance to BC Housing Guidelines, and include multi-purpose rooms, kitchenettes, and gender-neutral accessible washrooms.



- Tenant Community Facility (the Hut)
- Childcare Facility

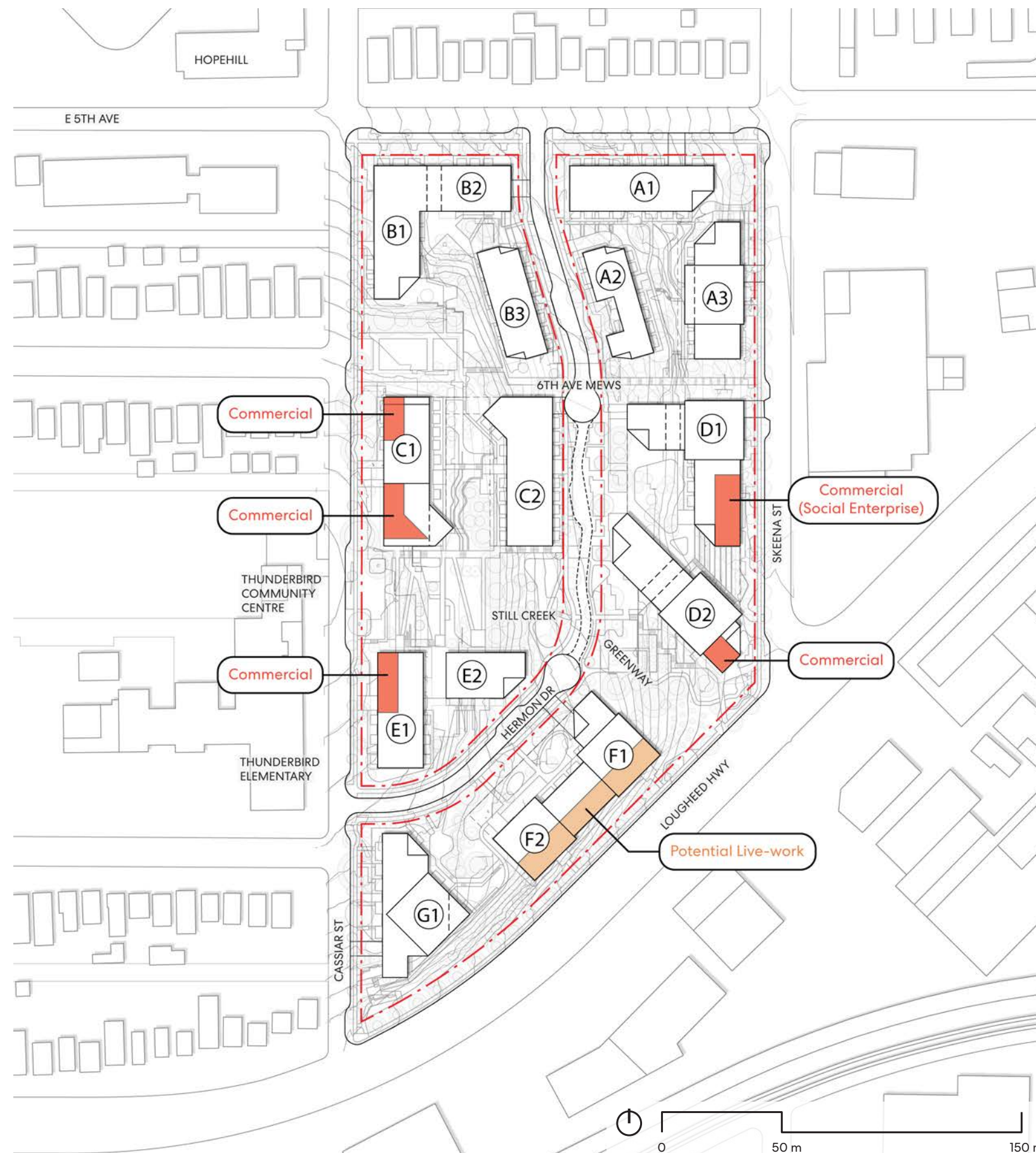
0 50 m 150 m

Retail and Commercial Strategy

Retail is proposed to be distributed across the site, located in areas with elevated levels of pedestrian traffic or activation. The first is along the eastern edge of Cassiar Street and flanking the plaza space opposite the Thunderbird Community Centre and Elementary School, and contiguous with the new childcare in the building. These community anchors support retail uses because they are natural magnets for daily pedestrian footfall. Furthermore, these areas along Cassiar were identified as preferred locations in coordination with the city's Rupert Station area planning team.

Another node of retail is proposed along the southern portion of Skeena Street flanking the entrance to the Still Creek Greenway, which is also a key access point into the site. In the fullness of time, future development across Skeena Street, the integration of the bike lane and connection to Central Valley Greenway across Lougheed Highway, may provide the footfall required to ensure viability of these locations. The retail units further from Lougheed also have the potential to be designated as social enterprise spaces to mitigate potential marketability risks.

In addition to retail uses, live-work units may be feasible along the Lougheed Highway frontage, making the best use of the high-traffic, sloping, and curved streetscape for unit and customer access without the need for curb cuts, anticipating the future calming of Lougheed through redevelopment of the station area.



- Live-Work
- Commercial

4.3 Setbacks and Step Backs

All buildings have a minimum 3-metre setback from the property line allowing for blue-green infrastructure, landscape buffers from the streets and private patios for ground oriented units. Buildings along Lougheed enjoy a larger 4m setback allowing for a generous landscape buffer from the highway, in addition to the city requested dedication for pedestrian and cycling infrastructure. Along Cassiar adjacent to the school and community centre, and where frontages are activated with retail uses, 5m is provided to maintain the existing large street trees and provide a generous public realm. Buildings also have a minimum 2 metre setback from the 6th Avenue Mews and Still Creek Greenway.

building footprints have been sited in response to retention of mature tree canopy, topography and to create of a high performing open space network. Any proposed changes in building siting is to deliver equal or greater urban design performance to be assessed through detailed review at time of Development Permit considering tree retention, quality of open space, livability, etc.

In addition to setbacks, building massing incorporates upper level step-backs along sensitive site edges, major active-mode routes, or where daylighting improvements to open spaces result. Where appropriate, mid-rise buildings and podiums have a step-back of 1.5-3 metres on the top 1 to 2 floors.

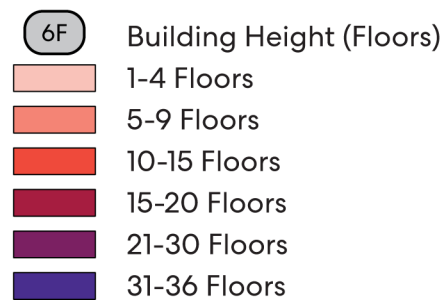


- 2-metre Setback
- 3-metre Setback
- 4-metre Setback
- 5-metre Setback
- Parcel Boundary
- Parcel Setback Line

4.4 Building Heights

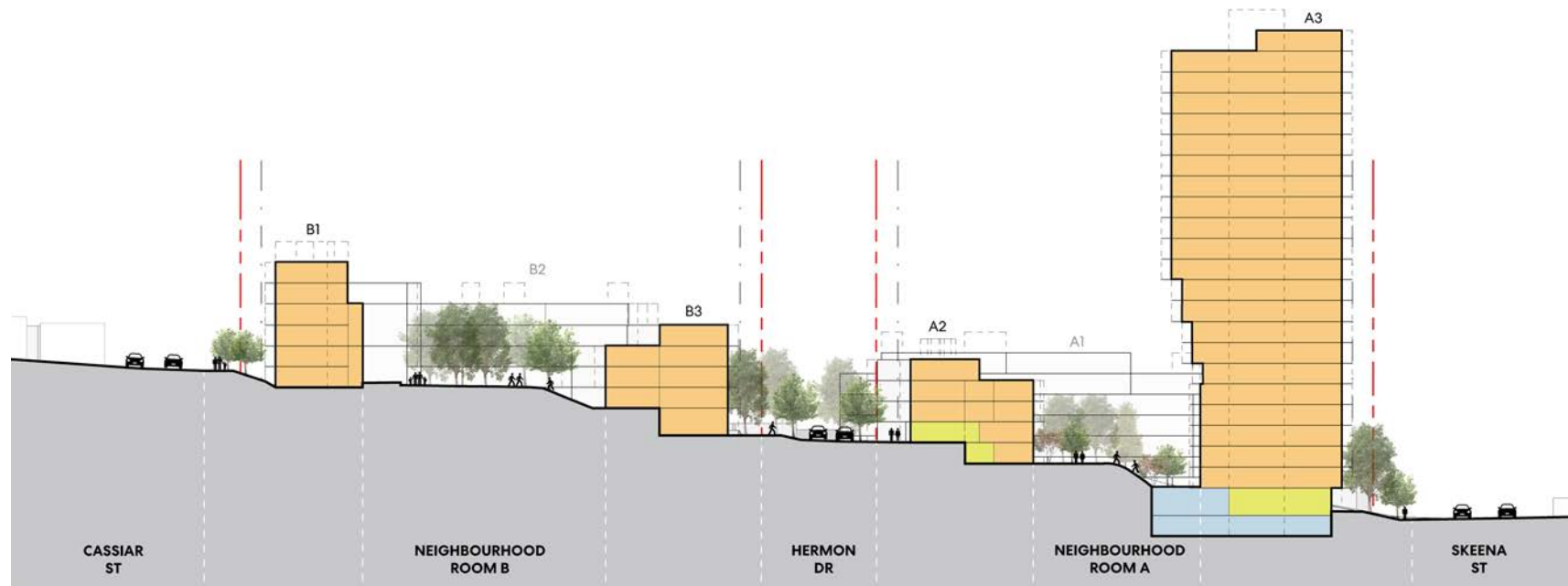
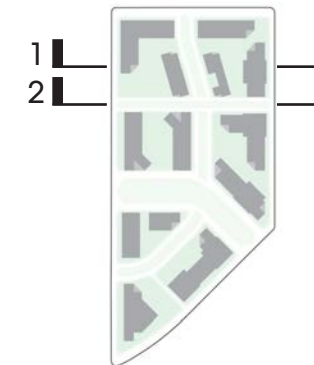
Taller buildings are located at the low point of the site near the corner of Lougheed Highway and Skeena Street, and transition down to the North and West edges of the site to reduce impacts on open spaces and neighbouring residential areas.

The three taller point towers are located near the existing City of Vancouver welcome sign, creating a visual gateway condition upon the approach from Burnaby. The tallest tower is 36 storeys high, with a desired transition of four to six storeys lower between each tower. In sculpting the towers, views to and from the site are considered to make the site recognizable from a distance, including from the SkyTrain, on approach along the Lougheed-Broadway corridor, the Central Valley Greenway, as well as Falaise Park.



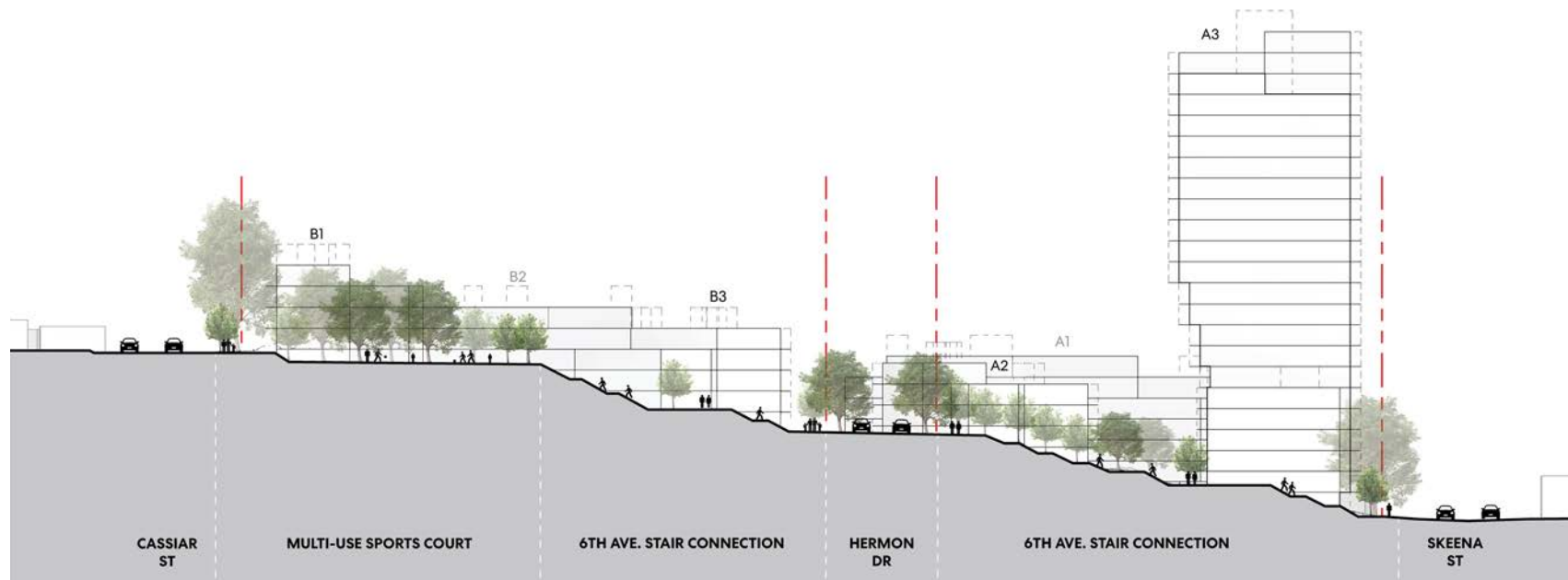
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4.5 Site Sections

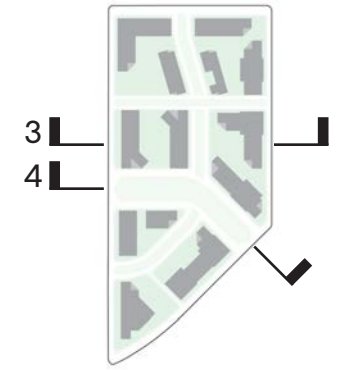
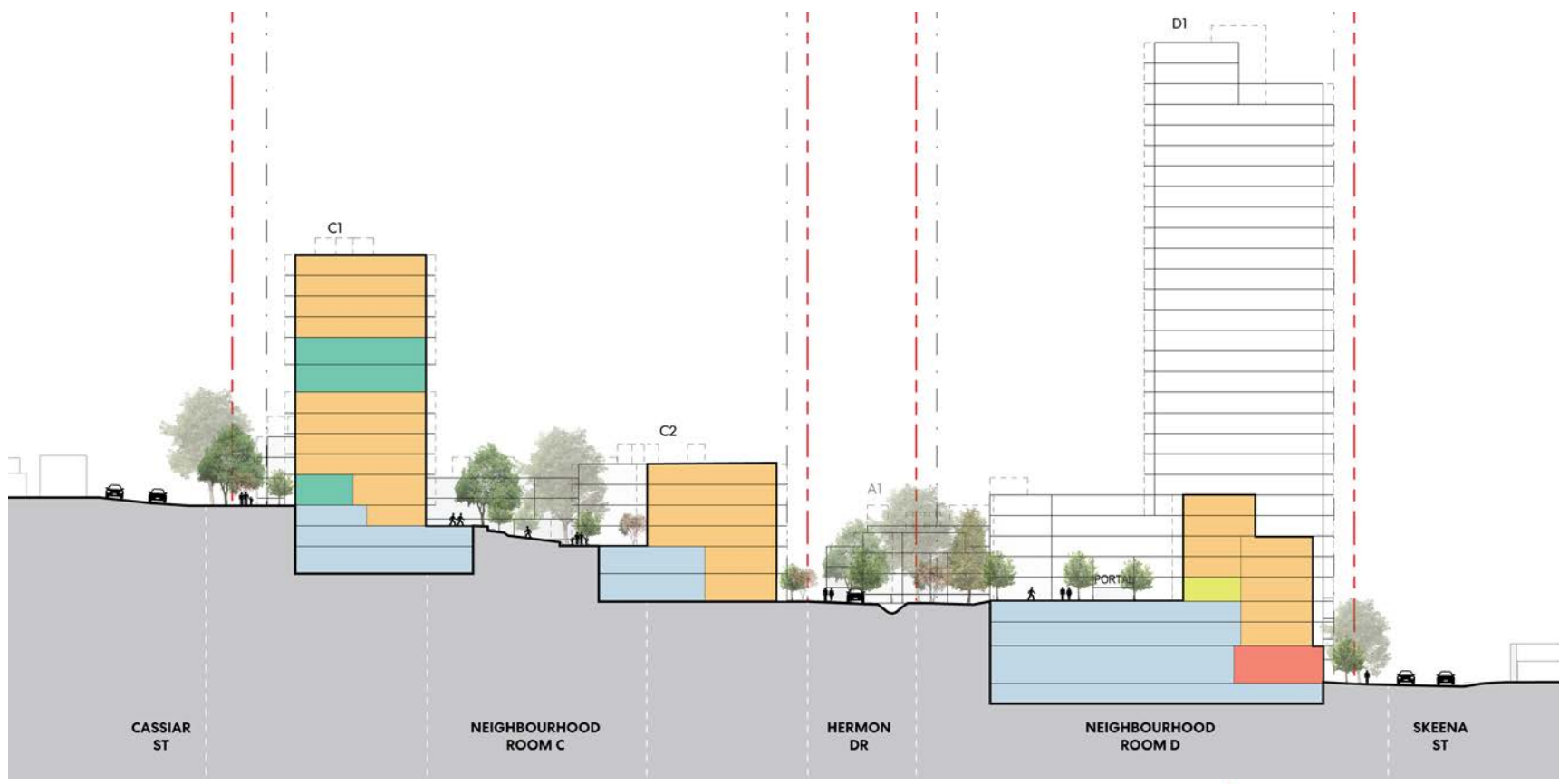


Section 1: Parcels A & B

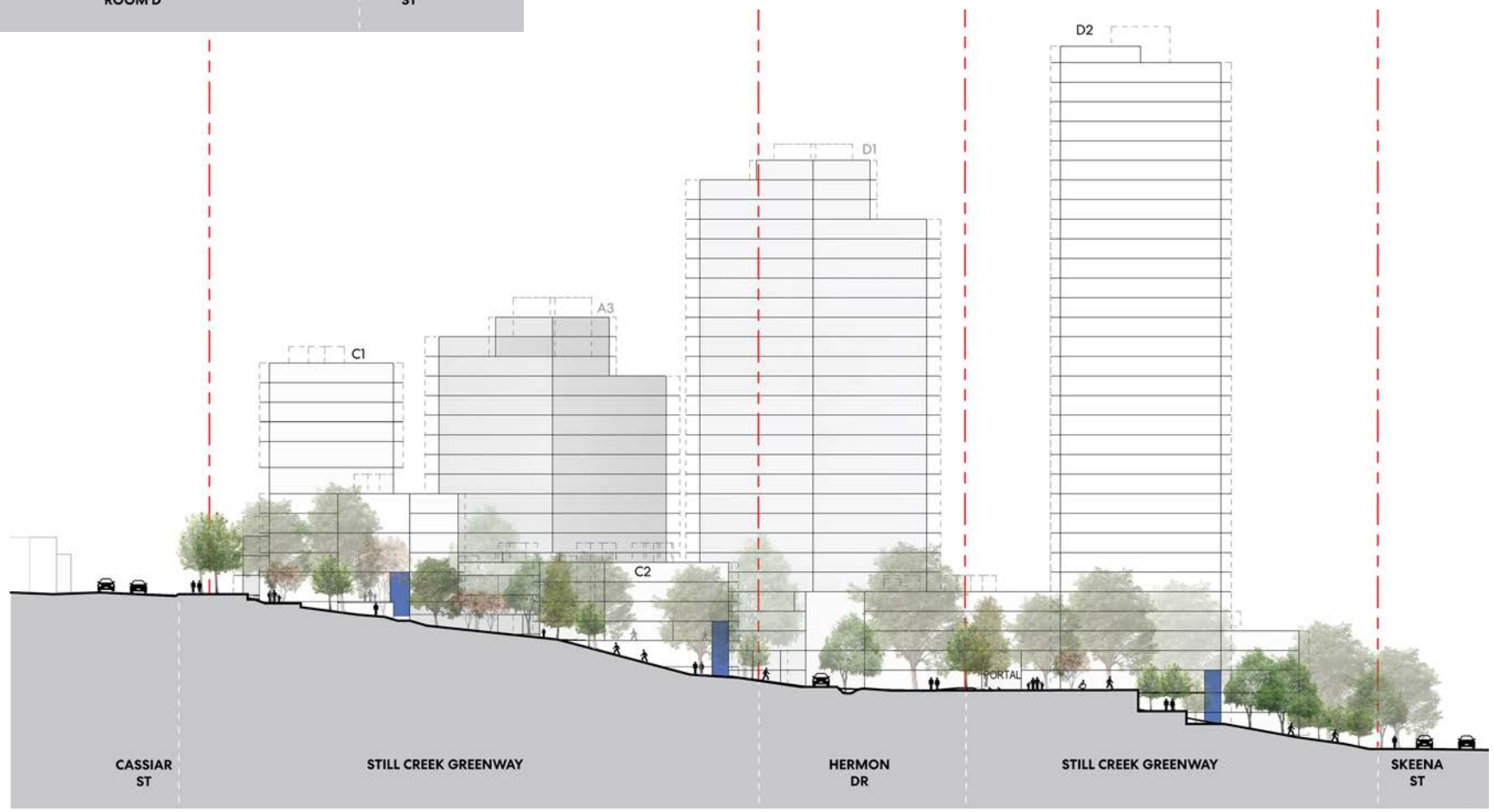
- RESIDENTIAL
- RESIDENTIAL COMMON AREA
- AMENITY
- COMMERCIAL
- HUT
- CHILDCARE
- OPEN BALCONY
- BIKE PARKING
- PARKING
- MECHANICAL
- POTENTIAL PUBLIC VERTICAL TRANSPORT
- EXTENT OF BALCONY



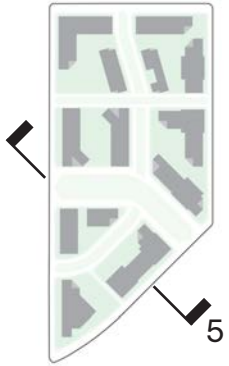
Section 2: 6th Ave Greenway



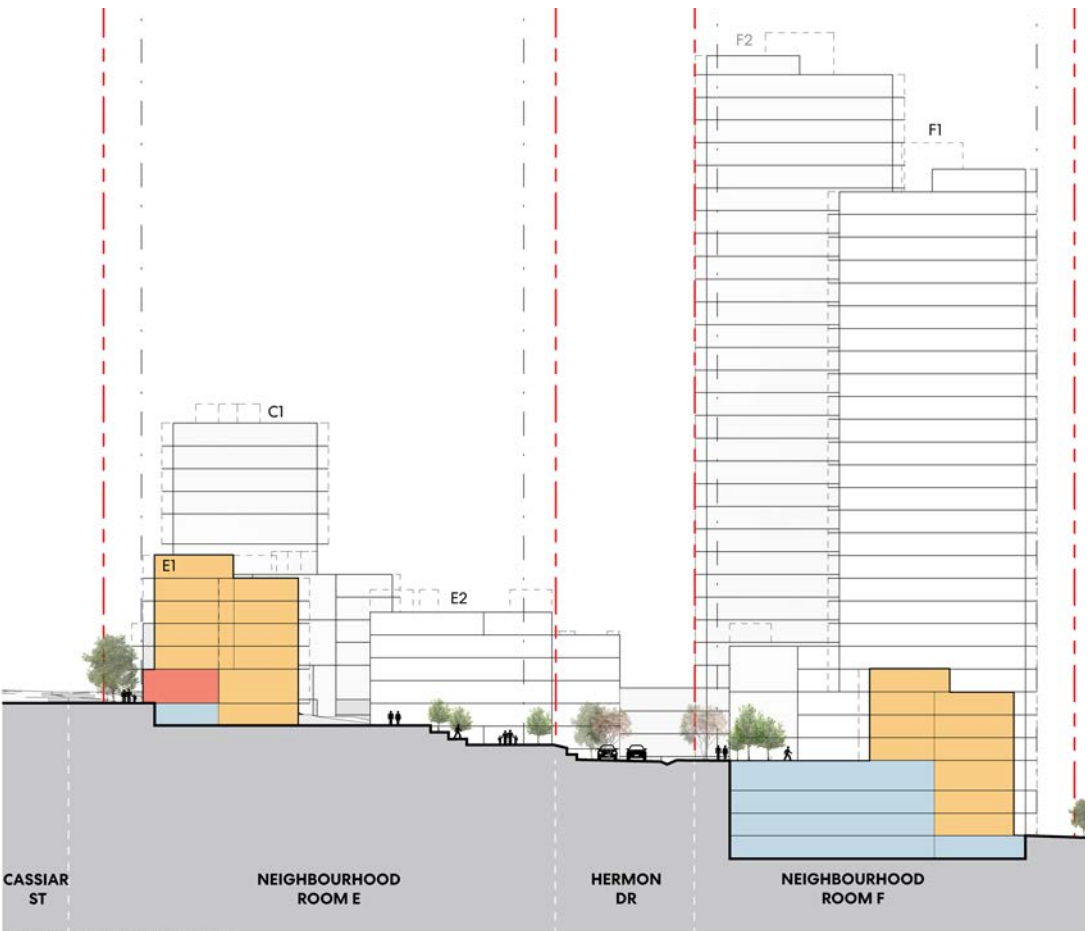
Section 3: Parcels C & D



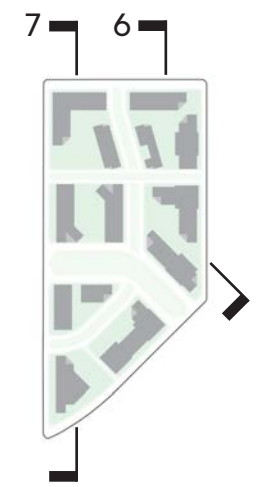
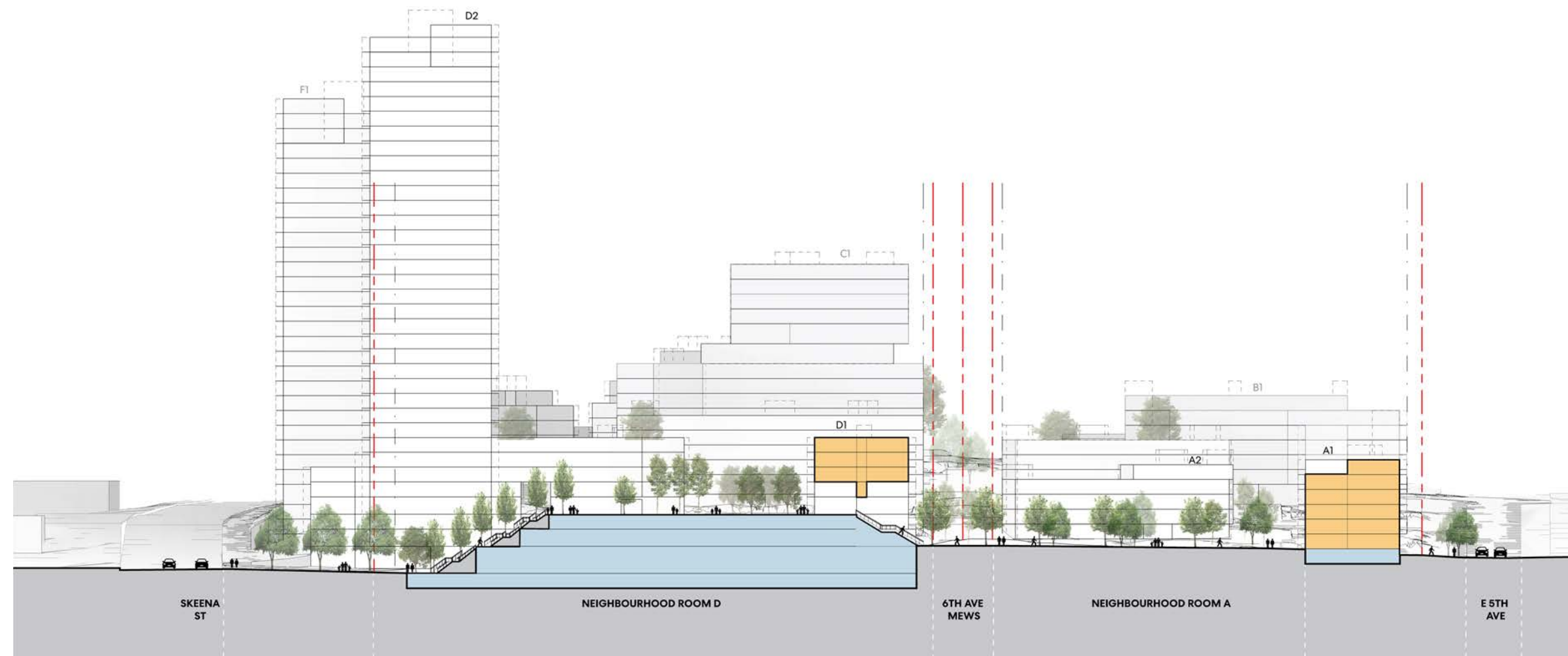
Section 4: Still Creek Greenway



- RESIDENTIAL
- RESIDENTIAL COMMON AREA
- AMENITY
- COMMERCIAL
- HUT
- CHILDCARE
- OPEN BALCONY
- BIKE PARKING
- PARKING
- MECHANICAL
- POTENTIAL PUBLIC VERTICAL TRANSPORT
- EXTENT OF BALCONY



Section 5: Parcels E & F



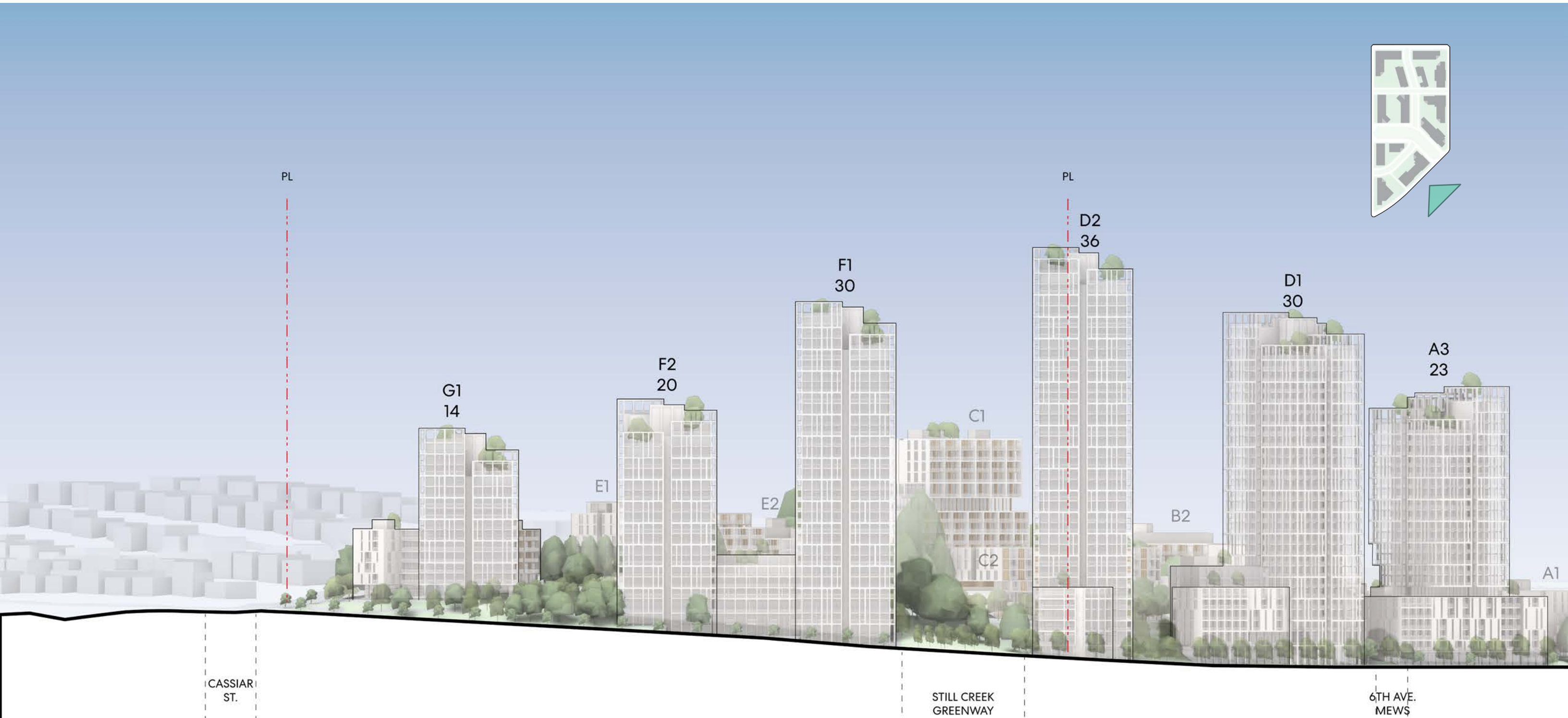
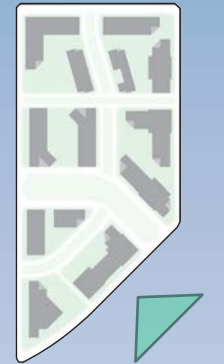
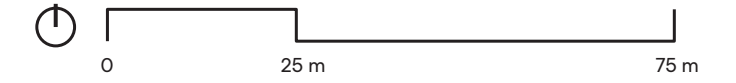
Section 6: Lower Neighbourhood Walk



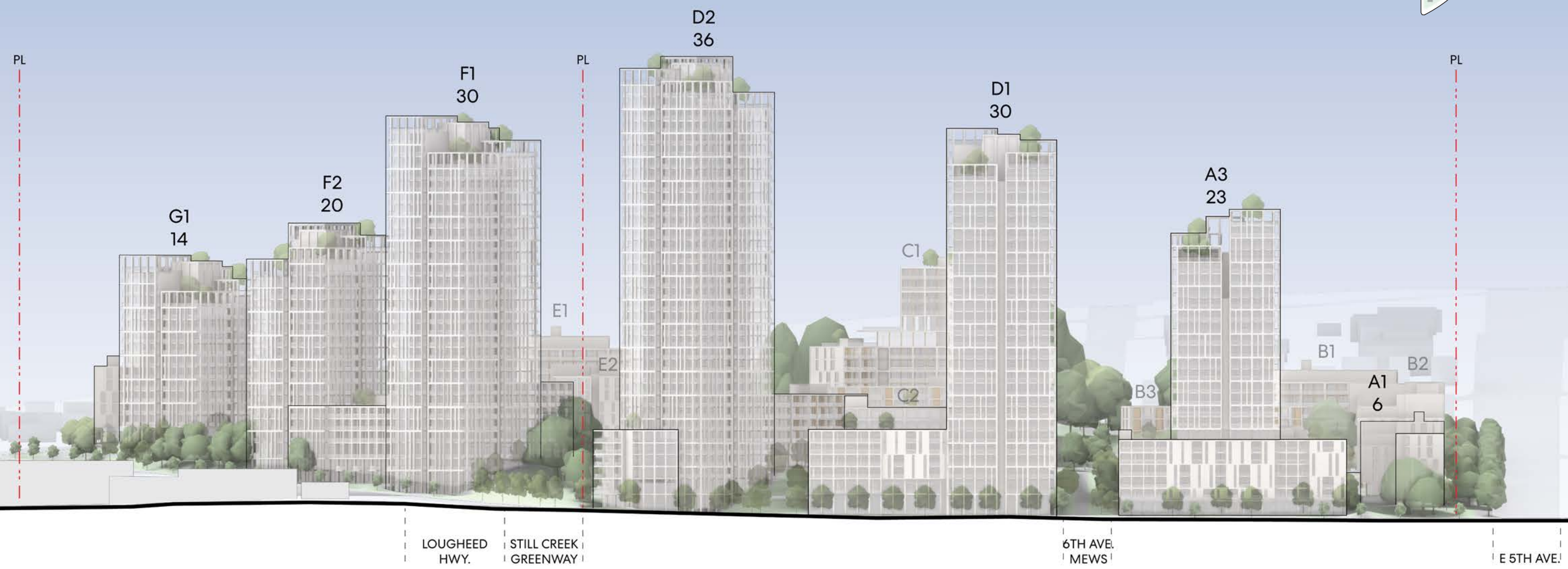
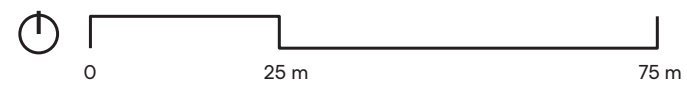
Section 7: Upper Neighbourhood Walk

4.6 Street Elevations

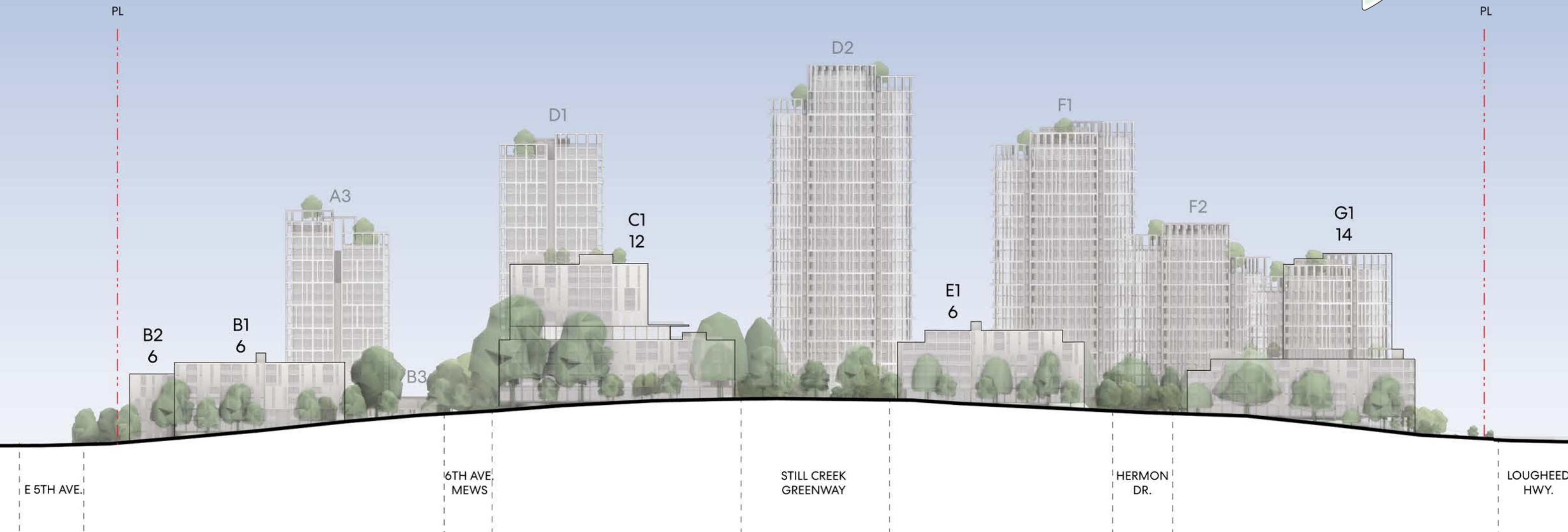
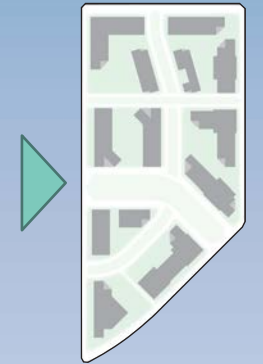
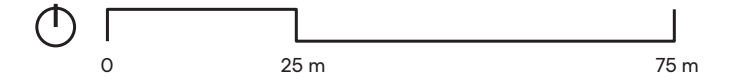
Lougheed Highway



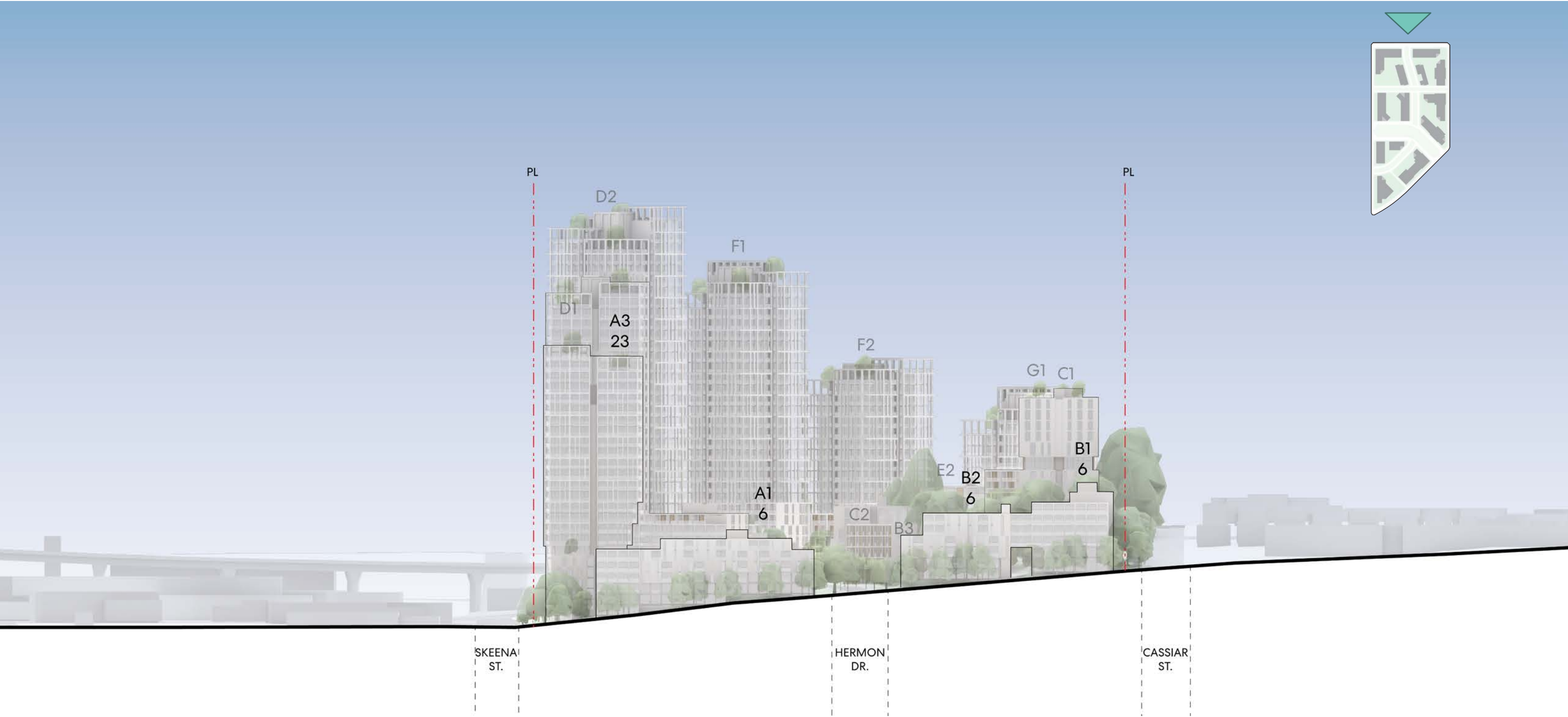
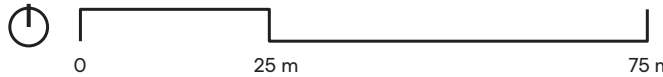
Skeena Street



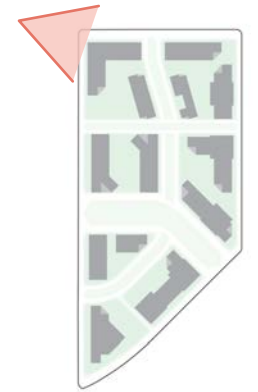
Cassiar Street



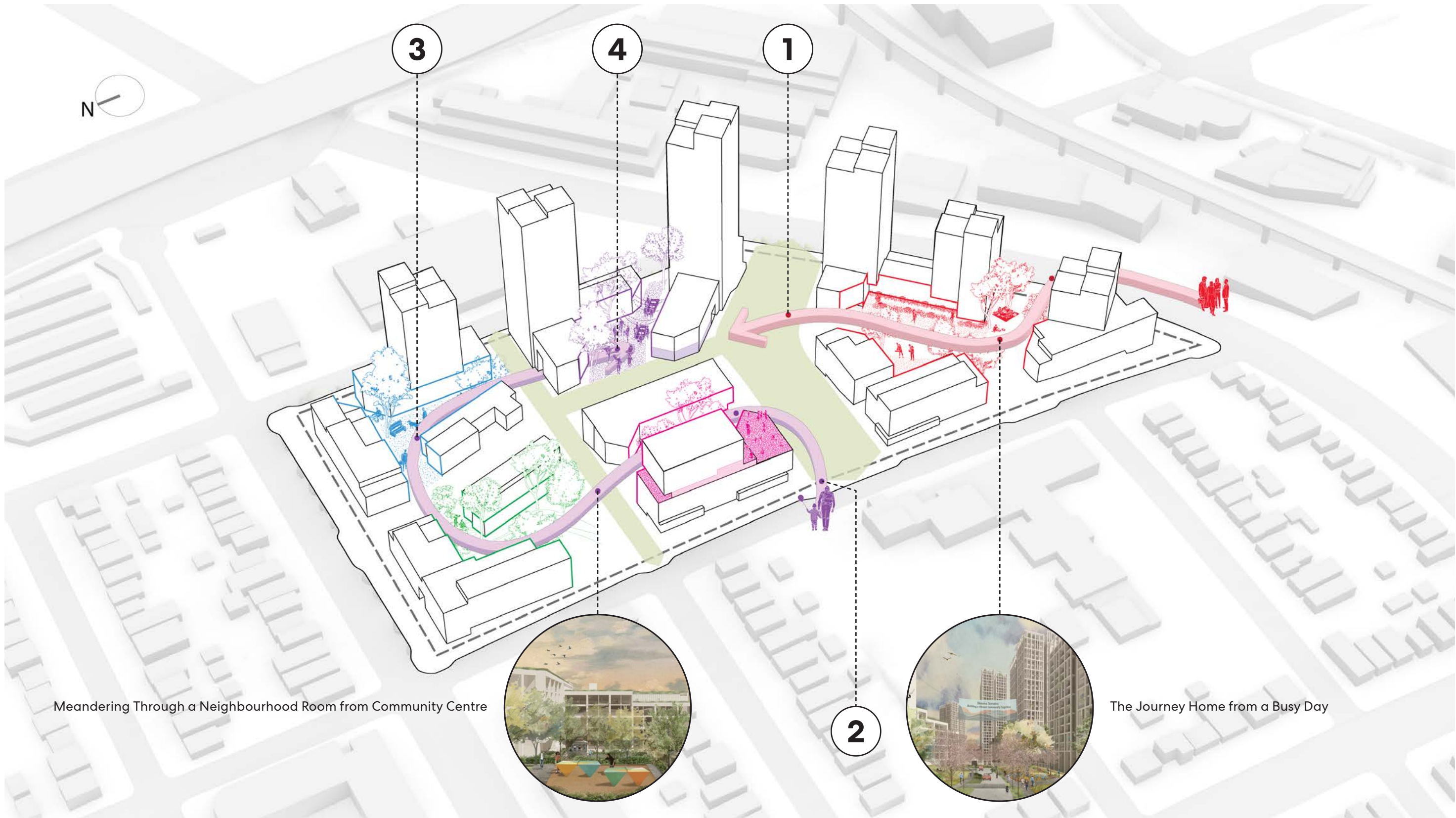
E 5th Ave



4.7 Visualizations



Aerial View from Northwest

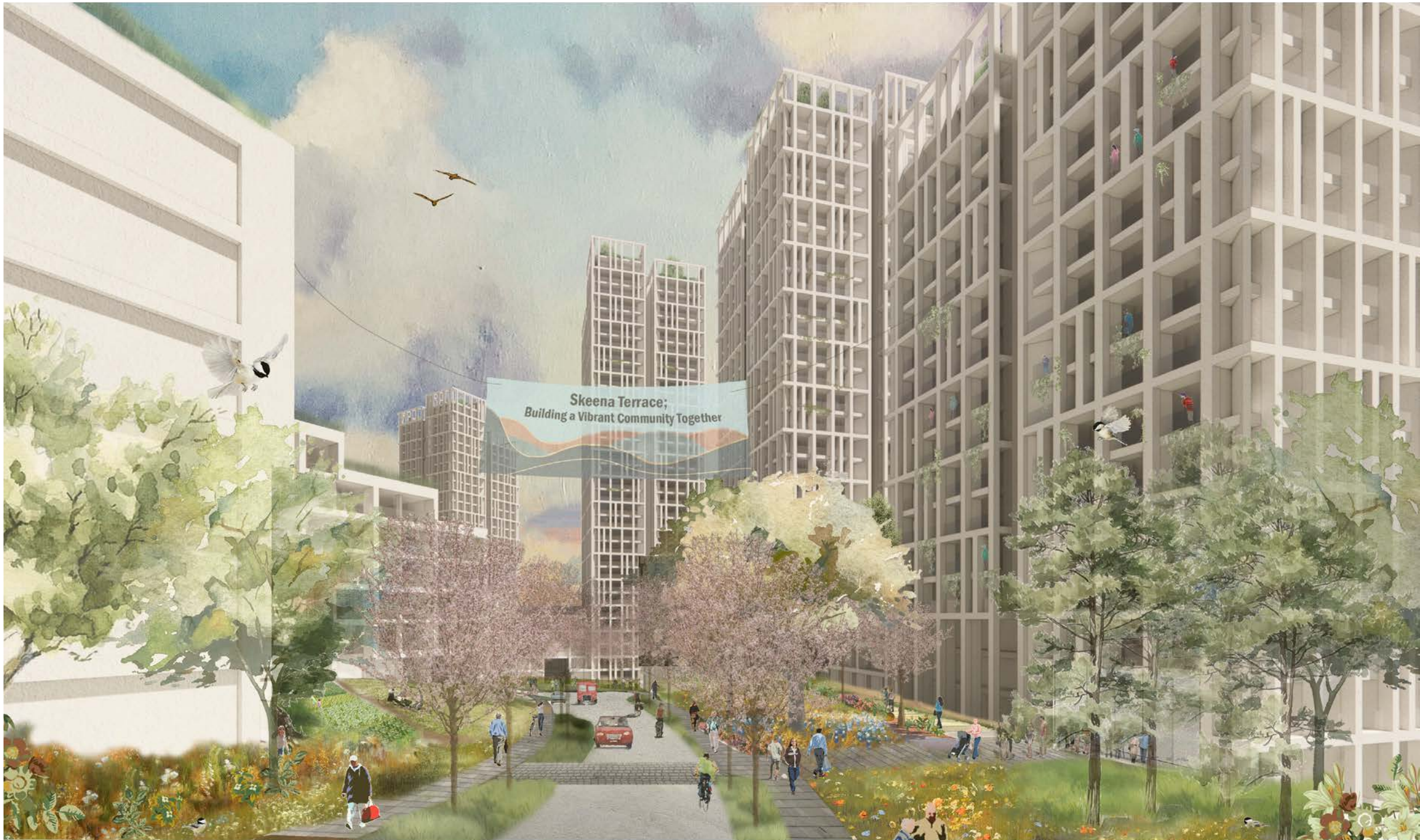


Meandering Through a Neighbourhood Room from Community Centre

The Journey Home from a Busy Day

The Two Journeys through the Site

The Journey Home from a Busy Day (Gateway Neighbourhood Room)



After a long busy day, coming back from Rupert station and stepping into the “Gateway” feels like home. The calm neighbourhood feel is really soothing and it is finally a lot easier to walk, or roll, without having to

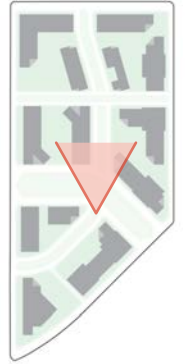
struggle against the steep slope. It is going to be an exciting weekend, the entire neighbourhood is planning a gathering at the HUT for a community potluck.

Meandering Through a Neighbourhood Room (Rolling Hill Neighbourhood Room)



Children are coming back from school hand-in-hand with their parents; it is great to see some familiar faces in the corner cafe next to the Community Plaza. After dinner, a daily evening walk through the

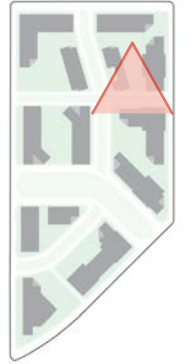
neighbourhood helps keep one in shape. Passing through the “Rolling Hill” room, people from all around the neighbourhood are playing basketball and exercising until dusk.



View 1: Hermon Drive Shared Street Looking North



View 2: Community Plaza View from Thunderbird Community Centre



View 5: Meadow Neighbourhood Room (Parcel A)



View 6: Gathering Neighbourhood Room (Parcel D)

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4.8 Building Typology & Construction Types

The site includes a variety of tower and podium buildings along the eastern and southern edges of the site, with mid-rise buildings filling out the remainder of the site. Proposed construction types include stick-frame and mass timber for mid-rise buildings, and concrete structure for towers and podiums as well as any mid-rise that is not mass timber over 6 levels.

Variation in building scale, type, and expression is strongly encouraged to avoid repetition, create pedestrian interest and help break down the existing identity of Skeena Terrace as a separate precinct from the surrounding neighbourhoods. Building composition should respond to both the existing neighbourhood while also reflecting objectives outlined in the Rupert Station Area plan.

A high level of architectural treatment and design is expected in shaping and articulating the taller buildings on site, that considers views to and from the site and establishes a new local architectural landmark that will be seen entering the city from the east.



Building Typologies

- Mid-Rise Building
- Tower and Podium



Construction Types

- Concrete Construction
- Wood Frame Construction

4.9 Mid-Rise and Podium Massing

Building massing responds to the challenging topography by stepping down forms in line with natural grade to ensure outdoor connectivity for grade adjacent programs and ground-oriented units, resulting in an inviting and accessible interface with the public realm. Buildings are also sited to retain the landscape by traversing significant changes in grade. Lower building forms also step back along their upper floors to improve livability, daylighting, or views.

The length of a building impacts the character and feel of the street and adjacent open spaces. Buildings should be limited in length, both real and perceived, to allow for sunlight, views, and a general feeling of “openness”. Massing should comply with the following:

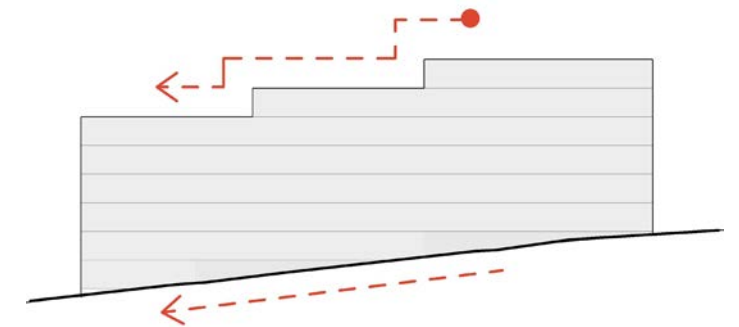
a) The street wall datum line will vary, generally between 4-6 storeys and stepping down with grade, as shown on the illustrative plan, in response to site

conditions and open spaces.

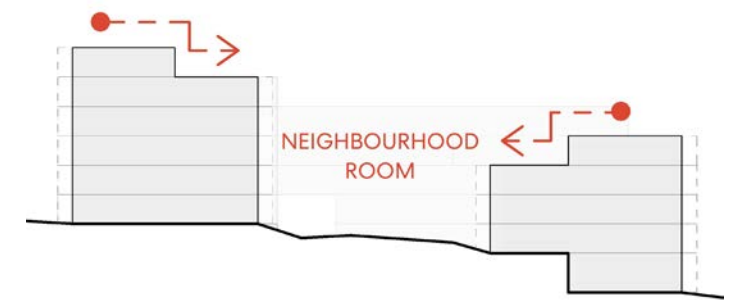
b) Provide 1.5 m (5 ft) - 3 m (10 ft) step backs at the upper 1 or 2 levels along streets, or along the public realm above to reduce overall building massing and bulk.

c) Where frontages are greater than 45.7m (150ft), monolithic facades should be avoided by incorporating vertical and horizontal articulation, as well as variety

through colour and material changes to add interest. Creating breaks in the massing is strongly encouraged to vary the expression and provide additional pedestrian amenities.



Building Stepping following Topography



Building Stepping towards Neighbourhood Room

4.10 Tower and Podium Arrangement

The design language of towers and podiums is one of intersecting forms. On the outward facing elevations of the buildings, towers should be used to break the longer forms and facades of the podiums by bringing the expression of the tower down to grade. On the interior faces of the neighbourhood rooms where forms and facades are not as long, tower forms should terminate at the roof plane of the podium. This ensures the room

edges are provided a more human/intimate scale to relate to the communal spaces, while also providing continuous surfaces to frame the edges of the room.

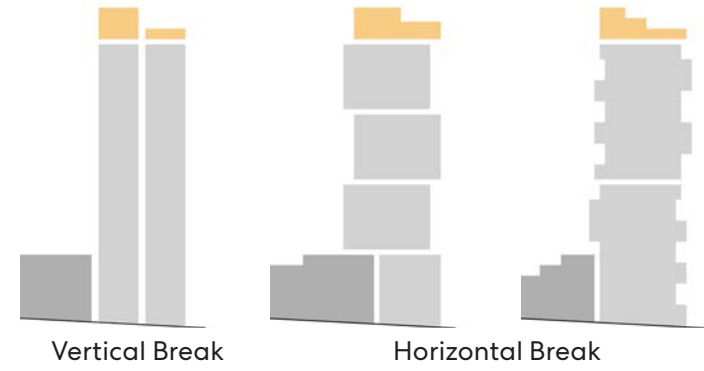
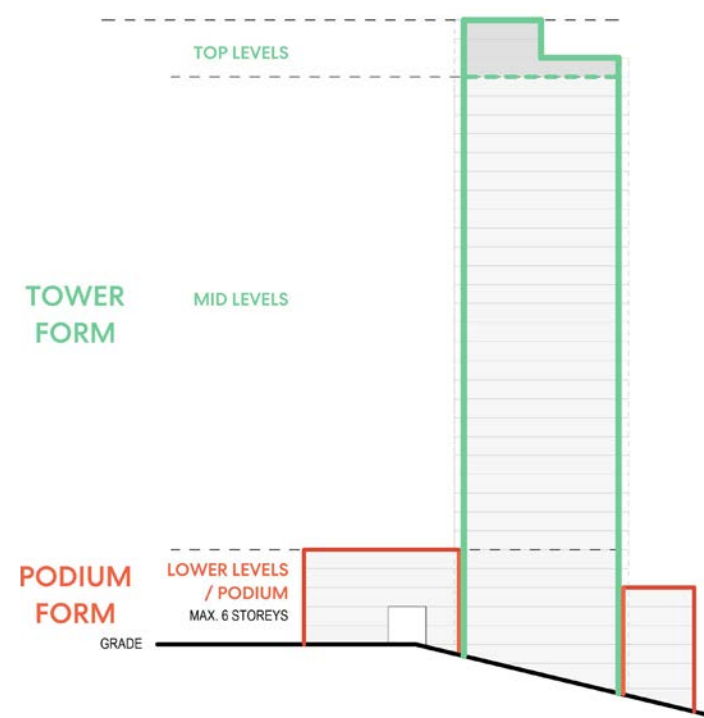
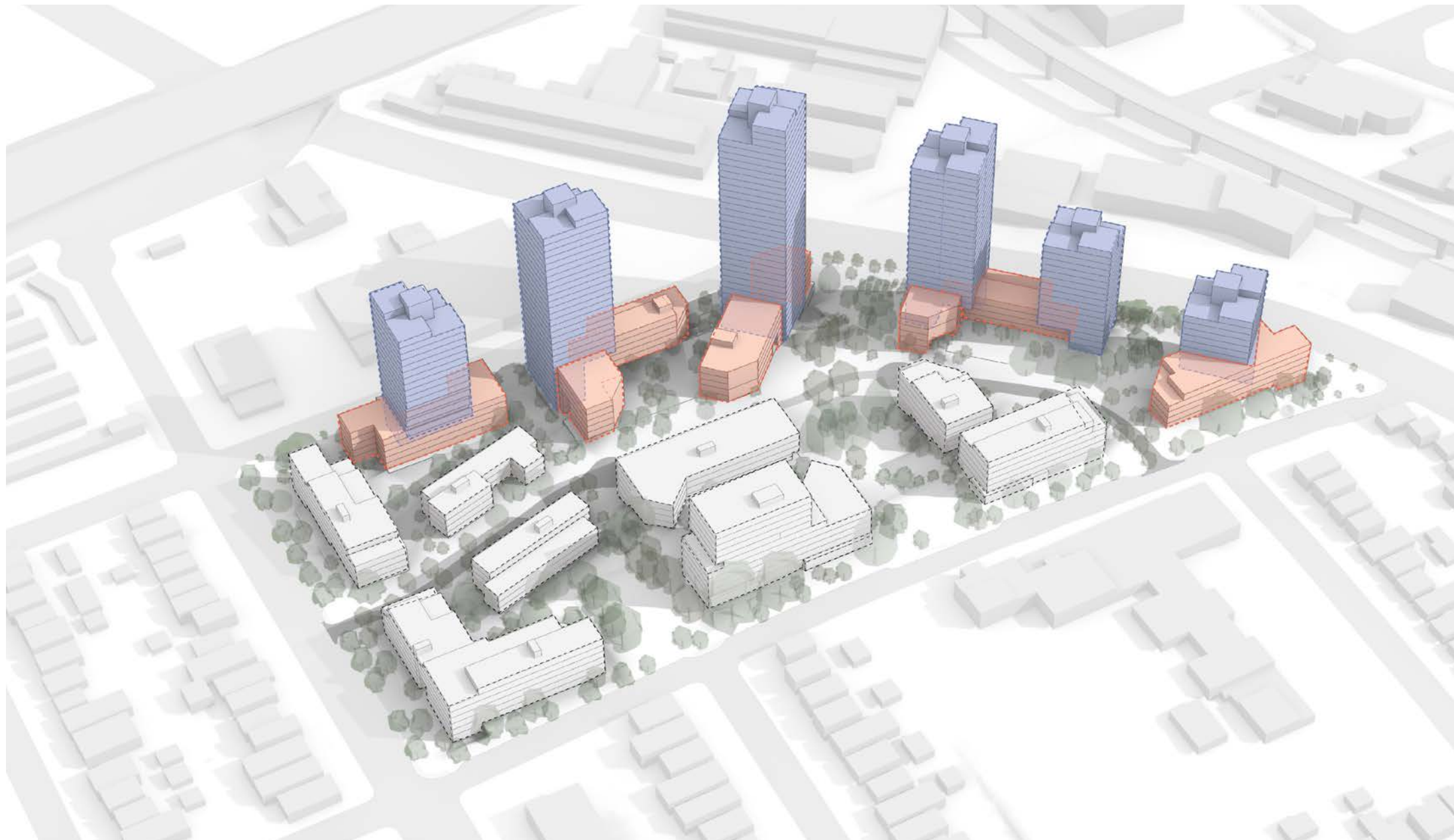
- a) Building forms should address challenging site topography by stepping slabs in line with natural grade.
- b) Buildings should also be sited to conceal significant grade changes and offer residents an accessible path to bridge sloping terraces.

c) Special consideration should be given to corner sites or sites that flank streets and public open spaces to ensure an engaging building face is established.

d) Connecting elements such as walls and bridges between buildings should be avoided; however, pedestrian portals providing connections through buildings B, D1, and D2 are generally supported.

e) Taller buildings should have a clear hierarchy of base, middle, and top elements with a clear expression of the base and entry.

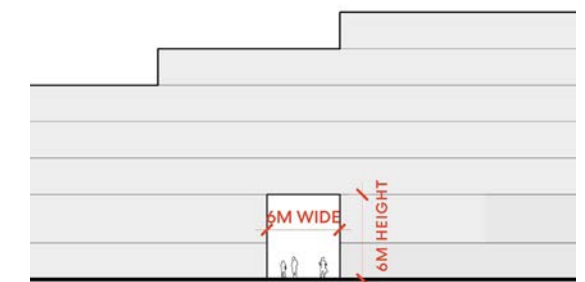
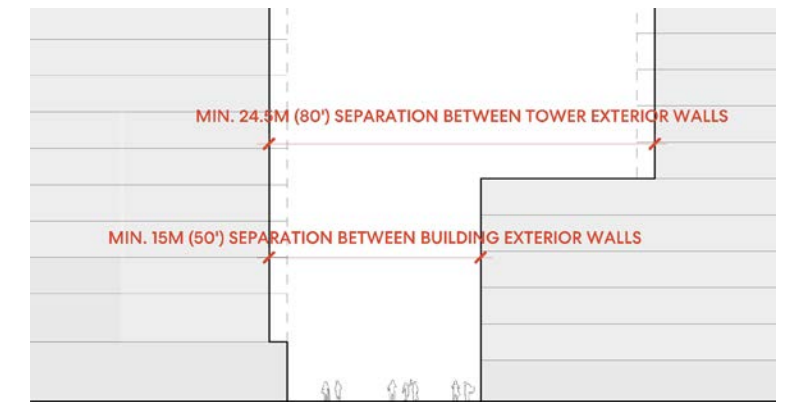
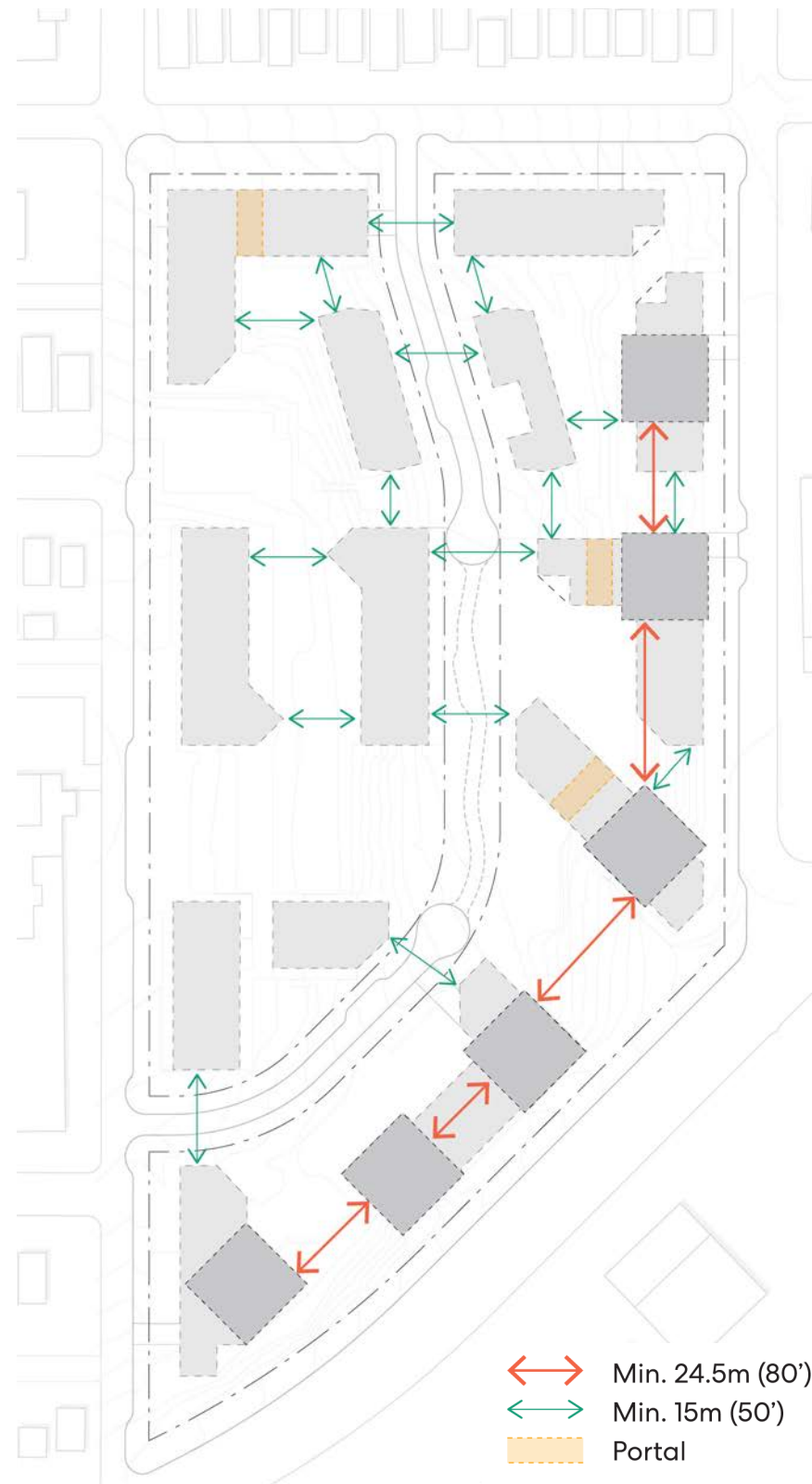
f) Towers should consider a step back from podium edges; however, on street facing elevations, a tower may be expressed to grade provided an exceptional architectural expression and improvement to the public realm are proposed.



4.11 Building Separation

In order to create an experience of interconnected and activated open spaces with clear sight-lines, a generous public realm, and ensure livability in units, the approach to building separations follows a prescriptive framework. This ensures adequate separations of towers and built form to ensure access to daylight, views, privacy, desirability of neighbourhood rooms as gathering spaces, and flexibility and connectivity in the circulation network between and through buildings. The following separation distance framework ensures buildings achieve these objectives:

- a) Towers have at least 24.5m (80ft) of separations between them, including with potential future towers. This approach allows greater views in and out of the site, and ensures the public realm spaces have good solar exposure year-round.
- b) Mid-rise buildings and podiums have a minimum of 15m (50ft) separation between them when units are outward facing, or face each other along a shared facade.
- c) Pedestrian portals are proposed in several locations as tertiary connections through buildings that provide smaller, weather protected movements through the buildings and in between neighbourhood rooms. Their width is a minimum of 6m (20ft) while having a minimum height of 6 m to ensure clear sight-lines between rooms, intuitive wayfinding, and providing a sense of safety and security.
- d) Each portal is expected to provide a welcoming expression that should include feature lighting, high quality material treatment of all exposed surfaces, as many doors and windows as possible to increase 'eyes on the street', opportunities for public art, and other pedestrian amenities as appropriate.

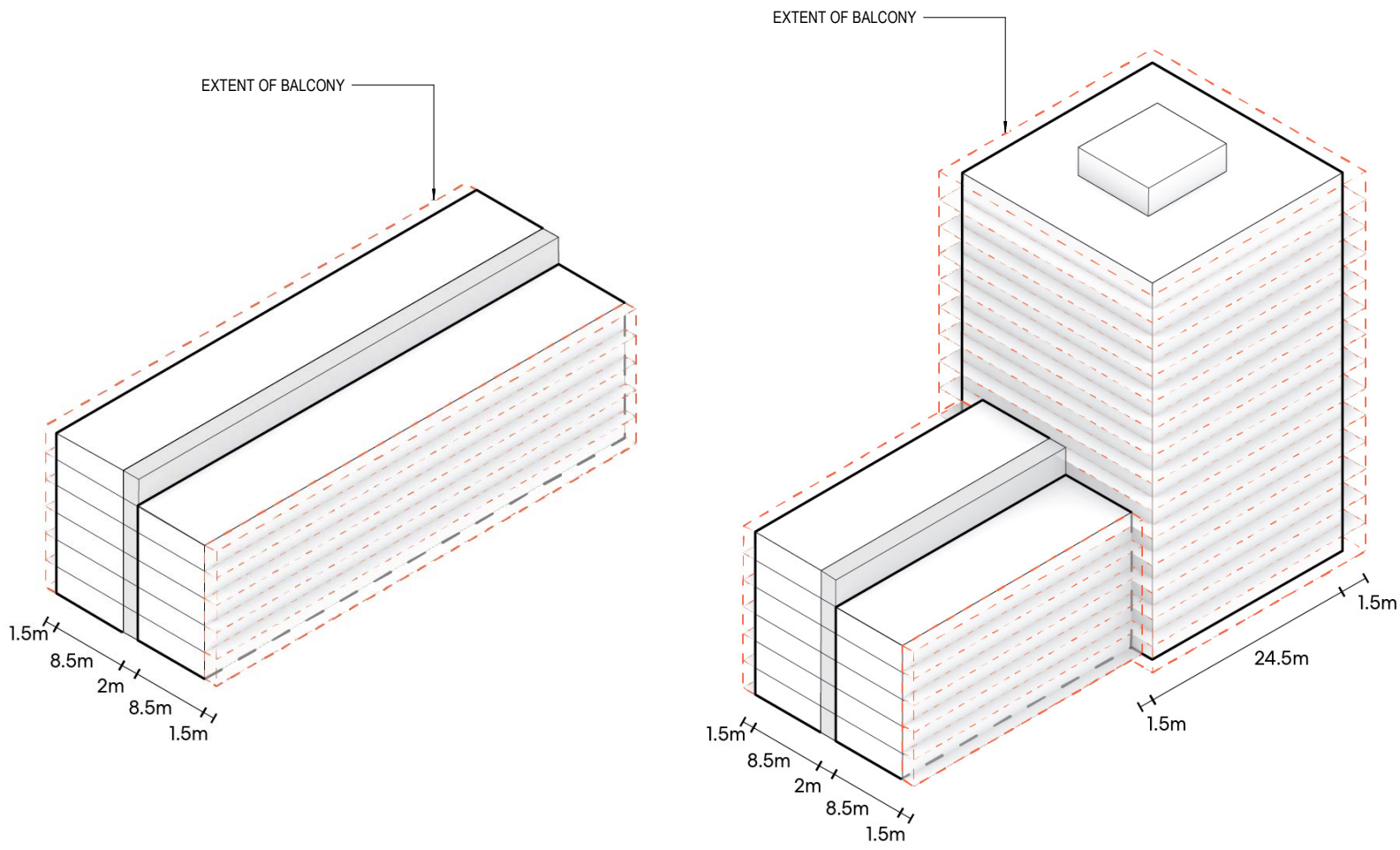
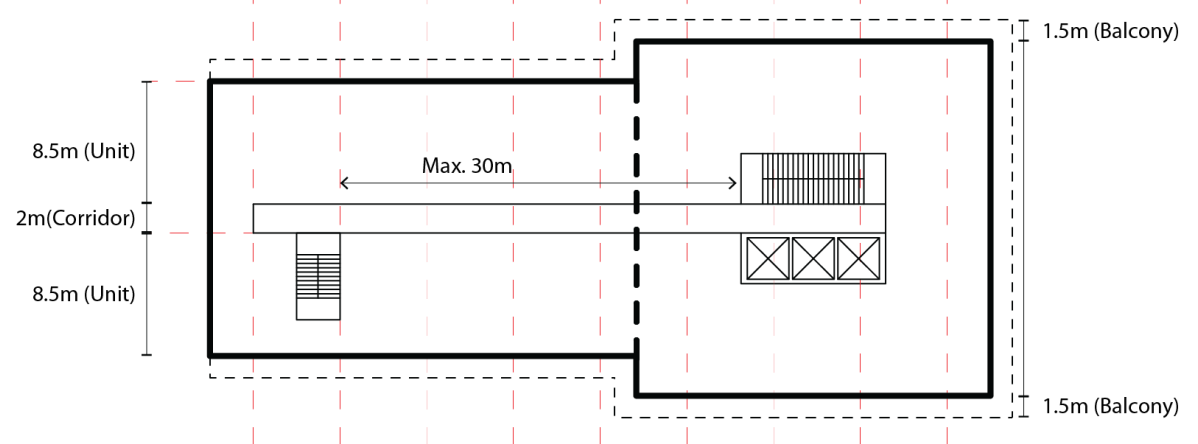
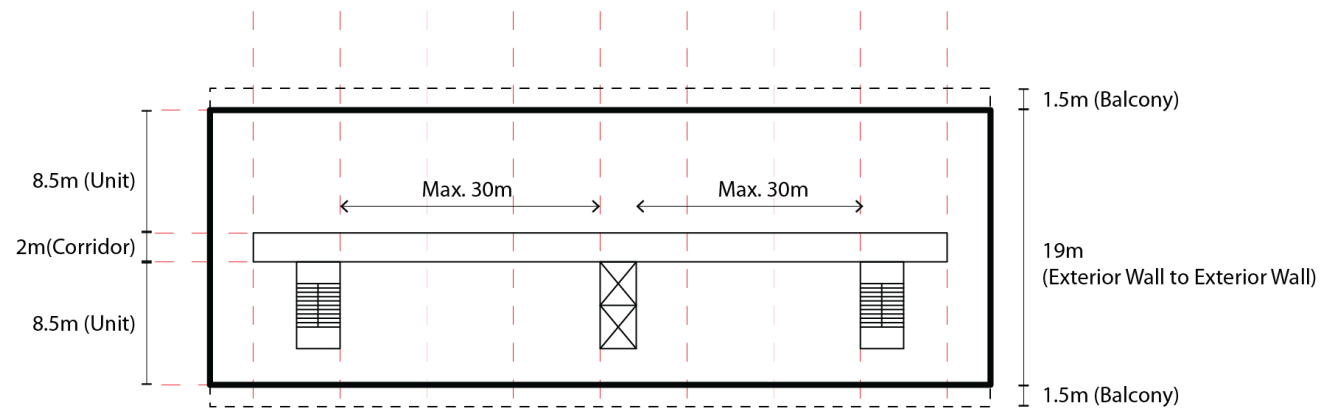


4.12 Building Planning and Form

Following BC Housing Design Guidelines, mid-rise buildings and podiums adopt a double-loaded form that allows 19m (62ft) in building width from exterior wall to exterior wall (8.5m (28ft) for unit depth on each side and 2m (6.5ft) for corridors), plus 1.5m (5ft) for balcony depth on each side. Location of stairs and elevators should follow the City and Provincial building codes and BC Housing standards.

Tower forms above the podium should achieve the following:

- a) Floor plate sizes up to 604 sq. m (6,500 sq. ft.).
- b) The tower floor plate should generally have a maximum dimension of 27.5m (90ft) and present a slender and vertically expressed form to ensure greater openness to the sky.
- c) Upper levels of a tower should provide a visual terminus from street level and when viewing the tower from a distance.



4.13 Relationship to Grade

At grade uses and treatment should reflect the varying character of adjacent streets: Lougheed Highway to the south, employment uses to the east, Thunderbird Elementary and Community Centre to the west, and lower density residential to the north. The transparency or opacity of the ground floor, materiality, weather protection elements, and access between exterior and interior are all calibrated to the context of each edge. Buildings should present an activated and inviting edge to streets and public open spaces, prioritizing local serving retail uses, community gathering spaces, live-work units, and resident amenity spaces.

Parking access ramps should be integrated into the building form and open ramps are discouraged. While the parking structure may be slightly above grade (max 0.6m (2 ft)) in certain instances due to challenging site topography, it should be set back from property edges and incorporated into landscape elements. Continuous parking structures should not be evident above grade.

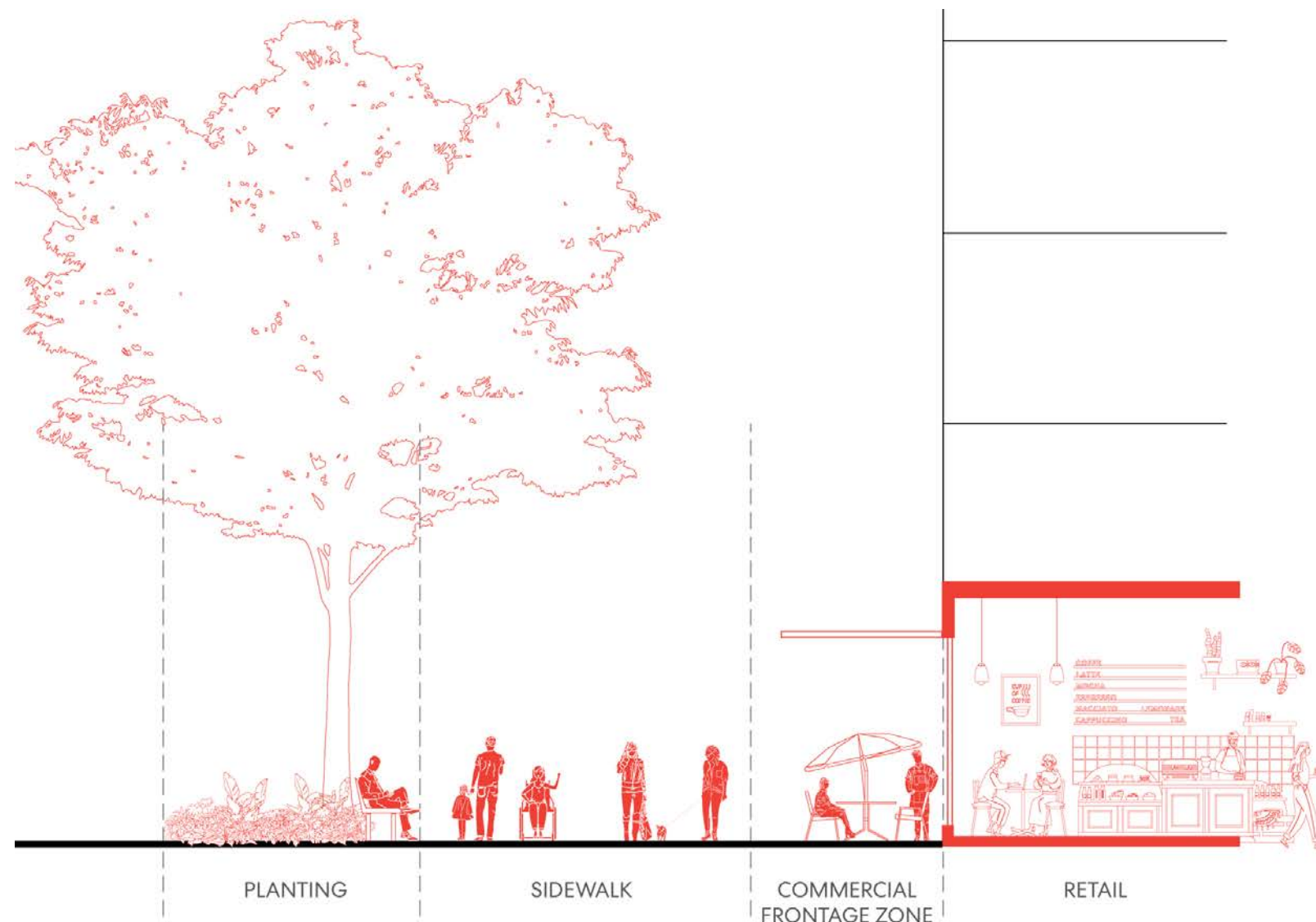
Residential Interface

- a) Main entrances should orient to the street and be clearly visible. Lobbies should aid in the animation of the public realm and all elevations facing streets or public open spaces should be designed as a “front”.
- b) All other interfaces should provide direct access to ground-level units with welcoming entries including individual front doors, entry porches and steps, landscaped patios that enhance privacy, lighting and front-facing living room windows.
- c) Where at-grade dwelling units are proposed, the first floor of the building (depending on existing grade) may be raised up to a maximum 0.9 m (3 ft.) from adjacent grade to allow for delineation of the public and private realm and to accommodate a front patio/entrance.
- d) No dwelling unit should have a finished floor elevation located more than 0.6 m (2 ft.) below adjacent grade.



Commercial Interface

- a) Building design can assist in the viability of retail space by providing generous interior heights. A minimum height of 4.5m (15ft) and preferred 5.2m (17ft) from floor-to-floor is desired for the ground level of buildings where at-grade commercial use is proposed.
- b) Ground floor active commercial entrances should be clearly recognizable and delineated with architectural features and fenestration patterns that emphasize a scale appropriate for neighbourhood serving retail to animate the street and provide access. Commercial uses should wrap flanking streets or open spaces where appropriate.
- c) Commercial frontages should reinforce the scale and character of a pedestrian shopping street and strengthen the connection between interior and public realm. As such, commercial frontages, including entrances, should be transparent.
- d) Wherever possible, a minimum of 10m (33 ft) interior depth for commercial spaces should be provided in addition to required commercial servicing and circulation.
- e) In mixed-use areas continuous weather protection should be integrated along facades facing the public realm and streets. Weather protection should be appropriate in scale and consistent with the building typology and is recommended to be a minimum 1.8m (6 ft) deep, and at approximately 2.7m (9ft) above grade with depth increasing proportionally to a maximum of 3.7m (12 ft) above grade. Variation may be considered where necessary to support the retention of mature trees.
- f) Residential lobby entrances within a commercial district should be visible and differentiated from the commercial frontage, but should not create a large gap in the commercial continuity.



4.14 Flood Mitigation

Grade along the entire property line fronting Skeena Street varies from north to south, between 20-22m above sea level, which is below the required Flood Construction Level (FCL) of 23 m for the eastern half of the site. Strategies to animate the public realm interface along Skeena Street are expected. These strategies are crucial to ensure an active and welcoming public realm interface along Skeena Street while also complying with the minimum FCL requirement for uses permitted below the required elevation.

Certain building programs currently proposed will require relaxations to the Flood Construction Level requirements. Some of the proposed uses include retail, lobby, amenity spaces and bike parking. Entrance lobbies and direct entries to bike storage areas should have a visual connection to the street to ensure intuitive way finding and provide passive surveillance of the street for safety and security. The buildings and other attractive landscape elements should create the street edge and not retaining walls and ramps.

a) Ensure commercial, amenity, and lobby uses on ground floor along Skeena have mechanical, plumbing, communication, and electrical services higher than 23m where possible, with surge protection, elevated junction boxes that permit easy replacement, and other technical measures employed when services must drop lower.

b) Provide flood-proof elevators in buildings along Skeena Street (buildings A3, D1, D2).

c) Provide waterproofed wall skirting and flood-barrier capable openings on ground floors of these buildings (except parkade).

d) For retail spaces along Skeena Street create flexibility in use for social enterprise to mitigate marketability risk.

e) Open up bike storage rooms to the street along Skeena to activate the streetscape.

e) Ensure redundancy in building access and adherence to code requirements for egress considering possibility of lower entrance being affected by flood events.

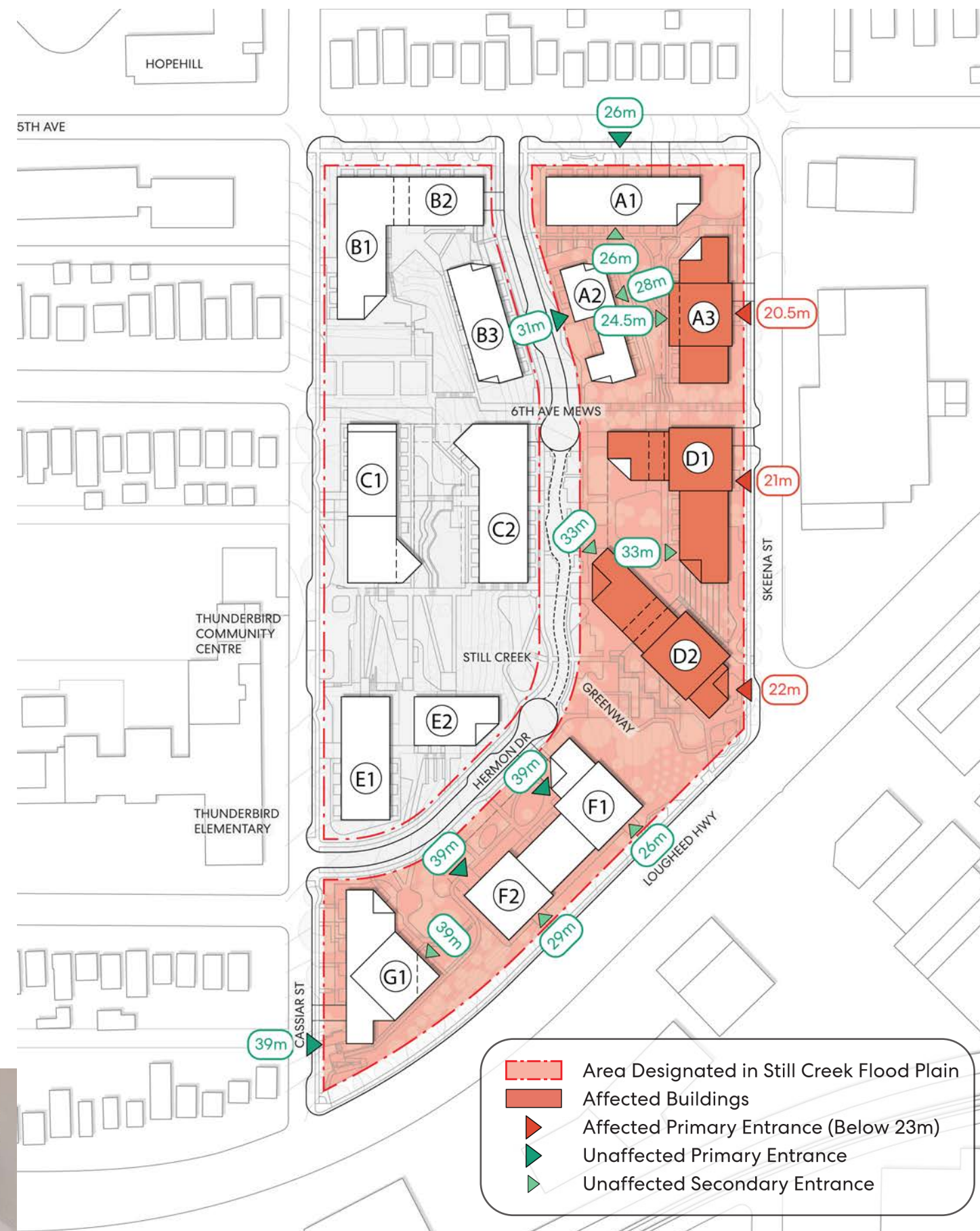
Secondary Building Access/Egress

Buildings highlighted in red (A3-D1, D2) along Skeena Street have finished ground floor elevations below the 23m FCL, and should have secondary access points above the FCL that connect the buildings to Neighbourhood Rooms (interior courtyards) and the pedestrian path network on the Hermon Drive side of the buildings. The design ensures redundancy in building access and adherence to code requirements for egress, considering the possibility of the lower entrances being affected by flood events.

The red triangles on the plan represent the finished floor elevation at the street level, which serves as the proposed primary entrance lobby from Skeena Street. The black triangles indicate compliant heights for secondary access/egress from Neighbourhood Rooms that connect to the pedestrian path and Hermon Drive.

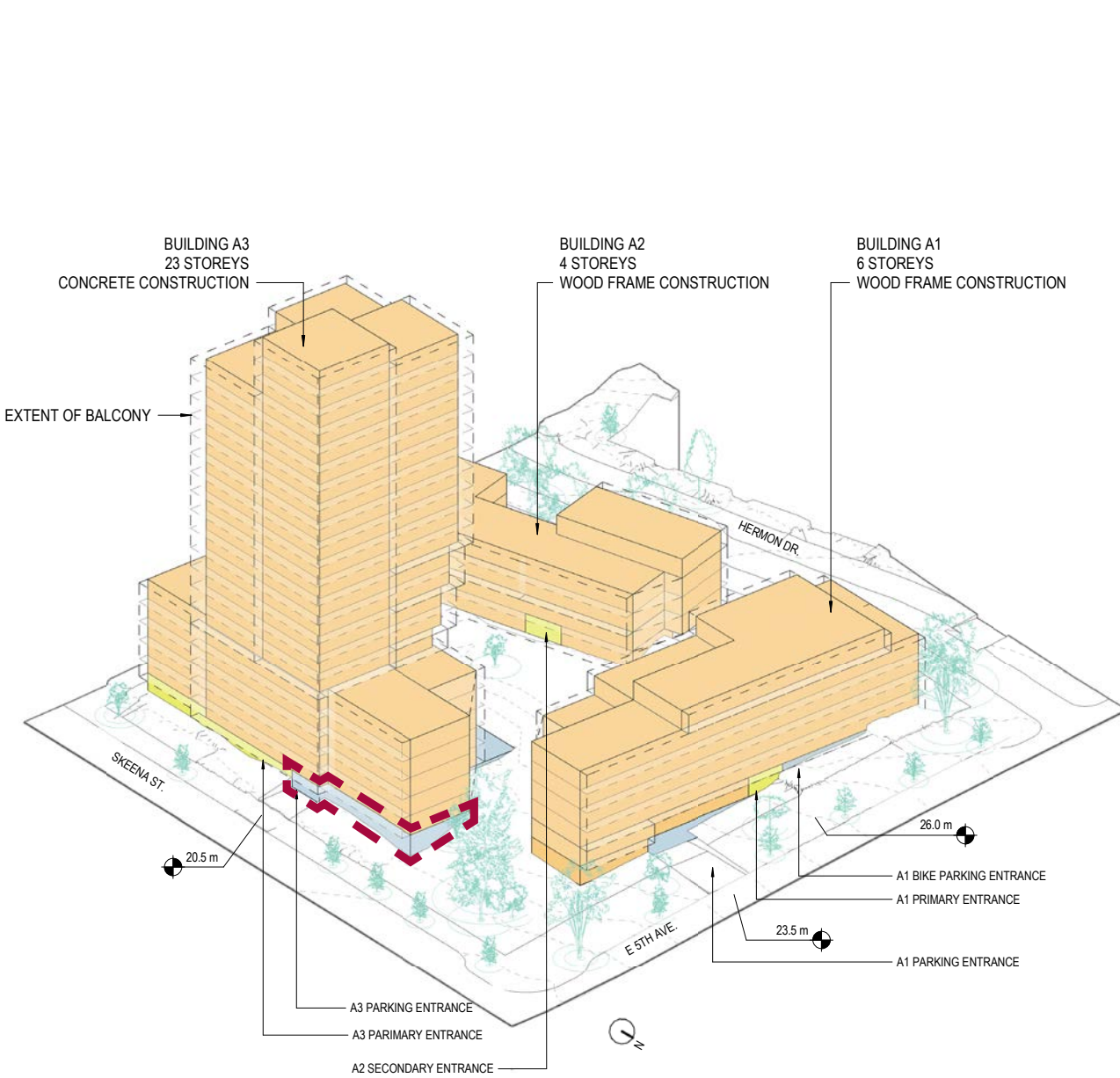
The aim is to maintain universal accessibility to the building by prioritizing the presence of a lobby at the street level and providing alternative access points. It also ensures wayfinding within the buildings to deal with flood mitigation for possible flood events.

With a DP application involving any of the impacted buildings, a flood mitigation report prepared by a qualified engineer is to be submitted, along with any other reports required by the Chief Building Official. Only the Chief Building Official has the authority to relax Flood Construction Level requirements in Designated Floodplains and as part of any potential relaxation, covenants may also be required as determined by the Chief Building Official.

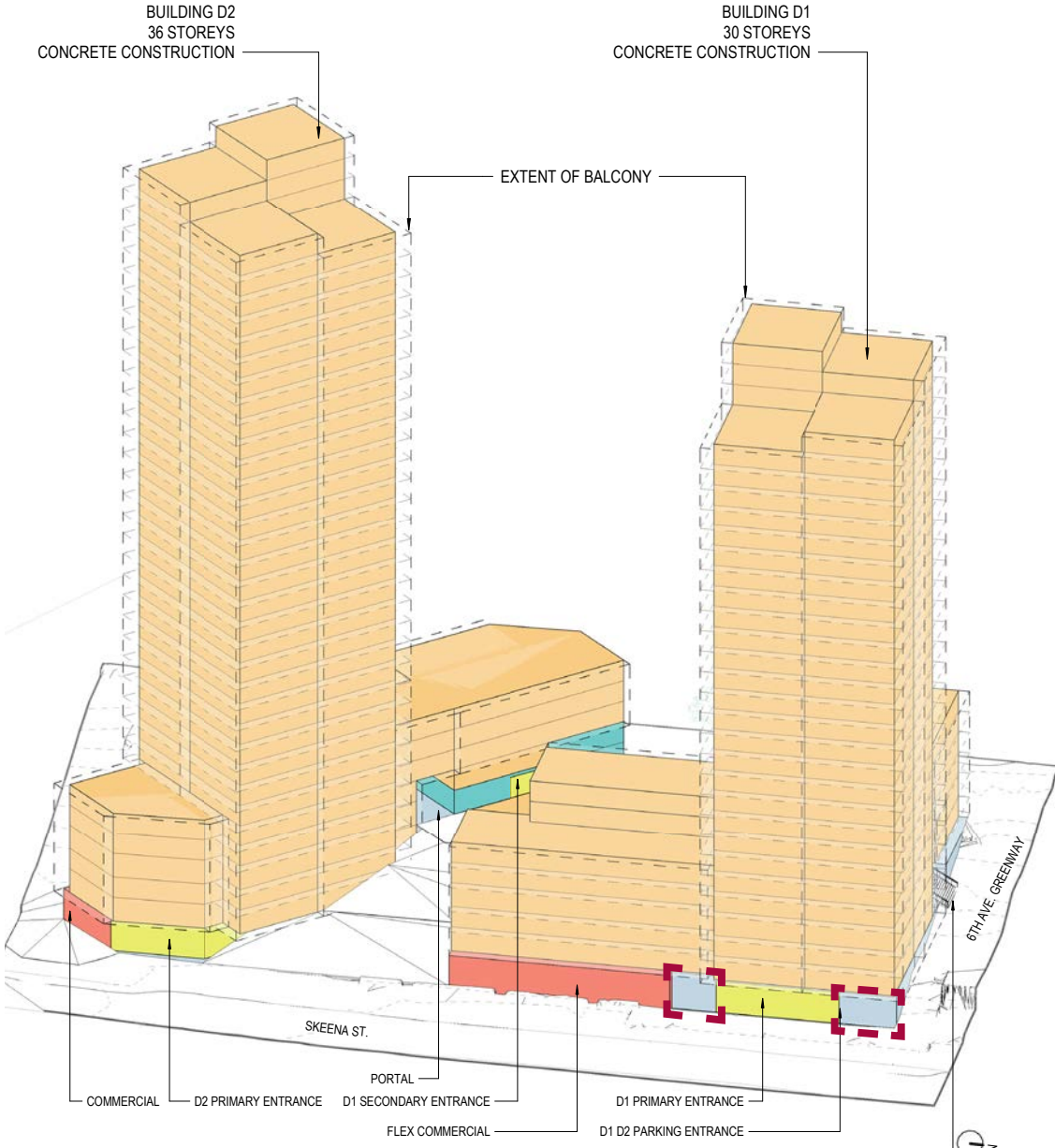


Bike Storage to Activate Skeena Street Frontage

In order to achieve effective urban design, it is essential to have vibrant street frontages that are activated with various activities and amenities. In addition to placing lobbies, amenity spaces, and commercial along Skeena below the FCL, bike storage rooms are also oriented along Skeena as it is planned as a future bike lane corridor. To create a welcoming public realm interface along Skeena Street, the bike room facades will be glazed, providing views towards Skeena Street and incorporating separate bike-dedicated entries from street level with weather protection.



Parcel A



Parcel D

- RESIDENTIAL
- RESIDENTIAL LOBBY
- COMMERCIAL / RETAIL
- HUT
- DAYCARE
- PARKING
- BIKE PARKING

4.15 Livability

Accessible Movement

The outdoor accessible path network leads to all buildings on site with access to publicly accessible mechanical vertical transport along the Still Creek Greenway. Tenants can also utilize their building's elevator to access main and secondary building entrances, typically at different elevations, to bridge across significant grade changes on the site.

a) Publicly accessible mechanical transport will be provided as part of Phases 3 and 4, generally located along the edge of the Still Creek Greenway and fully integrated into the architectural composition and expression of buildings C1, C2 and D2.

b) This mechanical transport should be treated as an inviting public amenity including high quality material finishes, landscaping and clear wayfinding signage.

c) Public access during specific hours (ideally 24/7 access) will be secured through legal agreement.

Access to Daylight and Air

Access to natural light and ventilation affects the livability of dwelling units. Daylight for interior and exterior spaces for all dwelling units should be maximized. The main living space for each dwelling unit should face a street, rear yard, or courtyard.

a) Double-loaded corridor building typologies should not exceed approximately 21.3m (70ft) in depth (excluding balconies), to ensure adequate provision of natural light and ventilation into the dwelling units.

b) Building design should maximize units with two major exposures that face opposite directions or at right angles to each other where building typology allows.

c) Many buildings utilize stepped forms in response to significant grade change, which results in the upper levels being limited to a single loaded corridor. Design strategies should be incorporated to ensure these units are provided with a dual aspect including glazing to the shared corridor. Blank walls should be avoided.

d) Employing window types that facilitate air exchange are encouraged. Windows with openers at both a high and low level can help create airflow. Casement windows, when oriented with prevailing winds, can facilitate airflow from outside into interior spaces.

Noise Mitigation and Privacy

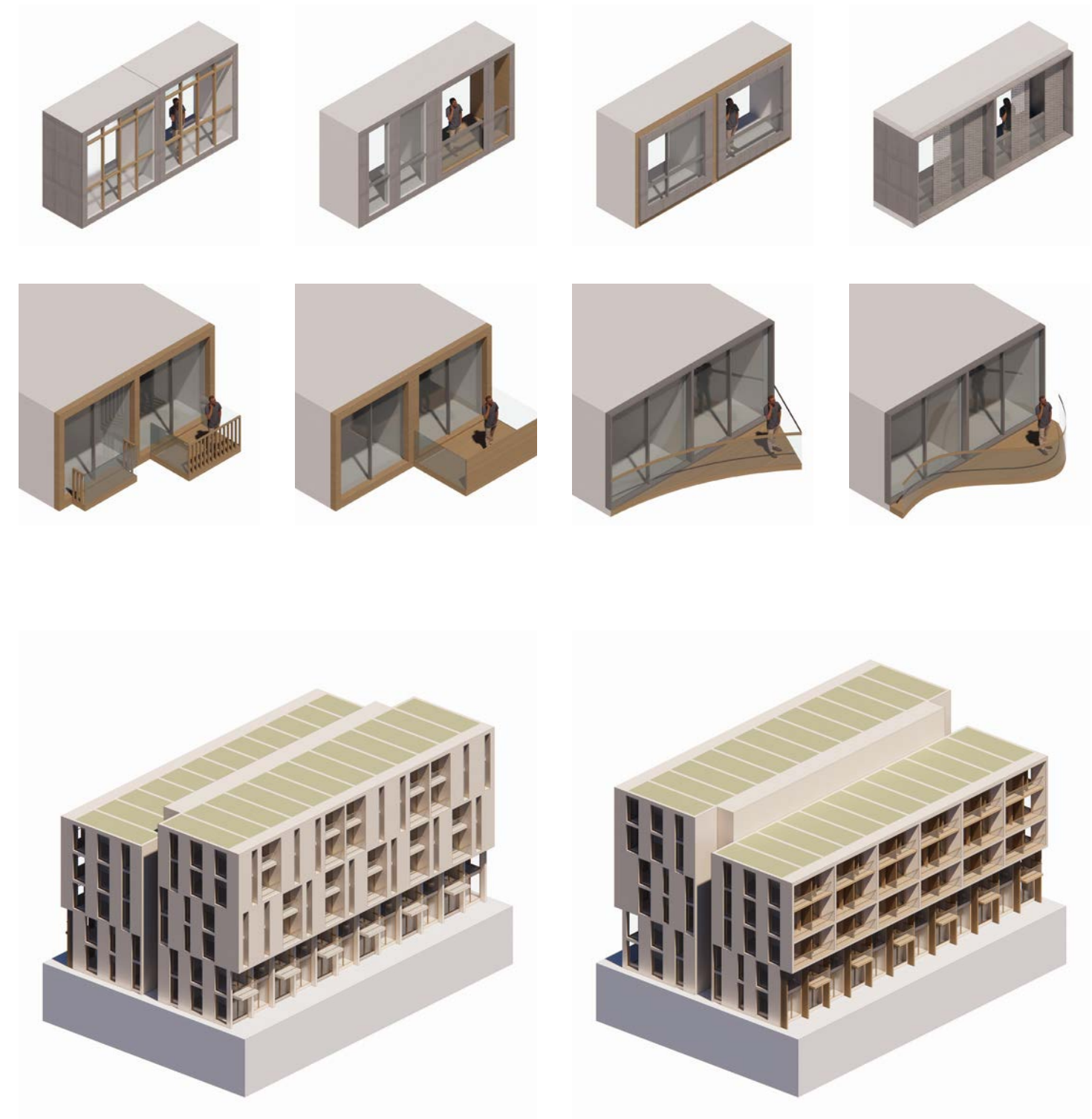
Noise from both internal and external sources can disrupt the comfort of dwelling environments. Measures should be taken to ensure that noise is minimized through design and construction methods. Acoustic studies should be provided with each Development Permit application.

The location and orientation of windows, decks, and balconies in new development should be carefully considered to reduce overlook. Visual privacy for units, balconies, and private open space should be enhanced as much as possible through unit planning, landscape screening, and other elements, such as solid or translucent railings.

a) Private outdoor space with a minimum clear dimension of 1.5 m (5 ft.) is required for each unit. A minimum of 5.6 sq. m (60 sq. ft.) of private outdoor space should be provided for units with two or more bedrooms.

b) Balconies and patios should be designed as integral parts of the building massing and façade composition and not contribute unnecessarily to building bulk and mass.

c) Inset, rather than projecting, balconies should be used where privacy of neighbouring properties may be a concern. Enclosed balconies may be considered for podium units fronting Lougheed Highway.



Window and Balcony Typologies Studies

4.16 Resident Amenities

Neighbour Spaces

Each building should include a shared indoor resident amenity space with accessible washroom and kitchenette “Neighbour spaces” should also be provided; spaces intended to serve as a suite of shared indoor and outdoor resident amenity spaces used to animate building elevations fronting open spaces and the public realm. They will include strategically located weather protected outdoor and flexible indoor spaces that are expressed as double-height when possible.

Outdoor Amenity Spaces

A portion of the outdoor amenity should be designed to support children’s play with a focus on flexible features. Natural play elements and exploratory structures are encouraged over traditional stand-alone play equipment.

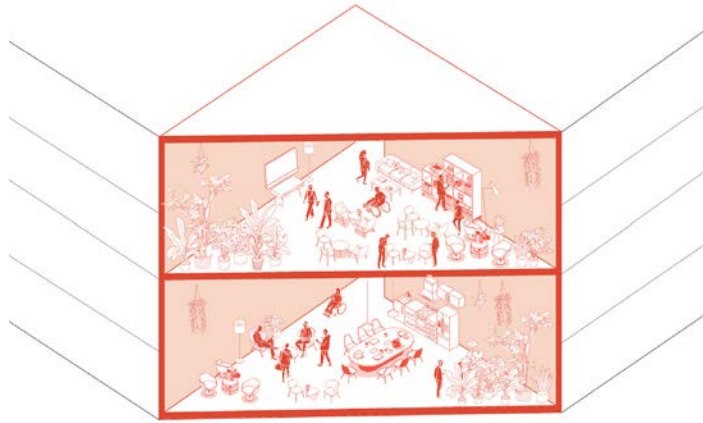
Semi-private open space should be designed as an organizing element, not as a ‘leftover’ space. Provide clear distinctions between public and private open spaces through the use of defined access points and edges, circulation systems, grade changes, and the use of plant material and architectural elements. Provide a high degree of visual, but not necessarily physical, access into private landscaped spaces (yards and courtyards) through the use of openings in the building form, iron picket fencing, overlooks, etc.

The Hut

The design of the communal amenity space, ‘The Hut’ should follow the BC Housing Design Guidelines and Construction Standards, including section 4.2: Indoor Amenity, Program and Office Spaces. The proposed amenity should have a GFA of approximately 550 sq. m (5,917 sq. ft.), with a separate entry, associated weather protected outdoor space and clear outdoor visual connectivity. Integration of indoor kitchen space and access to washroom facilities is encouraged to support community gatherings.

Lobbies & Bicycle Facilities

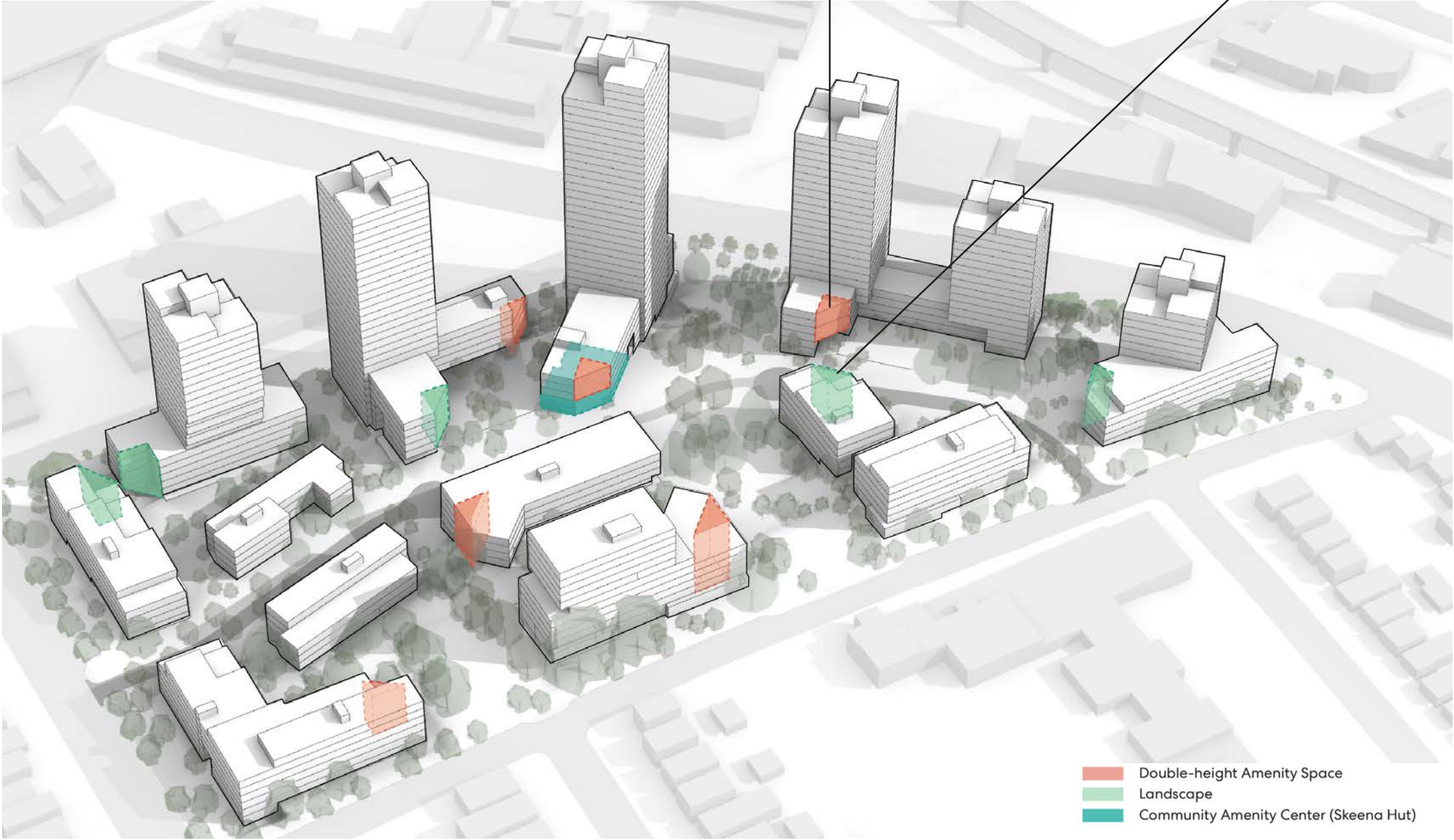
Residential lobbies can play an important role in facilitating resident interaction and should be designed to support socializing and include seating. Consider providing wash-up facilities for bicycles, pets and strollers near the lobby or in conjunction with below-grade parking and access.



Indoor Amenity Space



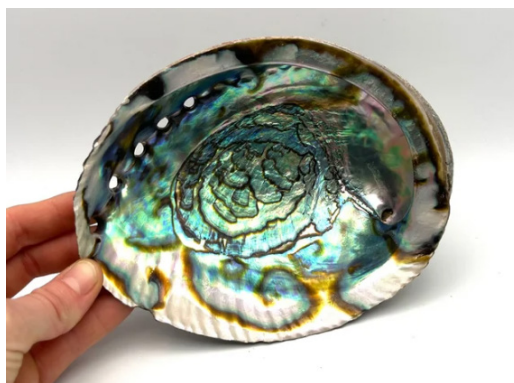
Outdoor Landscape Amenity



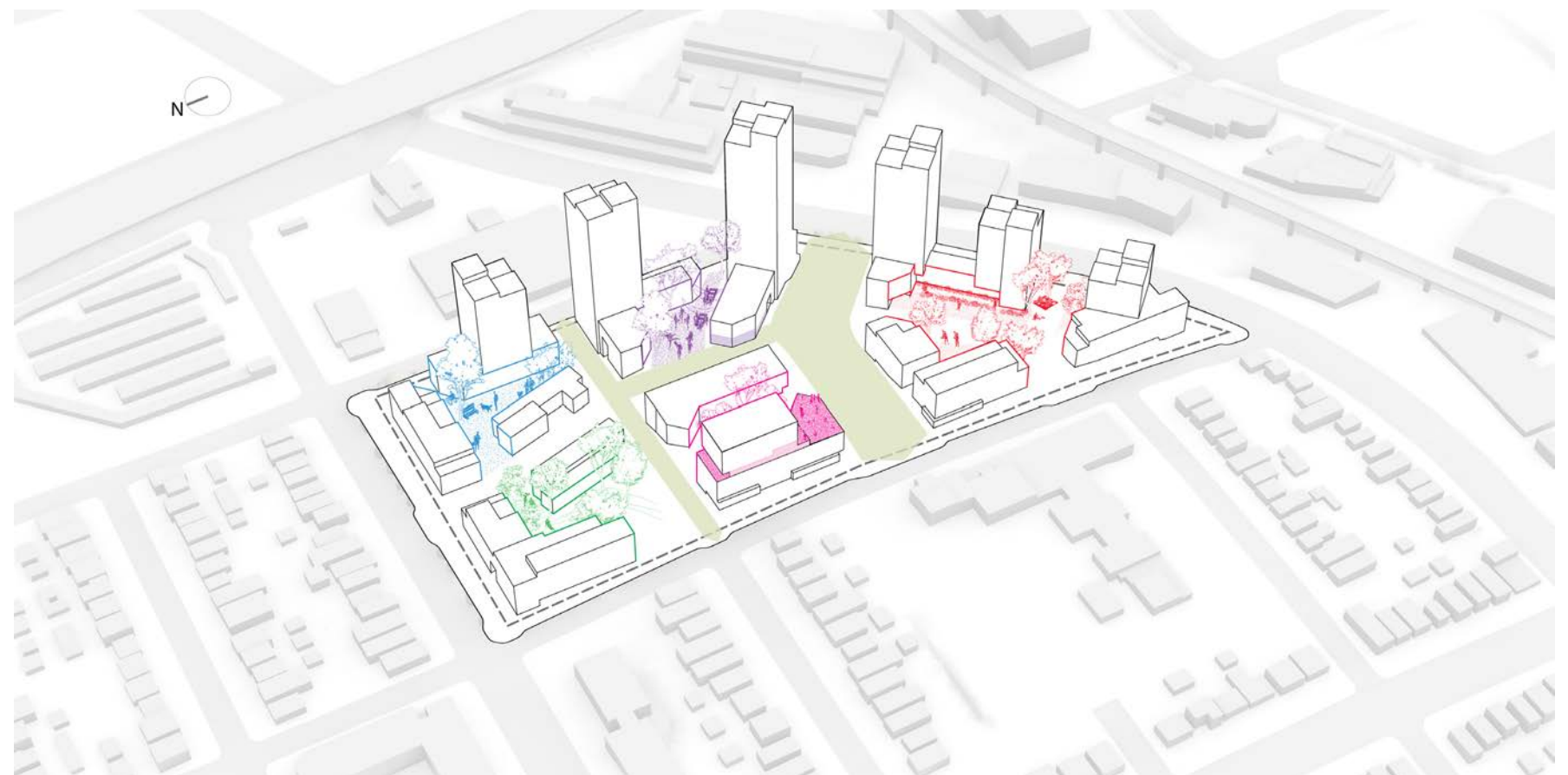
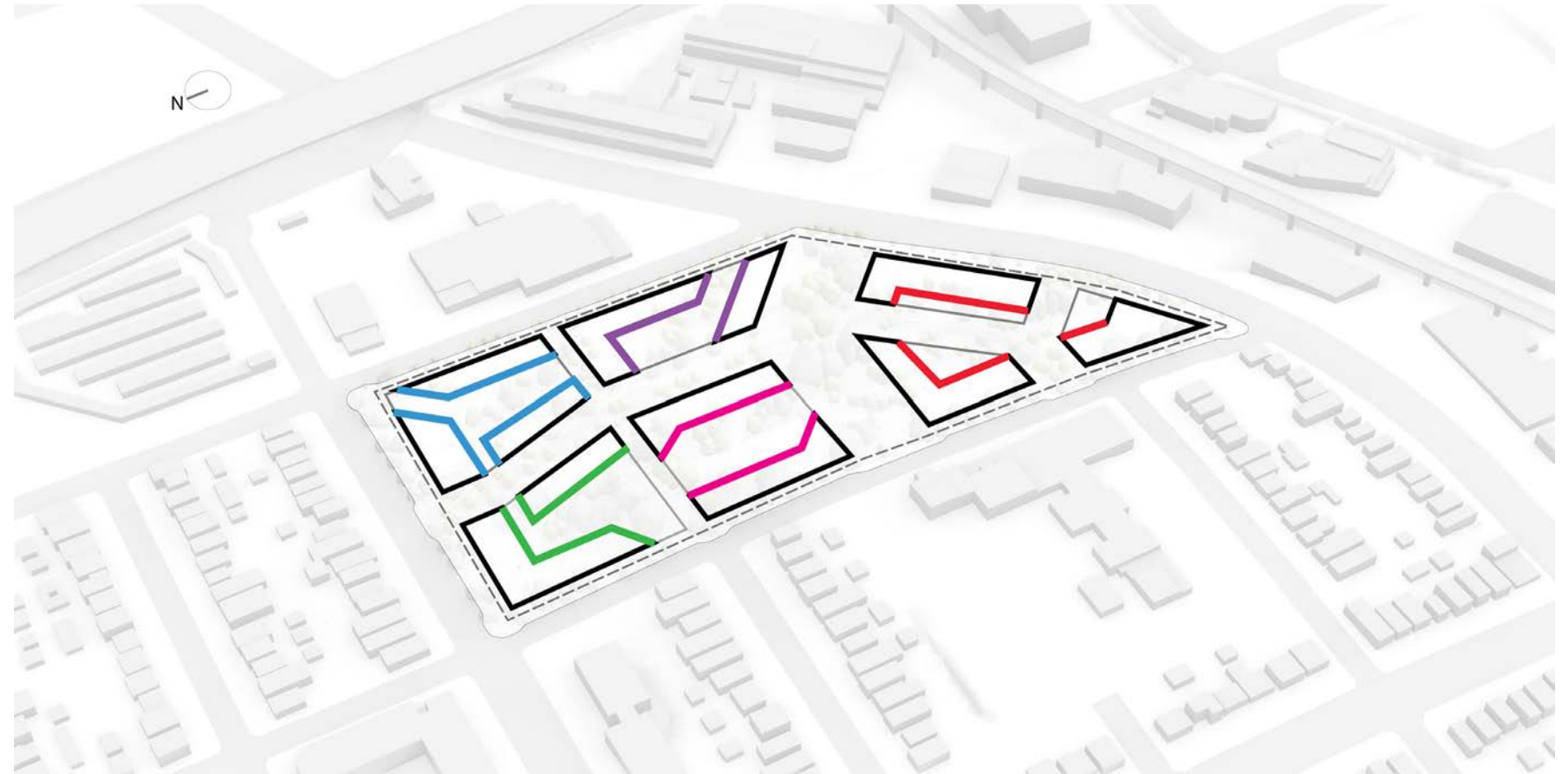
- Double-height Amenity Space
- Landscape
- Community Amenity Center (Skeena Hut)

4.17 Character and Intent of the “Neighbourhood Rooms”

The Nacre (or mother-of-pearl) concept, inspired by the iridescent material found in the shells of certain mollusks, refers to the idea of having a beautiful, intricately designed inner layer, hidden behind a simple, protective outer layer. This idea is the core concept shaping the architecture of buildings, defining the edges of different neighbourhood rooms across Skeena Terrace as something special and inward focused. While the inner facades of the buildings facing the neighbourhood rooms represent the livable spaces of a building, designed with comfort, aesthetics, and functionality in mind, the outer shell serves as a functional envelope and provides a clear, simple facade to the street. This concept allows for buildings to have a unique and eye-catching interior, while maintaining a harmonious and cohesive appearance on the exterior.



Nacres, Neighbourhood Room Concept



Neighbourhood Rooms

The outdoor living rooms in each of the parcels have a different character and experience of space, which informed its programming. The same approach of contextual responsiveness drives the approach to architectural expression.

Due to the influences of context including topography, ecology, daylight, program, and circulation, each Neighbourhood Room has a different feel and experience that is quantified in the following diagrams and informs the architecture. Some examples of this site driven approach to architecture include informing massing for daylighting and views, opacity and transparency in response to the site and neighbours, and providing activation or privacy along building edges.

Building architecture should be of its time while considering the history of the neighbourhood and surrounding context and the emerging character outlined in the Rupert/Renfrew station area plan.

Individual buildings should express a unified architectural concept that incorporates both variation and consistency in facade treatment and contributes to the unique quality of each 'neighbourhood room' identified within Skeena Terrace. Authentic and high-quality materials and design details are expected to be part of every building.



Meadow Room (Parcel A)

The Meadow is characterized by existing rolling hills in an interior courtyard with some existing trees, giving it the experience of walking through a rolling meadow. Existing low intensity light industrial buildings to the east, single family homes to the north and relatively local/quiet traffic along Skeena away from Lougheed, make this one of the quietest spots on the site. As such, the massing of buildings are lower to respond to the neighbours, but also to provide better light and views into the space at this northern edge of the site. As the room gets relatively lower solar access compared to other rooms, the proposed materials palette is lighter and warmer. A connection to the 6th avenue mews will result in circulation that gives the experience of strolling through a quiet meadow. Buildings are separated by trees and affords facades with a higher degree of transparency facing into the room, with unit balconies and ground oriented units spilling out to activate the interior edges.



Rolling Hill Room (Parcel B)

Much like the Meadow, Rolling Hill is a parcel dominated by its existing landscape that will mostly be maintained. It is characterized by a single large slope through its interior courtyard with retained mature trees. This extreme topography results in the concentration of usable outdoor spaces along the buildings in the northeast corner and a sports court at the upper level of the slope in the southwest corner, screened from units by trees.

Single family homes are located to the north and west with massing of buildings maxed-out at six storeys to respect the neighbours. The room gets relatively higher solar access compared to other rooms, so south and west facing facades will require shading and/or greater opacity in addition to the trees with a materials palette that is cooler. As circulation through the room is challenged by the slope and the buildings are screened from one another by trees, units facing the room feel private and afford a higher degree of transparency and outdoor connection.



Terraces Room (Parcel C)

The Terraces room is characterized by a linear outdoor space that will be highly activated by through circulation, adjacency to the community center, school, public plaza, greenway, childcare, and retail uses. As a high traffic and somewhat compressed open space, the buildings respond by placing activated uses around the majority of the ground floor level including lobbies (tenant and childcare), tenant amenity spaces, and retail. As the room name denotes, there is a drop in elevation between terraces in the interstitial space between the buildings.

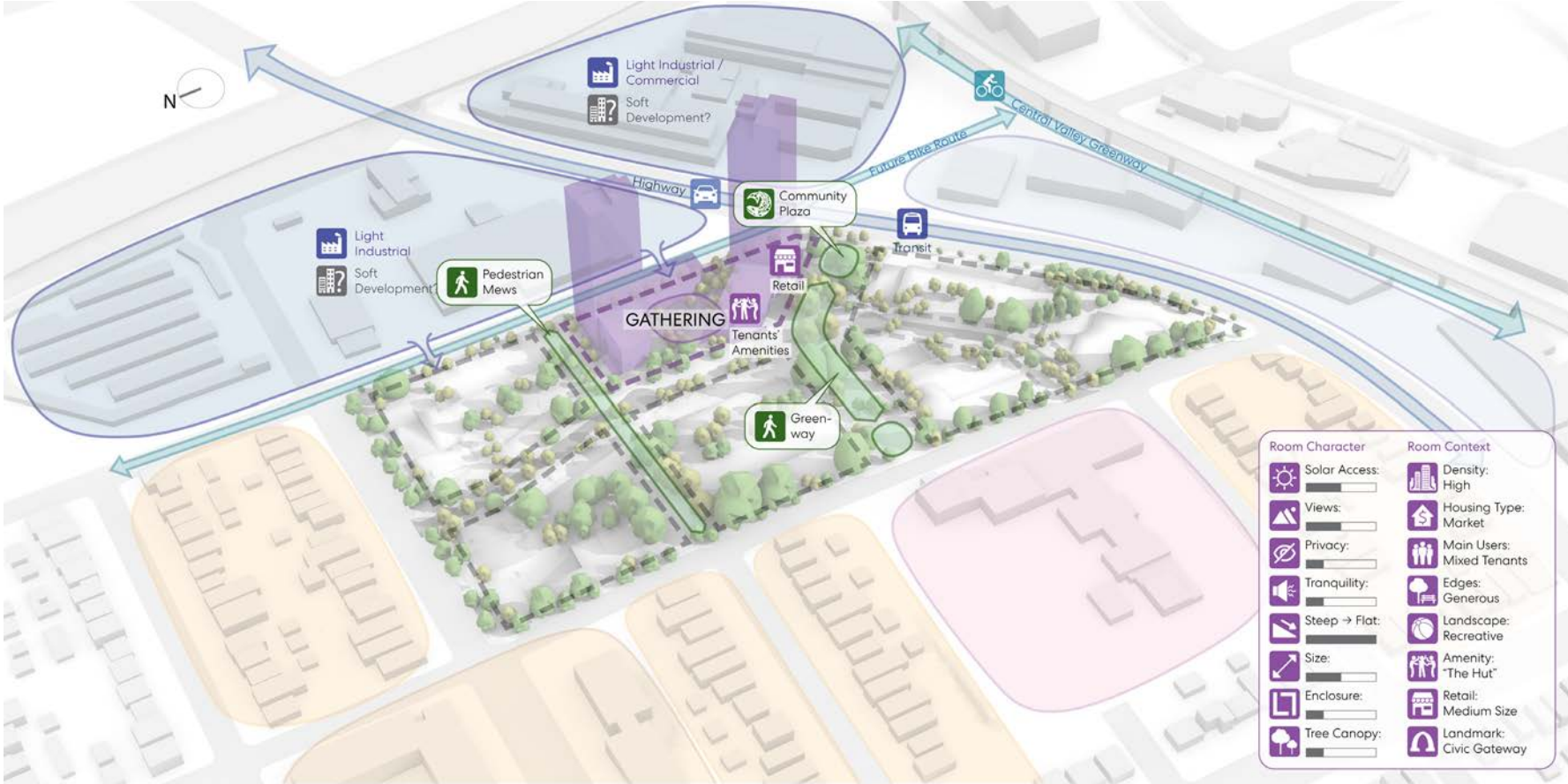
Due to its higher level of activation, the ground level is primarily transparent and deploys weather protection elements towards streets and open spaces. Above the units are clad in relatively more opaque treatments for privacy and noise mitigation. There is also a more durable and civic materials palette to account for greater pedestrian traffic and activated uses around the buildings. The childcare portions of the building will be highlighted architecturally, as a signifier of its presence to the neighbourhood.



Gathering Room (Parcel D)

The Gathering room lends itself to high degree of activation through its large flat area for staging recreative or community activities, and the presence of the Skeena Terrace Hut. The “Hut”, as it is known by current residents, is a tenant amenity facility for gatherings and events available for a variety of programming and the ability to spill out into the public realm for larger community events. The larger scaled buildings around this room are contextually sensitive placing taller towers away from lower density neighbours, minimizing afternoon shadows across the site, positioned to respond to Lougheed and light industrial areas east, and providing building stock to support the large flat open space, Hut, and public mechanical vertical transport for the Greenway.

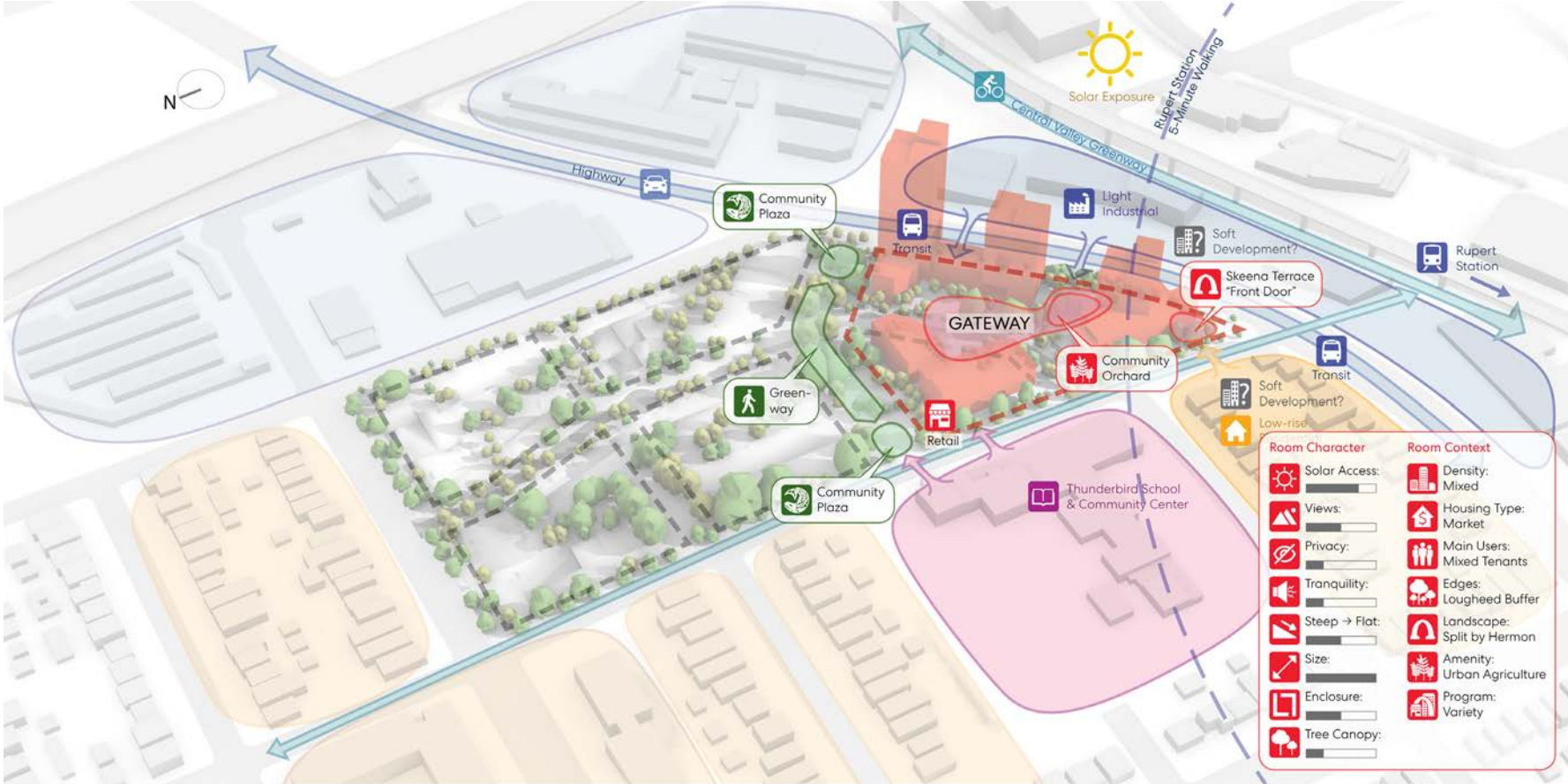
The ground level treatment of the Hut is highly transparent and outward facing, welcoming and visually connects to the public realm. This includes weather protection and the ability to open the facility to exterior. Units bordering the open field space will be semi-screened to provide some privacy, with buildings employing a materials palette of bright and warm tones to respond to relatively lower levels of daylighting compared to other rooms.



Gateway Room (Parcels E, F & G)

At the southwest corner of the site is the main point of arrival onto the site from Rupert SkyTrain Station. The Gateway room includes larger scaled buildings that are contextually responsive, placing taller towers to minimize shading on the school and playground, buffer Lougheed from the core of the site, and acting as a visual gateway to City of Vancouver. The room is unique on the site, as it combines three open spaces associated with each building, and separated by the Hermon Drive right-of-way, to create a larger consolidated room framed by the surrounding buildings. The Gateway room includes great solar access and is programmed with urban agriculture elements, threaded along the pathway as it moves towards the existing Memorial site.

The Gateway will have a high degree of pedestrian traffic and where pathways into the site pass in front of buildings, resident amenity programs and entries front the paths to activate the building facades, combined with private unit patios. Lougheed facades benefit from a combination of vegetation forming a green buffer for road noise and visual impact, with more solid material treatments for sound absorption and privacy. Units facing in to the Gateway room or along the Greenway have longer vistas across the open spaces, and a high degree of transparency is warranted with balconies overlooking the space. Solar access is good, so a cool and neutral material palette is appropriate.



4.18 Architectural Expression

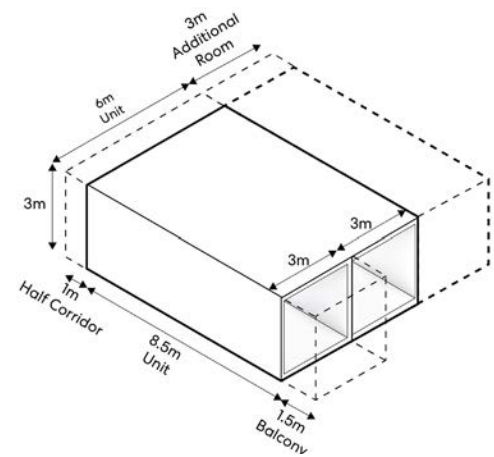
Modular Architectural Expression

Modular design refers to buildings or structures that are composed of standardized units or modules. These modules can be combined in various ways to create a design, allowing for flexibility, efficiency, and cost savings. The benefits of modular design include reduced construction time, reduced waste, improved quality control, and increased sustainability. Aggregation patterns are the arrangement of modules to form a complete structure and can vary from simple

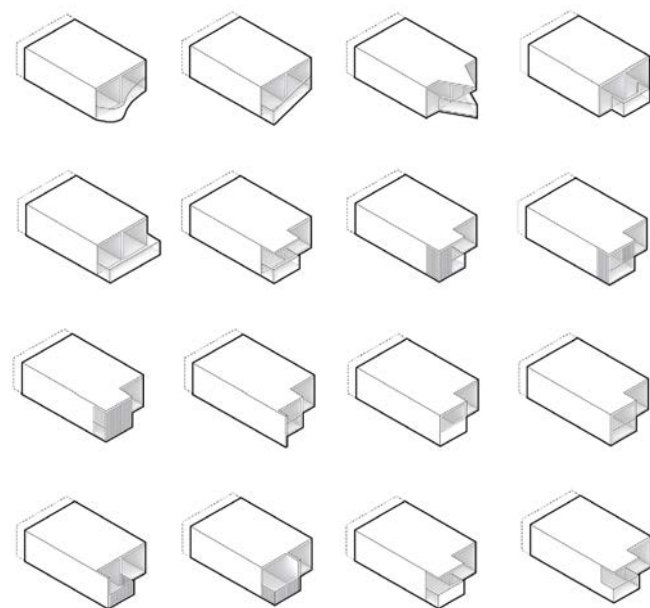
linear arrangements to more complex patterns, and determines the overall form and spatial organization within the building.

The use of modular construction is encouraged; however, careful design consideration is needed to avoid overly repetitive building facades that do not respond to local character and context. This is particularly important for larger scale buildings and articulation strategies should be demonstrated where a building proposes modular construction methods.

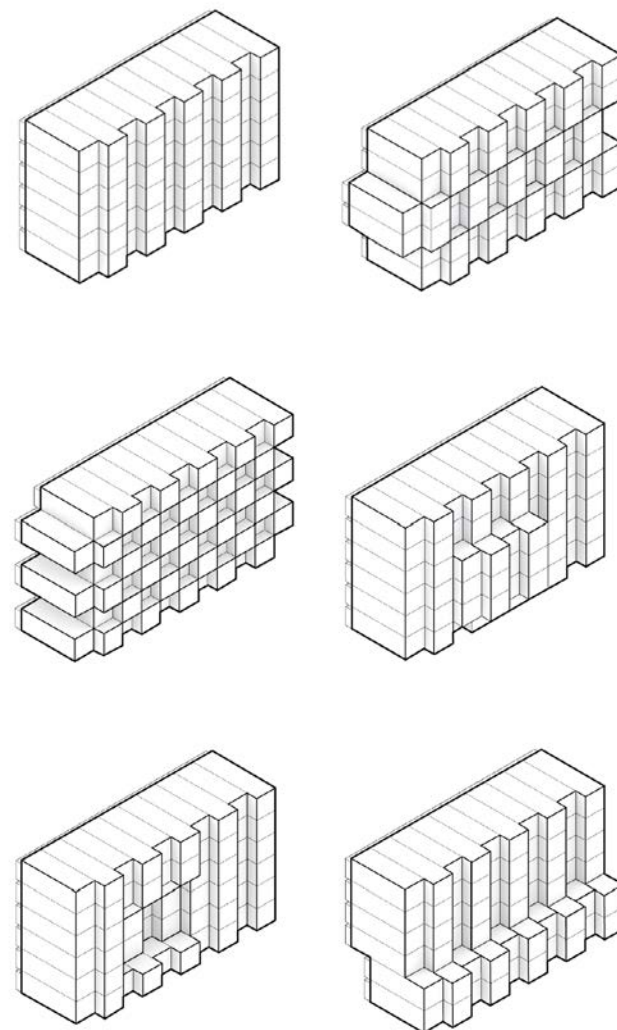
Single Module



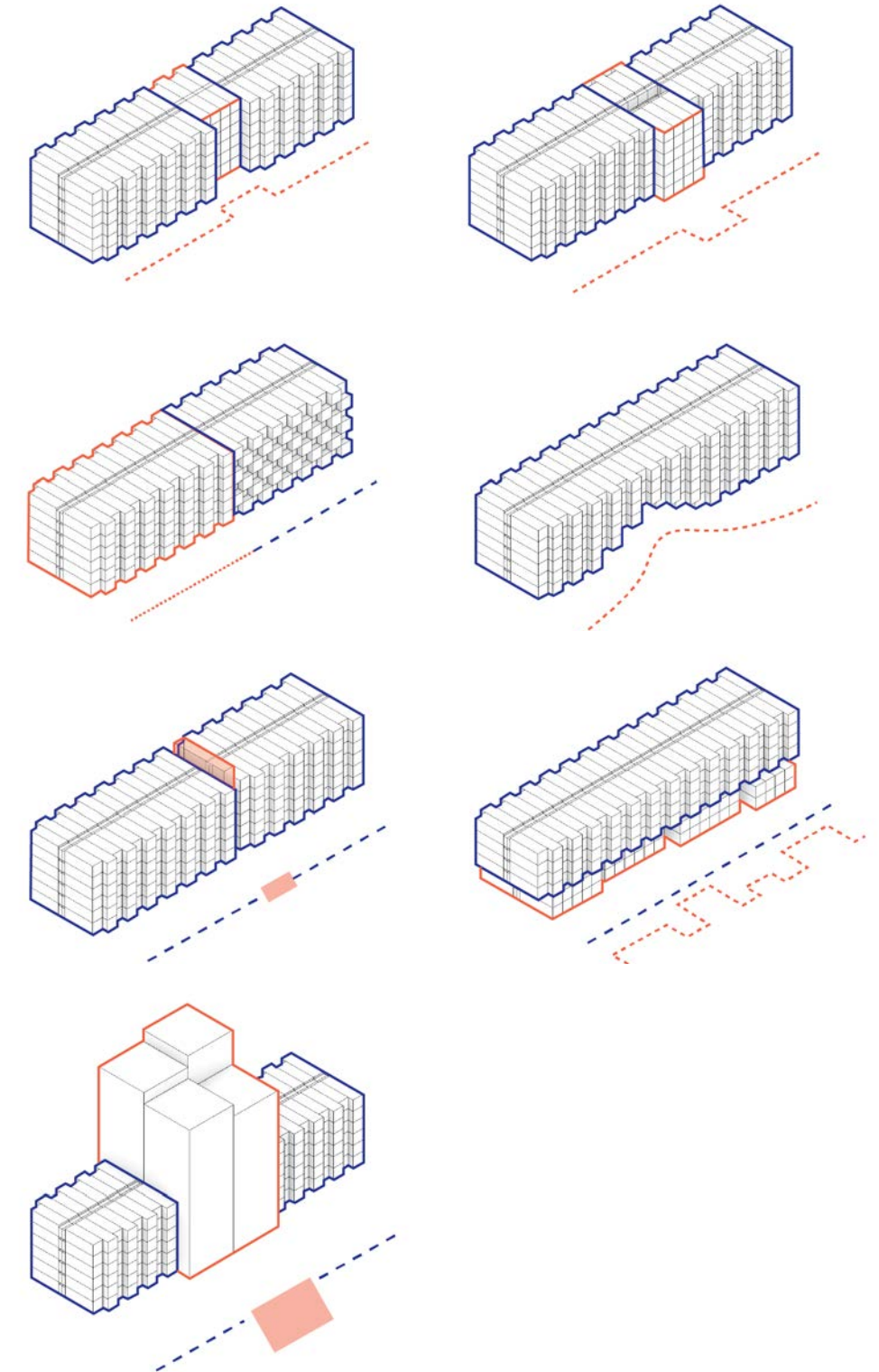
Single Module Typology



Aggregation Pattern



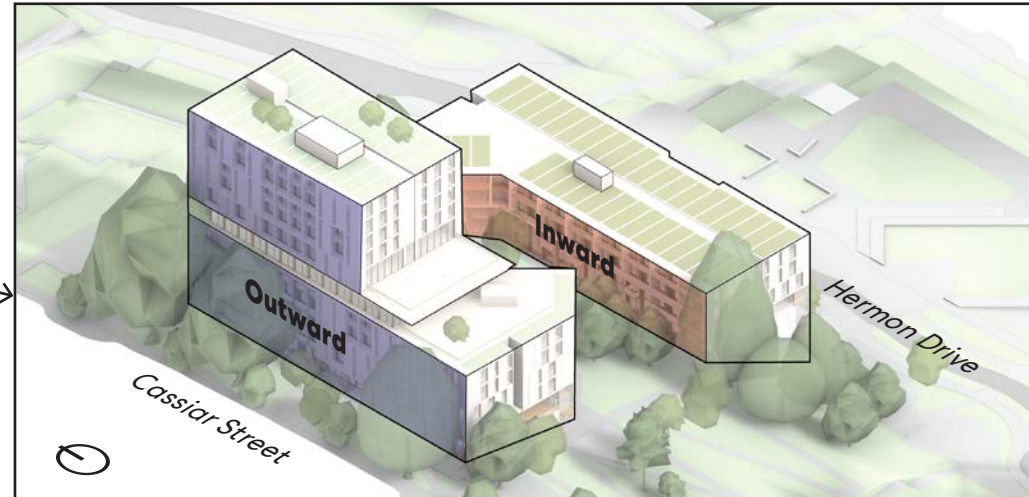
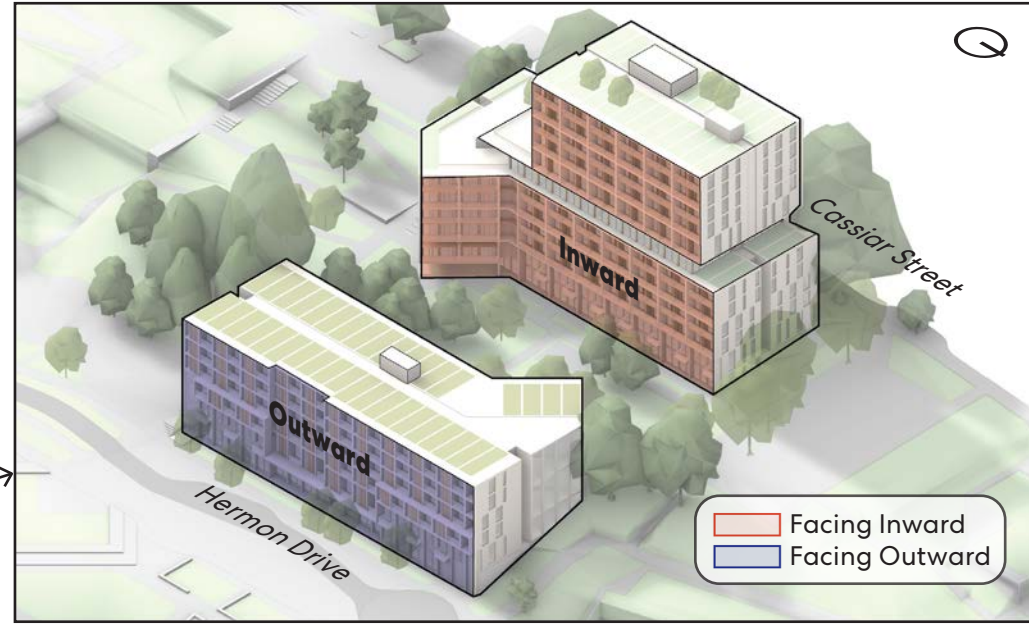
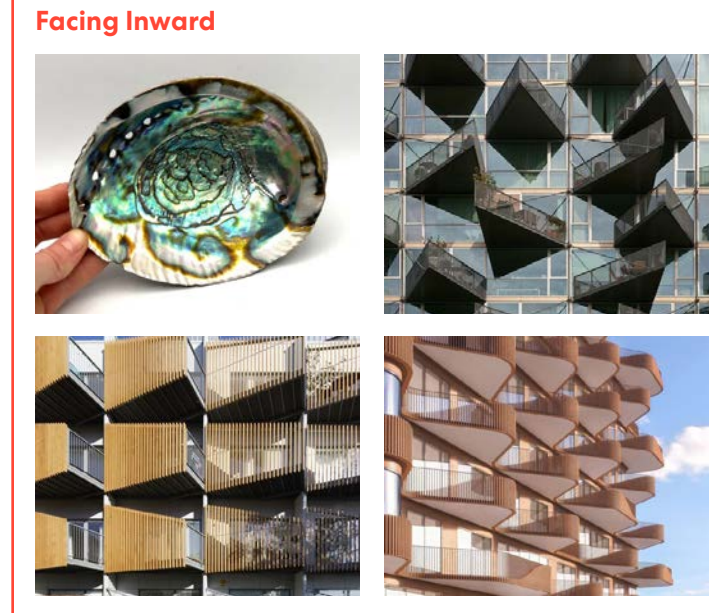
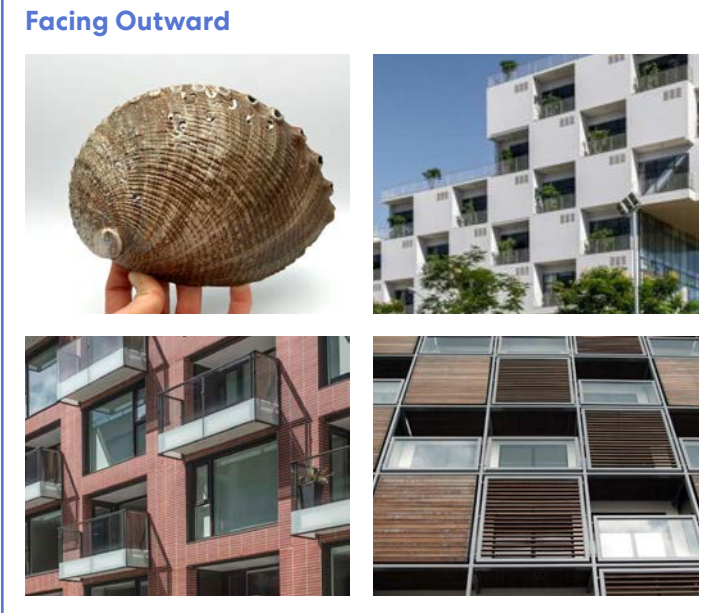
Different Ways to Break the Facade



Hierarchy in Façade Treatments

In the application of modular design to different groups of buildings in each neighbourhood room, the choice of module typology and patterning can result in a wide range of architectural expressions, which should be uniquely applied to each Neighbourhood room. Buildings should consider two different facade articulations; facing inwards toward the Neighbourhood room and facing outwards to the street and/or public open space. A more complex patterning and dramatic materials palette should be applied to

the building facades facing inwards with a simpler design expression applied to the outward facing elevation(s). Balconies and screens should also respond to their orientation with more expressive and dramatic forms and materials facing inwards and simpler modules and materials facing outwards.

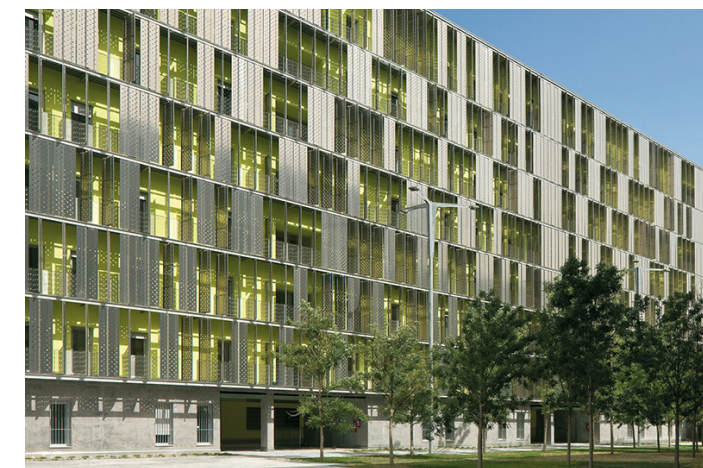


4.19 Texture and Material Expression

In addition to hierarchy of inward and outward facing facade treatments, a more detailed response to context is required to further define the articulation, texture, and material expression of each inward facing surface, including levels of privacy and openness, solar access, views, and human scale.

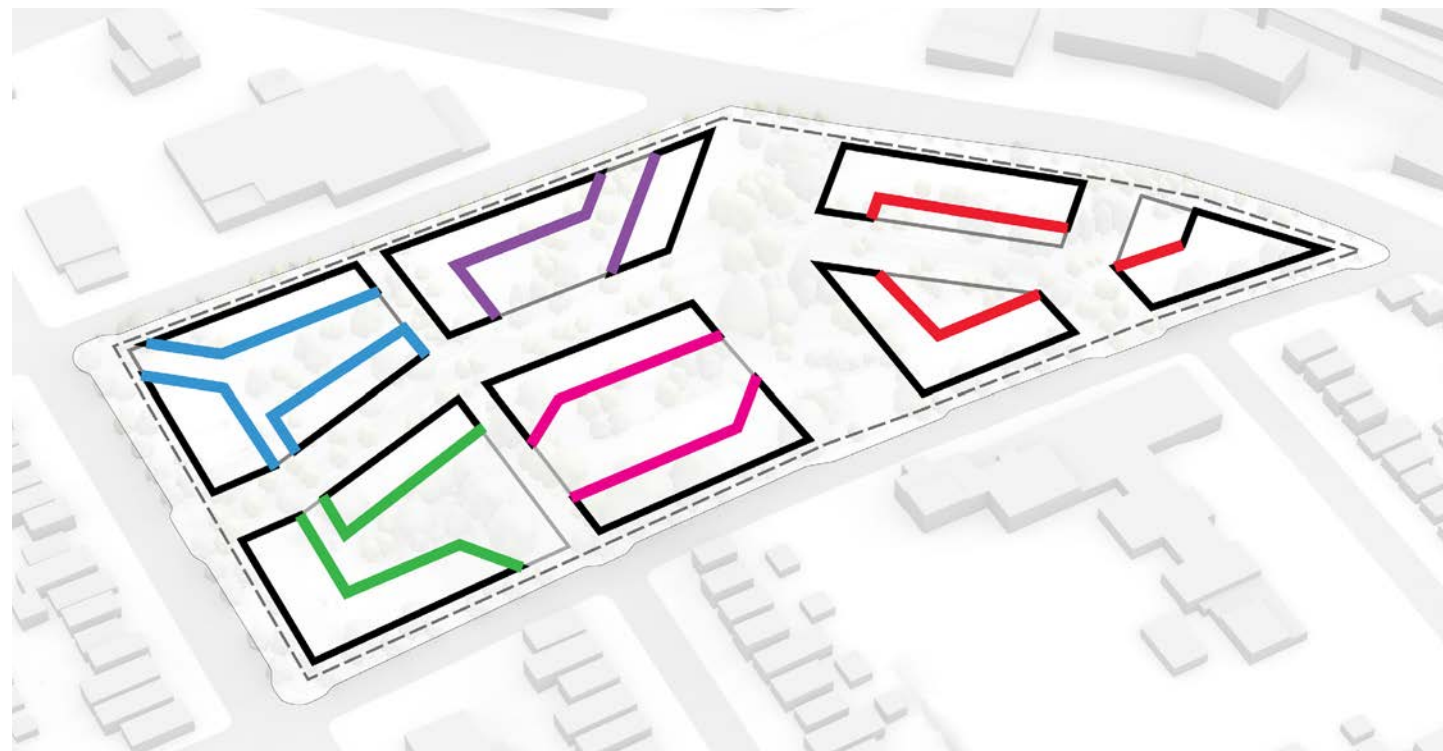
Outside

A greater degree of opacity and screening with large format panels to respond to adjacent context



Inside

A high level of transparency and spatial connection with the open spaces and vegetation



Public

Activated frontage and indoor spaces with highly transparent ground floor and screened upper floors



Private

Open and inviting facades with ground-oriented dwelling units and building amenity spaces



Bright or Large Rooms

Richer and dark toned materials palette, greater degree of opacity and/or shading devices



Shaded or Small Rooms

Bright and light toned materials palette, greater degree of transparency



4.20 Lighting and Screening Strategies

Architectural Lighting Strategy

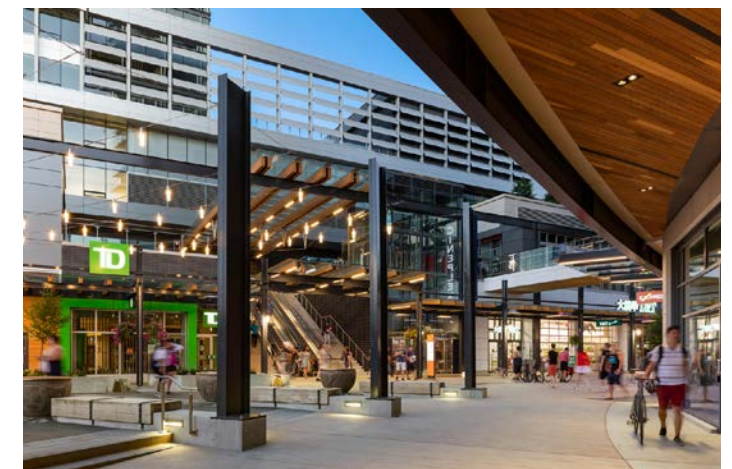
A variety of lighting types should be utilized, including architectural accent lighting, pedestrian-oriented lighting, and low-level lighting in localized areas such as adjacent open spaces, stairs, paths, and shared/communal areas. Lighting on buildings should be designed in a manner that contributes to the light levels of the public open space. Glare from lighting near residential units should be minimized, as should exterior light pollution and employing dark skies approaches.

Building edges and canopies along lobby, commercial, or amenity facades at grade shall include lighting, and all public areas such as lobbies, amenity, and shared spaces shall include appropriate ambient and task based lighting. Refer to BC Housing Design Guidelines and Construction Standards, section 10.4 Exterior Lighting.

Building Screening

Visually undesirable building features, such as exposed foundation or utilities, should be integrated into the building composition where possible and/or screened with landscaping, and include material and cladding design strategies that create visual interest and do not leave blank walls visible.

Where walls or fences are provided, they should be combined with a soft landscape to provide visual depth, screening and layering. Fences should provide visual porosity to the greatest extent feasible and walls should be limited to approximately 3 ft. in height and stepped wherever possible.



Exterior Building Lighting

Building Edge and Pedestrian Oriented-Lighting

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Section 5.0

SUSTAINABILITY

5.1 Sustainability Intent

BC Housing and the City of Vancouver are committed to delivering projects that encompass values of environmental and social responsibility. Both organizations have energy and sustainability measures that go beyond building code requirements. BC Housing's building design and construction performance priorities and goals are guiding the redevelopment of the Skeena Terrace site in coordination with the City of Vancouver policy requirements.

Established City of Vancouver policies ensure all new developments – in particular, large-scale developments – achieve high levels of sustainability. These policies align with the Climate Emergency Action Plan which identifies strategies to cut carbon pollution in half by 2030 and to be carbon neutral before 2050.

The intent of Skeena Terrace master plan is to meet and exceed the energy and sustainability requirements established by BC Housing and the City of Vancouver. Skeena Terrace will be a precedent-setting, sustainable community that demonstrates leadership in climate action, waste, and water management through regenerative approaches to design, construction and operation. It will incorporate strategies that promote and optimize health and encourage physical activity including increased walking, rolling and cycling connections on-site, and to other community and transit destinations, while providing ample spaces for all-season recreation and exercise. More so, the Skeena Terrace redevelopment provides a significant opportunity to renew aging housing stock and increase the number of secure and affordable homes for low and moderate-income families and individuals to accommodate a diverse future population.

The following sustainability principles are established for the project and are guiding the design of Skeena Terrace.

- Inclusive Community
- Long-term Resilience
- Carbon Leadership
- Water Conservation and Management
- Health and Wellbeing
- Sustainable Landscape Design



5.2 Inclusive Community

Skeena Terrace fosters community and inclusion through the design of accessible spaces to promote connection and interaction. The project is phased to increase the quantity and variety of affordable housing on site to help meet the housing needs of community residents of all ages and incomes.

Community

The public open space network will connect a series of more intimate and enclosed resident courtyards or 'Neighbourhood Rooms' accessible to Skeena Terrace residents, providing common backyards to gather and build community. Each group of buildings is placed around a large open space.

Two major pedestrian connections exist on site: Still Creek and 6th Avenue Mews. Still Creek Greenway connects to Still Creek and is located in the center of the site. The site's biodiversity will be enhanced through the integration of additional tree species and understory pollinator meadows, and other natural areas. The plan prioritizes linked habitat corridors within the site that provide biodiversity.

A large community plaza is located in front of the childcare facility. The facility is designed to provide childcare for 74 children. A community Hut will replace the existing community space on site. The new amenity space will allow for the continuation of on-site programs, classes and shuttle trips, and expansion to meet the needs of current and future residents.

Accessibility

Level Playing Field, an accessibility consultant, has contributed to the design of Skeena Terrace to ensure the community is inclusive to all regardless of their age, circumstance, or ability. Level Playing Field has provided guidance in order to design a safe and accessible landscape for the community to enjoy. The site is very steep and will have a path network graded for accessibility. The Still Creek Greenway will be accessible using ramps and where grading is challenging, public mechanized vertical transport will be provided for equitable navigation. Level Playing Field has reviewed the site for a variety of user needs, including people who use wheeled mobility devices, those from the d/Deaf and b/Blind communities, as well as users who benefit from the same considerations, such as seniors and families with young children.

In buildings, elevator access will be provided for all floors and signage is designed to code, incorporating universal design principals, to ensure visibility and inclusiveness in building design. A minimum of 10% of residential units will be designed as accessible units. These units will be reserved for people with a diverse range of disabilities who are already living on site, with additional accessible suites for new residents.



5.3 Long-term Resilience

As a result of our changing climate, Metro Vancouver continues to experience hotter drier summers, wetter fall and spring seasons and warmer winters. Skeena Terrace is committed to designing for a future climate rather than current climate, and the risks associated with changes in weather conditions and extreme events such as wildfires, increased snow fall and earthquakes. The project has conducted a resilience risk analysis and plans to address physical risks as well as social, equity and local economic issues.

Building Scale Resiliency

Phase 1 will be designed to meet the 2050 projections in temperature and temperature extremes and fluctuations likely to occur due to global warming. Passive design strategies will be prioritized, and air conditioning will be provided to all residential units to ensure occupant thermal comfort, in particular for the health and safety of occupants vulnerable to heat. Passive design strategies including window to wall ratio, passive shading, and high-performance envelope design will be established based on solar exposure, glare, and daylighting analysis.

During a hazard event capable of causing a power outage, backup power will be supplied to all buildings on site. During a hazard event causing high rainfall or snow volumes to fall on site, habitable spaces in buildings will be designed to sit above the 23-metre flood level and are set back from watercourses. All units will be designed with a fire alarm and life safety system, designed to code to ensure safe and timely evacuation. Each group of buildings is placed around a large open space. The open space will be a safe place for residents to gather during a hazard event.

The buildings on site will be designed with resiliency and durability in mind. Building materials and products will be selected based on affordability, longevity, and low carbon construction typical of the Vancouver marketplace. This will reduce costs associated with construction as well as repair and replacement during the building's life.

Community Scale Resilience

Skeena Terrace will be designed to BC Housing's Sustainability Standards including the sustainable site management framework. The project will also be designed for Resiliency requirements within the Sustainable Large Development Policy and Green Building Policy for Rezoning, which require resilient drinking water fountains fed from City pressure to be provided on site.

Reducing the heat island effect on site and in the surrounding neighbourhoods will be a priority. The project will preserve the majority of significant trees and plant new trees to ensure 20-25% tree canopy cover on site. A goal of the project is to prioritize vegetation cover at roof level. Intensive green roofs are being explored for all low-rise

buildings and extensive green roofs will be provided for the majority of high-rise buildings. High albedo paints and coatings as well as light or open grid pavers will be considered to reduce solar heat gain on the overall site. Additionally, all parking is located underground, and active and public forms of transportation are prioritized, reducing the adverse micro-climate associated with asphalt on site and in the surrounding neighbourhood.

Construction activity pollution prevention will be an integral part of the building process, minimizing and controlling pollution, erosion, and sedimentation, protecting occupant and environmental wellbeing. Construction waste will be minimized through efficient design as well as a comprehensive waste management plan detailing recycling facility locations and diversion strategies established by the project.



5.4 Carbon Leadership

On November 17, 2020, Vancouver City Council approved the Climate Emergency Action Plan. This puts Vancouver on track to reduce carbon pollution by 50% by 2030, in alignment with the findings of the United Nations Intergovernmental Panel on Climate Change to limit global warming to 1.5°C. Vancouver City Council has targeted cutting carbon pollution in half by 2030, and to be carbon neutral before 2050.

In alignment with the City of Vancouver, BC Housing is committed to actively supporting the Provincial Government's actions leading to the creation of a low-carbon economy and sustainable future. BC Housing's Design Guidelines and Construction Standards compliment City of Vancouver policy, setting strict energy efficiency targets for all BC Housing owned and maintained infrastructure. Skeena Terrace will be designed to reduce operational and embodied carbon, and conserve energy.

Operational Carbon and Energy Efficiency

Buildings will be designed to meet and exceed BC Energy Step Code requirements with the goal of creating a net zero operational carbon community. Low rise buildings on site less than 7 stories in height will be designed to BC Step Code 4 and high rise greater than 7 stories will be designed to BC Step Code 3. This will be achievable through energy efficient design and operation, including but not limited to:

- Taking a passive design approach that prioritizes an envelope first design.
- Designing to minimize thermal bridging.
- Exploring heat recovery ventilation.
- Maximizing opportunities for passive cooling through solar shading devices.
- Optimizing window to wall ratios based on daylighting simulations.
- Conducting air tightness testing during operation.

Ongoing energy modelling performed by an experienced energy modeller will verify energy targets during design stages.

Buildings will be electrified and integrate electric vehicle charging on site, reducing the need for natural gas. The project strives to achieve zero combustion for building operation. This is achievable in Vancouver where the grid is clean and the majority of energy comes from hydro-power. Utilizing this resource will significantly reduce carbon emissions over the lifespan of the project.

Building integrated photovoltaics (BIPV) and solar panels at roof level will be explored to generate on-site renewable energy.

Embodied Carbon

Buildings will be designed to meet and exceed the embodied carbon requirements of the Green Building Policy for Rezoning with the goal of reducing upfront carbon

associated with the development of buildings on the Skeena Terrace site. This will be achievable through selection and procurement of low carbon materials and products, including but not limited to:

- Optimizing the structure to refine the design.
- Specifying optimized concrete mixes for cement reduction by adding supplementary cementitious materials and using Portland limestone cement.
- Reducing XPS insulation and prioritizing low carbon alternatives such as mineral wool.
- Optimize the number of glazing panes by performing a parallel study of embodied and operational carbon.
- Performing early-stage façade sensitivity studies.
- Avoiding or reducing the amount of galvanized steel.
- Explore EC3 and products for low global warming potential using Environmental Product Declarations.

Life Cycle Assessments will be required by the City of Vancouver for key application milestones, that will need to be performed by an experienced LCA modeller, and will be required to comply with the City's most current embodied carbon performance targets and modeling guidelines.



5.5 Water Conservation and Management

Rainwater Management

Rainwater management strategies focus on water quality protection and treating rainwater as a resource to meet the requirement of the City of Vancouver’s Integrated Rainwater Management Plan. The first 24-mm of rainfall falling on all previous and impervious surfaces across the site shall be retained by means of infiltration, evapotranspiration, and/or reuse.

The underground parkade does not cover the entire site and is set back from on-site watercourses. A priority of the project is to preserve existing soil volumes and heritage landscaping. Tier 1 infiltration approaches are prioritized, and soil infiltration rates have been determined to aid design work that maximizes rainwater retention. Rain gardens, bioswales, and infiltration ponds are woven into the landscape to capture, store and infiltrate rainwater. These rainwater management strategies also act as defense in the case of a flood event.

Intensive green roofs are being explored for all low-rise buildings and extensive green roof will be provided for the majority of high-rise buildings to enhance open space and reduce stormwater volume.

Groundwater Management

Successful groundwater management of Skeena Terrace will play an important role in climate change adaptation and resiliency of the site and surrounding neighbourhoods. Groundwater will be managed in alignment with the City’s Groundwater Management Bulletin and a hydrological study of the site has been conducted including information on groundwater and soil conditions.

To prevent increased summer groundwater baseflows within Still Creek and protect the salmon stocks that depend on the creek and watershed, underground parking structures located below the high groundwater table will be tanked to avoid the interception and diversion of groundwater into the sewer system. Phasing and design will be guided by Salmon Safe BC Standards to create a positive, symbiotic relationship between the development and the watershed’s health.

Potable Water Reduction

In alignment with BC Housing’s Sustainability Standards potable water will be efficiently managed on site. Low flow fixtures and water efficient appliances will be selected to reduce indoor potable water use by 25% .

Drip irrigation systems will be selected, and native or adaptive plant species prioritized to reduce outdoor potable water demand by 50%. Existing mature and significant trees and soils on site will be retained, preserved, and restored in the knowledge that these species can grow and thrive in BC’s current climate with minimum potable water demand.



5.6 Health and Wellbeing

Skeena Terrace will be designed intentionally to enhance human health and well-being. Following COVID-19, working from home has become common for the majority of Metro Vancouver's occupants. Creating homes and a community that fosters good mental and physical health will be a priority for Skeena Terrace to meet the needs of an evolving neighbourhood.

Low Emitting Materials

The project will prioritize the selection of low-emitting materials for interior spaces with low volatile organic compounds (VOC) and urea formaldehyde content. Materials and products will be vetted for substances of concern using transparency documentation (i.e., Health Product Declarations, Environmental Production Declarations) before being specified to protect occupant health.

Active Community

Skeena Terrace has been designed and phased to promote walking, cycling, and use of transit. A Transportation Assessment has been conducted and a Transport Management Plan has been developed in alignment with the City of Vancouver's Rezoning Policy for Sustainable Large Developments. Data from these studies was used to determine phasing, building location and massing, parking and loading needs, and strategies to reduce motor vehicle use on site.

Through the design of an inclusive and inviting landscape and promotion of walking and cycling on site, occupants will stay active, be encouraged to spend time outdoors and increase their exposure to daylight and nature promoting a healthy and well community.

Food Assets

"Landscapes that nourish" is identified as a key driver to the approach of the landscape design. The Skeena Terrace landscape will include a diversity of food assets and services that contribute to the wellbeing of the community. These food systems add value creating an opportunity for social interaction while providing healthy foods and a learning environment for occupants.

Three food assets will be provided in alignment with the Sustainable Large Development Policy with significant impact and presence on the site:

1. Community gardens include shared garden plots and community learning gardens. The community gardens will act as inclusive and welcoming spaces where residents can collaborate and learn together while stewarding land and growing food for themselves, their families, and the wider community.
2. Edible landscaping with educational signage. Edible landscaping diversifies planting on site, increasing biodiversity.
3. Indoor community kitchen will serve as a means of social connection through food sharing and community learning. This community hub will be co-locating complementary amenities such as picnic benches, and/or community gardens.

Section 5.7 Sustainable Landscape Design describes the landscape design approach and food assets in further detail.



5.7 Sustainable Landscape Design

Sustainable Landscape Planting Approach

Refer to: *The Tree and Soil Retention Plan in Section 3.2 for strategies to retain, protect and restore existing soils on site and the Landscape Strategy—Planting Zones in Chapter 3.*

The landscape approach at Skeena Terrace includes the following priorities:

- **Connection to Place:** Skeena Terrace is a cultural landscape with dramatic slopes, mature trees, and a distinct identity that reinforces ideas of community and home. The Landscape Strategy strives to honour this relationship to place by protecting significant trees, reinforcing a connection to nature and celebrating seasonality.
- **Climate Resilience and Green Infrastructure:** Carefully selected plant palettes that are appropriate for site conditions, current and future climates, and design intent, that will ensure all vegetation contributes to landscape performance and resiliency, while minimizing resources required for its management. This includes utilizing plants and associated soil for stormwater management
- **Planting Communities:** In nature, plants don't grow as separate specimens, they grow as part of diverse communities with established relationships of support and reciprocity. The planting approach at Skeena Terrace is based on an assemblage of compatible planting communities – or zones – that grow well in particular environments and support a more complex, adaptive system. See *Planting Zones in Chapter 3.*
- **Landscapes that Nourish:** Issues of food, community, and ecological resilience are interwoven and have significant impacts on human health and well-being. The landscape plan prioritizes a diversity of accessible places to cultivate social connections, provide nourishment, and increase food security.

-  Existing Tree Retained
-  Proposed Tree
-  Permeable Vegetated Area Off Slab
-  Permeable Vegetated Area On Slab



Sustainable Soil Strategy

Refer to: *The Tree and Soil Retention Plan* in Section 3.2 for strategies to retain, protect and restore existing soils on site.

The Soil Strategy for Skeena Terrace is founded on its ambitious goals to retain and protect as much existing and healthy soil on site as possible. This was a guiding principle, which along with the protection of mature trees, informed the layout of the current master plan. The Soil Strategy expands on this guiding principle of protection, to highlight soil as a vital resource that contributes to the health and success of plants, stormwater, habitat, urban agriculture, flood protection and human well-being. Additionally, healthy soil reduces site management costs by improving plant health and growth and minimizing the need for resources such as water and fertilizer.

Strategies that support healthy, connected and productive soil as the groundwork of Skeena’s landscape plan include:

- Maximize Soil Volumes: Provide planting infrastructure that supports adequate soil volume and soil moisture, especially in the rooting zone (upper 1 metre of soil) for healthy tree growth and rainwater management. More soil is always better, but *The Urban Forest Climate Adaptation Framework* (Metro Vancouver 2020) advises a minimum volume of 0.3 m3 soil per unit area of projected crown area (sq. m) and a recommended soil volume is 0.6 m3 per unit area of projected crown area (sq. m).
- Create a Soil Plan based on results of a soil analysis, and in coordination with the Tree and Soil Retention Plan, Landscape Strategy, and Rainwater Management Plan that identifies locations that are appropriate for the various soil types.

- Existing Tree Retained
- Proposed Tree
- Permeable Vegetated Area Off Slab
- Permeable Vegetated Area On Slab
- Permeable Hardscape Area On Slab
- Permeable Hardscape Area
- Impermeable Hardscape Area



Landscape Food Assets and Services

One of the defining landscape approaches for Skeena Terrace is the prioritization of Landscapes That Nourish (refer to Sustainable Landscape Planting Approach - Section 5.7). These landscapes provide a diversity of Food Assets and Services that in turn offer multiple cultural, social and ecological benefits to the community. These assets and services are detailed on the following pages and are in alignment with the Local Food Action Plan and the Vancouver Food Strategy whereby resources, facilities and services are provided to neighbourhood residents of Skeena Terrace, which in turn support the City of Vancouver's food system as a whole.

Public Edible Landscapes

An alternative to traditional resource-intensive horticultural beds that can formally - or informally - integrate edible plants into its palette. These planting areas would be managed by the applicable operational team but would be accessible to the public for harvesting.



Mixed Edible Planting

General planting areas that have suitable conditions for edible plants and plants that provide food for pollinators that support the production of food.



Berry Patches

Planting beds dedicated to edible berries, offering opportunities for informal seasonal foraging and reinforcing a collective connection to place. Spatial considerations: accessibility to berries from all sides of planting beds.



Food Forests or Food Trees

A plant-based food production system based on woodland forest ecosystems and companion planting to grow a succession of layers that are found naturally in forests.

Community Edible Landscapes

Landscapes that are focused on food production and cultivated by community members.



Urban Agriculture Plots

Individual garden plots/planting beds - on either ground or roof. Typically raised beds, minimum 24sq that will typically require membership and oversight by the applicable managing body (i.e. building strata, BC Housing, community group, etc.)



Shared Food Growing Plots

Growing spaces that benefit more than one household or group of people. Areas dedicated to specific organizations or community groups, harvest for food sharing or donating to community program, etc.



Orchards

Informal, publicly accessible fruit-tree orchards managed and harvested by community members.

Programmed Food Services

Outdoor spaces that support food-related programs and resources for community members and the general public.



Indigenous Focused Cultural Learning Garden

A space to centre Indigenous culture and connection to nature. Planting in these areas is not solely defined by their function as an edible resource, but also for their cultural, spiritual, ecological and medicinal value.



Indoor Community Kitchen with Outdoor Picnic Benches

This community hub will serve as a means of social connection through food sharing and community learning. It aims to establish educational programming with the locally valued Thunderbird Community Centre where people can learn to garden, harvest and cook.



Community Food Market

The Community Food Market is a designated area within the upper plaza of the Still Creek Greenway which supports temporary farmers and food-growers to sell fresh and local food directly to the community.



Learning Gardens



Community Food Market



Shared Food Growing Plots



Urban Agriculture Plots



Mixed Edible Planting



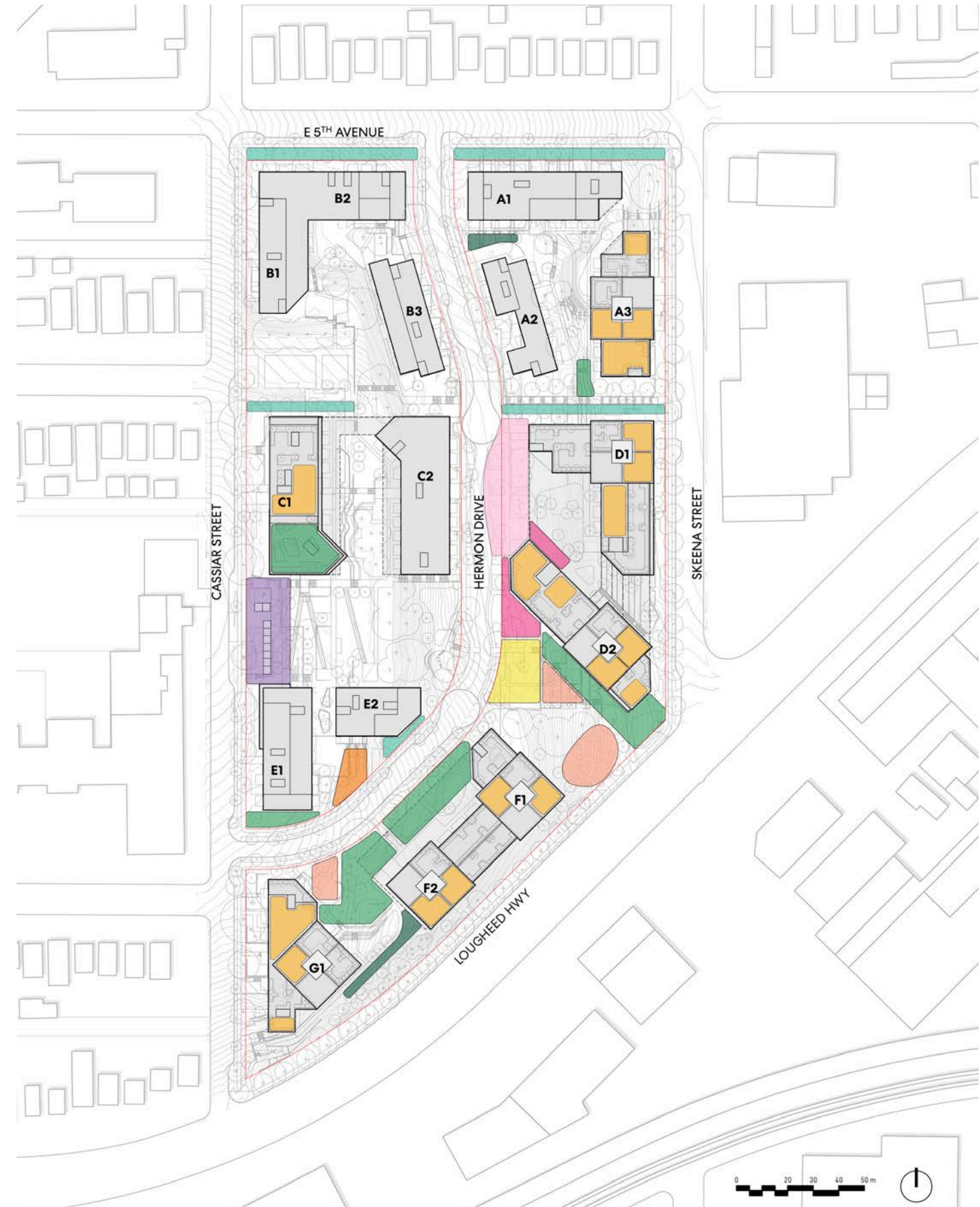
Picnic Benches



Berry Patches



Orchard



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Skeena Terrace

INITIAL REZONING APPLICATION



Section 6.0

APPENDIX

6.1 View Studies

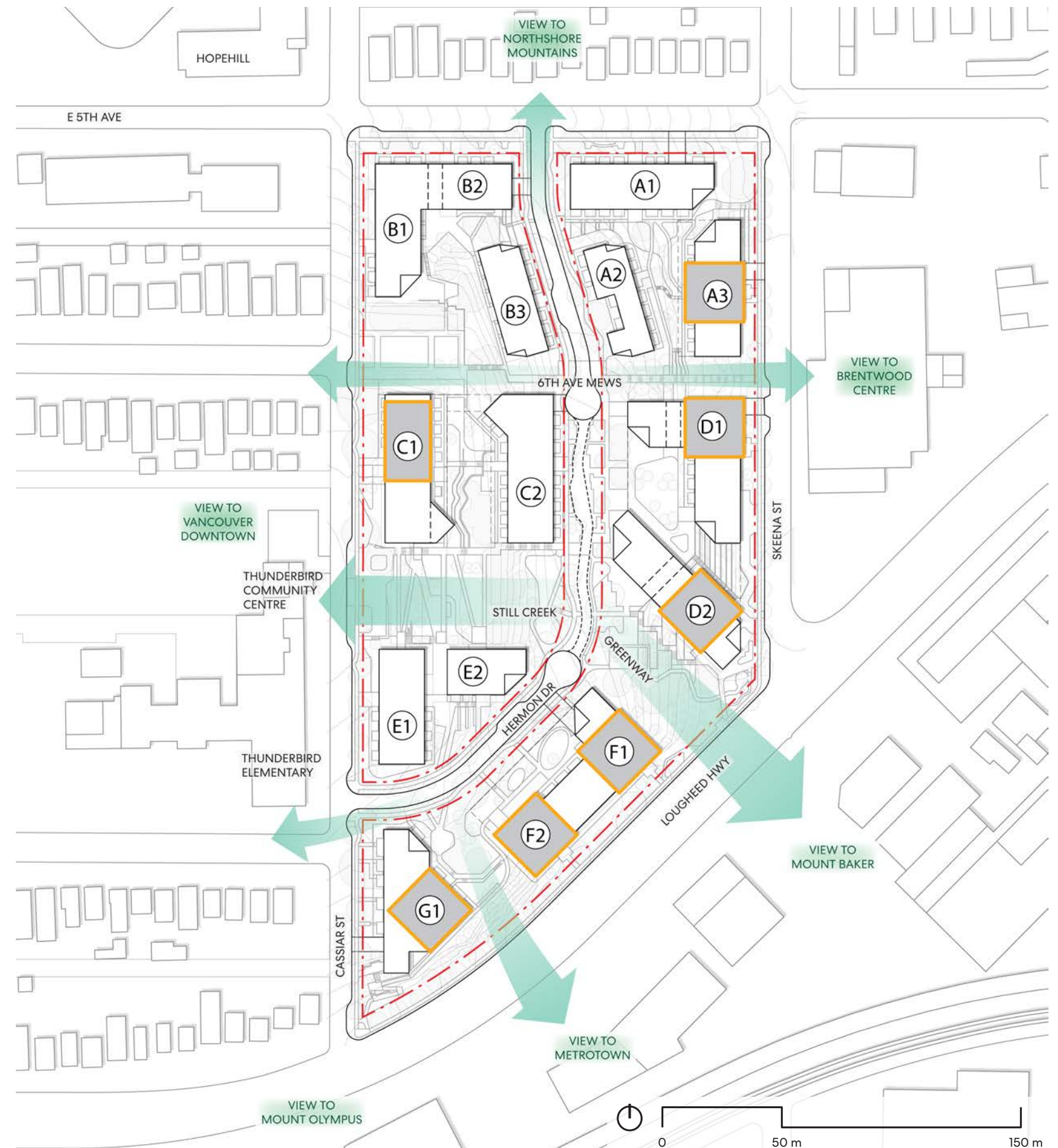
Key Views Study

Views are an integral part of the site's experience. Some views are considered from the public realm, while others are designated at points from higher levels within the buildings.

From the Still Creek Greenway & 6th Ave Mews, major views towards Mt. Baker to the southwest, Brentwood Town Centre to the east, and Downtown Vancouver to the west are preserved. The north shore mountains can be seen from the ground on Hermon Drive, and Metrotown and Mt. Olympus can be experienced towards the south.

From elevated points in the buildings, the same views are preserved for the residents and users of the spaces above. The placement of towers is staggered to ensure equitable access for everyone depending on their location on site.

-  Public Views
-  Towers
-  Buildings



Horizontal 30° Offset View Study

Views within the site are orchestrated to allow for maximum views. Most of the locations on site are open to 60-80% view range in 360 degrees. The site periphery offers wider views ranging from 80%-100% of 360 degrees. The only exception are the neighbourhood rooms where the views are intentionally limited to provide an experience that is more inward focused, private and intimate for the residents, as opposed to the more public spaces that open with a wider view range.



Horizontal 30° Offset view

<ul style="list-style-type: none"> ■ >100% ■ 80-100% ■ 60-80% ■ 40-60% ■ 20-40% ■ 0-20% 	<p>Measured at 3.5m off the ground.</p> <p>The percentage of the 360° horizontal view band bounded on top and bottom by a 30° offset from the horizontal plane.</p> <p>30° corresponds roughly to the vertical limit of human peripheral vision.</p>
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6.2 Average Yearly Sun Hours

This diagram indicates the total sunshine hours received on a given surface within a year, with the consideration of the proposed buildings.

If the sun was above the horizon 50% of the time for a standard year consisting of 8,760 hours, apparent maximal daytime duration would be 4,380 hours for any point on Earth. However, there are physical and astronomical effects that change these results, which is about 50% on average. For example, the average sunshine hours in Vancouver is 1,938 hours/year due to its rainy and cloudy weather conditions.

In the context of Skeena Terrace, the analysis informed the urban agriculture strategy and programming of open spaces and habitable roofs in the master plan.

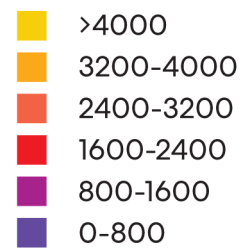
Average yearly sunshine (hr) for site: 1,274

Average yearly sunshine (hr) for roofs: 2,896

Total roof area (sq. m): 17,095

Sun Hours per Year*

* not considering weather condition



Aggregated Sun Hours on Site



Sun Hours per Year*
 * not considering weather condition

- >4000
- 3200-4000
- 2400-3200
- 1600-2400
- 800-1600
- 0-800

Aggregated Sun Hours on Roofs

6.3 Shadow Studies

The shadow patterns were studied for timings through 8 A.M. to 4 P.M. with a two-hour gap in between, across Spring Equinox, Summer Solstice, Fall Equinox, and Winter Solstice.



SPRING EQUINOX @ 08 AM
1:3000



SPRING EQUINOX @ 10 AM
1:3000



SPRING EQUINOX @ 12 PM
1:3000



SPRING EQUINOX @ 02 PM
1:3000



SPRING EQUINOX @ 04 PM
1:3000



SUMMER SOLSTICE @ 08 AM
1:3000



SUMMER SOLSTICE @ 10 AM
1:3000



SUMMER SOLSTICE @ 12 PM
1:3000



SUMMER SOLSTICE @ 02 PM
1:3000



SUMMER SOLSTICE @ 04 PM
1:3000



FALL EQUINOX @ 08 AM
1:3000



FALL EQUINOX @ 10 AM
1:3000



FALL EQUINOX @ 12 PM
1:3000



FALL EQUINOX @ 02 PM
1:3000



FALL EQUINOX @ 04 PM
1:3000



WINTER SOLSTICE @ 08 AM
1:3000



WINTER SOLSTICE @ 10 AM
1:3000



WINTER SOLSTICE @ 12 PM
1:3000



WINTER SOLSTICE @ 02 PM
1:3000



WINTER SOLSTICE @ 04 PM
1:3000

6.4 Development Statistics—Summary

Summary		Metric (m ²)	Imperial (ft ²)
Height (storeys)		4 - 36 storeys	
Height (m/ft)		13.5 - 113 m	44 - 371 ft
Zoning		CD-1	
Excl. Hermon Drive ROW	Site Area	43,700	470,381
	FSR (Gross)	3.40	
	Site Coverage	36.6%	
Incl. Hermon Drive ROW	Site Area	48,844	525,752
	FSR (Gross)	3.05	
	Site Coverage	32.7%	
Building Footprint		15,996	172,179
Total GFA		148,749	1,601,119
Residential GFA		145,842	1,569,826
Commercial GFA		1,353	14,558
Childcare GFA		1,005	10,818
Community GFA		550	5,917
Total NFA		119,310	1,284,242
Residential NFA at 80%		116,673	1,255,861
Commercial NFA at 90%		1,082	11,647
Childcare NFA at 100%		1,005	10,818
Community NFA at 100%		550	5,917
Unit Mix			
Low Income RGI Units		230	
HILS RGI Units		1,055	
Market Units		643	
Total Units		1,928	
Family-Oriented Units	2 or more bedrooms	60%	
	3 or more bedrooms	20%	
Accessible Units - to meet or exceed		10%	

View from Northwest



6.5 Parcel Studies

Parcel A

Urban Design Role

The northeast corner of the Skeena Terrace site is anchored by Parcel A with three (3) residential buildings (A1, A2, and A3), which are complemented by a well-designed pocket park at the intersection of E 5th Ave and Skeena St. This park serves as one of the entry points to the site. The buildings on Parcel A surround "The Meadow" Neighbourhood Room and form the northern boundary of the 6th Ave Mews.

Character

Parcel A features a combination of RGI, HILS, and market rental units.

A1 and A2 are five (5) to six (6) storey wood-frame buildings, while building A3 is a 20-storey building with concrete structure and accessible roof.

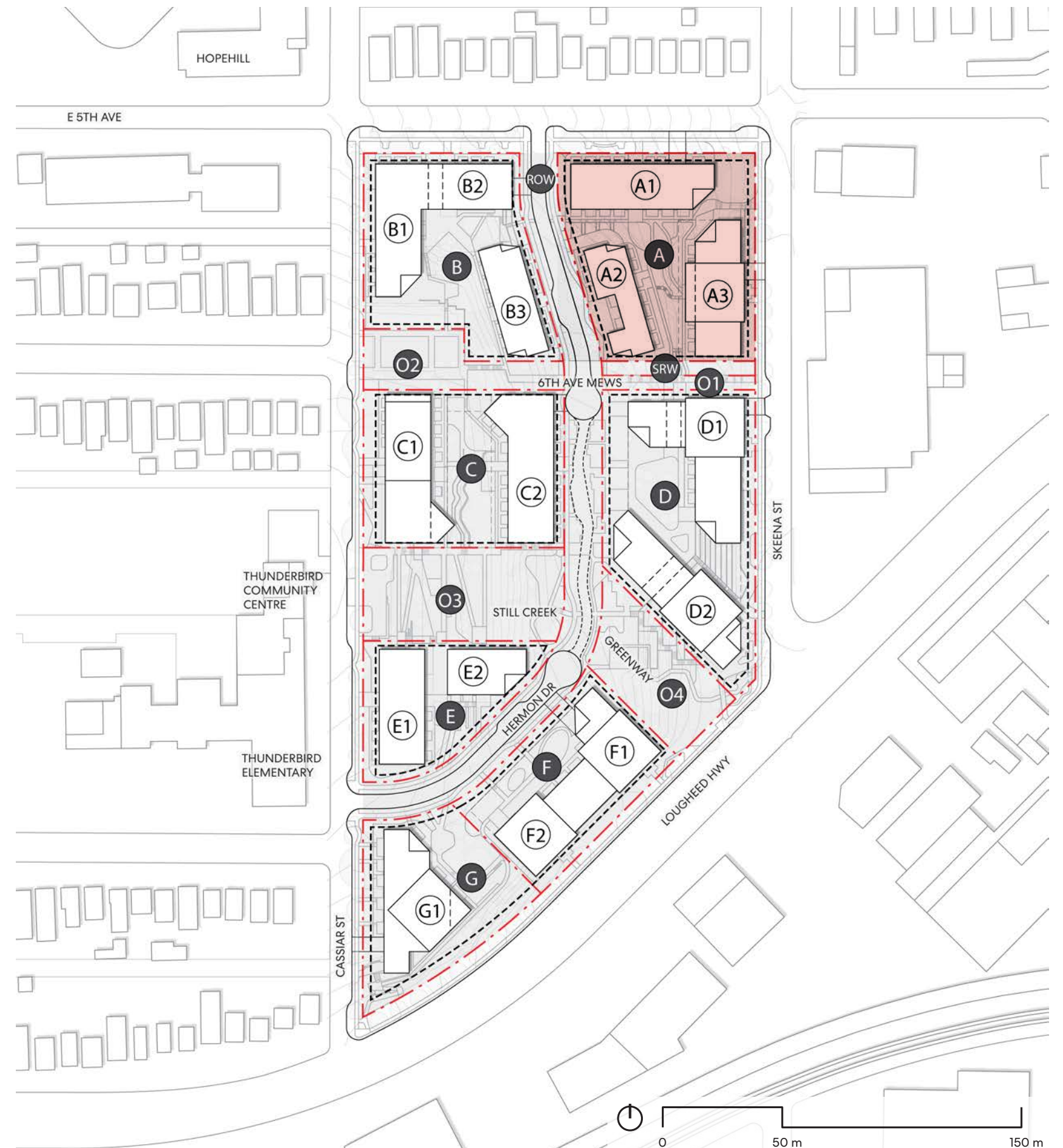
A2 building and A3 podiums have a width of 19 m, with an additional 1.5 m on each side designated for balcony areas. The A3 tower measures 24.5 m by 24.5 m and features 1.5 m of balcony depth on all four sides. The A2 building is narrower, with a width of 17 m, and a collection of valuable trees located on its west side.

Due to the slope of Skeena Street, the ground level of the A3 building is below the new 23-metre flood control level. To prevent flooding, the first habitable level in this building is positioned at 24.5 m, while the ground level is reserved for non-habitable spaces, such as: the lobby, amenities, and bike rooms.

On Parcel A, wherever the terrain allows, ground-level units boast private patios. The amenity rooms in this parcel are placed in a strategic manner, affording direct access to the Neighbourhood Room and the accessible roof of the A3 podium.

Buildings A1 and A3, have an underground parking facility accessible from 5th Ave and Skeena St. Adequately sized, it implements a district parking approach to accommodate the tenants of all three buildings.

For open space and public realm character refer to Chapter 3.



Statistics

Parcel A Summary

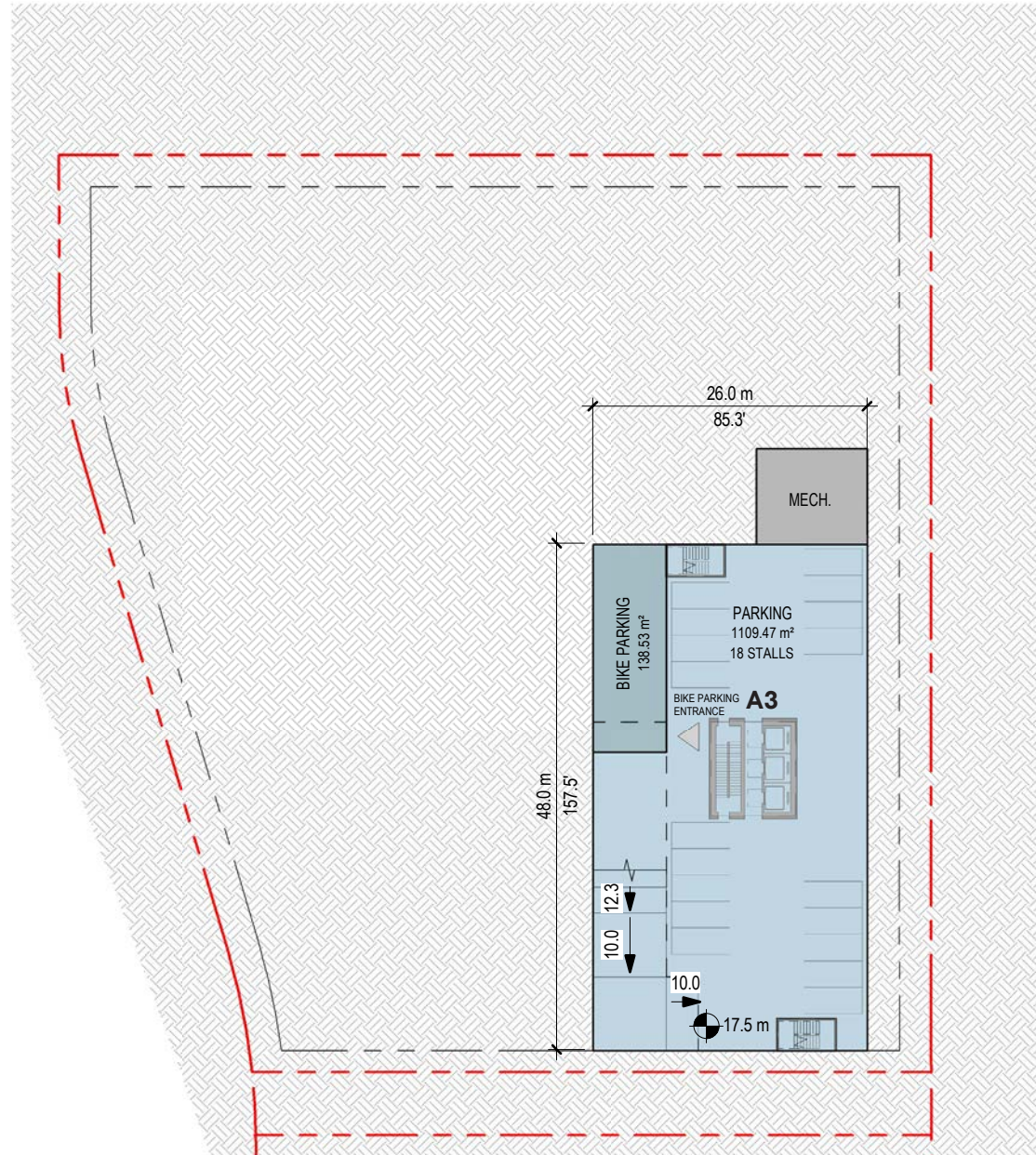
Buildings	A1	A2	A3	TOTAL
Storeys	6	4	23	
Construction	Wood	Wood	Concrete	
Parcel Area				70,545
Parcel FSR (Gross)				3.45
Total GFA (ft²)	58,577	28,013	156,553	243,143
Residential GFA	58,577	28,013	156,553	243,143
Commercial GFA	-	-	-	-
Childcare GFA	-	-	-	-
Community GFA	-	-	-	-
Total NFA (ft²)	48,033	22,971	128,373	199,377
Residential NFA @ 80%	48,033	22,971	128,373	199,377
Commercial NFA @ 90%	-	-	-	-
Childcare NFA @ 100%	-	-	-	-
Community NFA @ 100%	-	-	-	-
Unit Mix				
Low Income RGI Units	62	29	6	97
HILS RGI Units	-	-	124	124
Market Units	-	-	66	66
Total Units	62	29	195	286

Parcel A Amenity Space Requirement

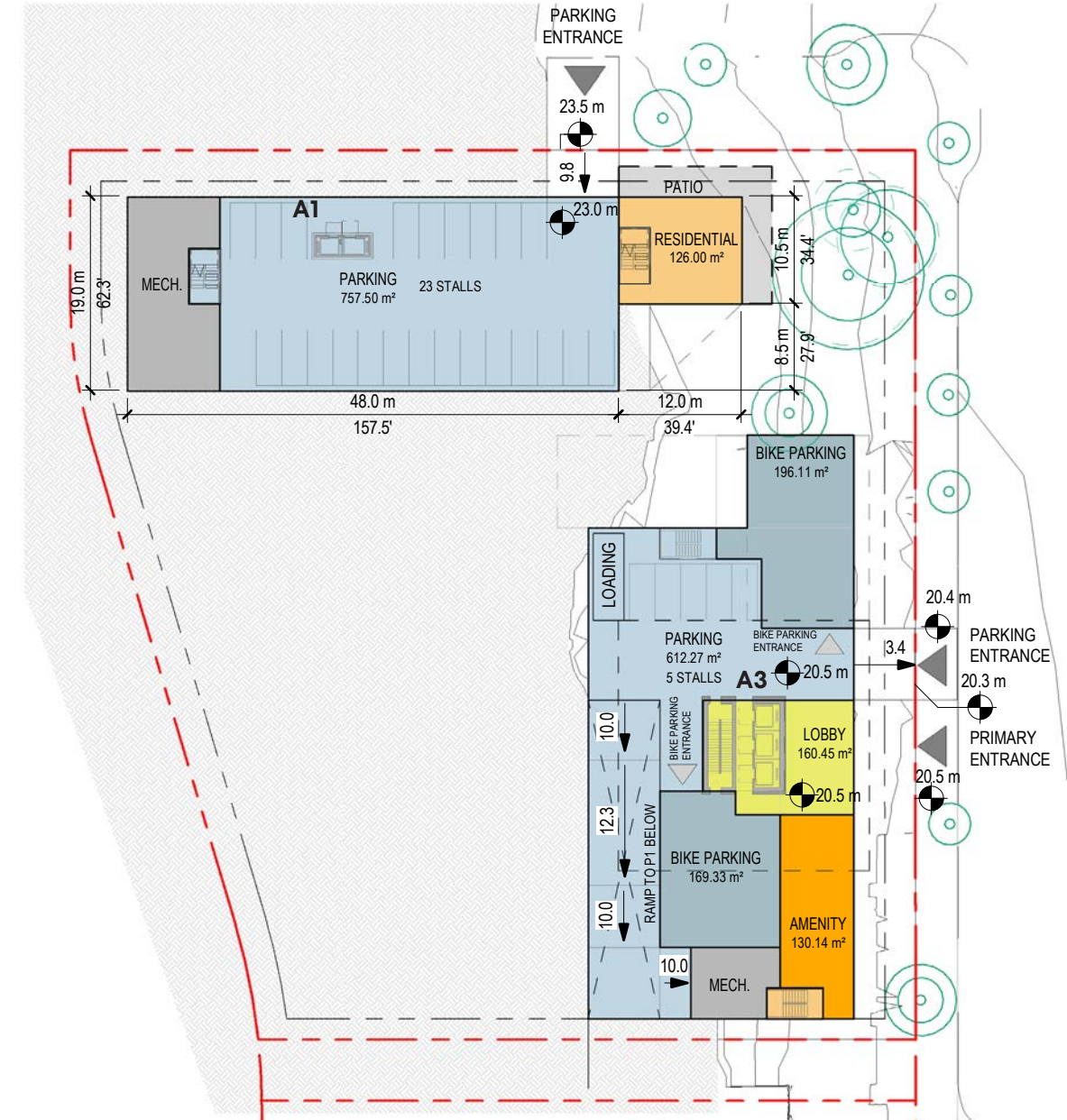
Buildings	A1	A2	A3	TOTAL
Number of Spaces	1	1	2	4
Total Area (ft²)	1,232	760	2,930	4,922

Parcel A Residential Unit Mix

Buildings	A1	A2	A3	TOTAL
Residential GFA (ft²)	58,577	28,013	156,553	243,143
Residential NFA @ 80%	48,033	22,971	128,373	199,377
Unit Mix				
Low Income RGI Units	62	29	6	97
HILS RGI Units	-	-	124	124
Market Units	-	-	66	66
TOTAL UNITS	62	29	195	286
NFA Distribution				
Low Income RGI mix	100%	100%	4%	
HILS RGI mix	0%	0%	64%	
Market mix	0%	0%	32%	
RGI Unit Mix	Unit Size (ft²)	Unit Type %	Unit Count	
One-Bedroom	525	30%	18	9
Two-Bedroom	725	30%	18	9
Three-Bedroom	925	30%	18	9
Four-Bedroom	1200	8%	5	2
Five-Bedroom	1300	3%	2	1
RGI Average Unit Size (ft²)	781			
Total RGI Units			62	29
HILS Unit Mix	Unit Size (ft²)	Unit Type %	Unit Count	
One-Bedroom	525	40%	0	0
Two-Bedroom	725	50%	0	0
Three-Bedroom	925	10%	0	0
HILS Average Unit Size (ft²)	665			
Total HILS Units			0	0
Market Unit Mix	Unit Size (ft²)	Unit Type %	Unit Count	
Market Studio	400	5%	0	0
Market One-Bedroom	500	40%	0	0
Market Two-Bedroom	725	45%	0	0
Market Three-Bedroom	850	10%	0	0
Market Average Unit Size (ft²)	631			
Total Market Units			0	0



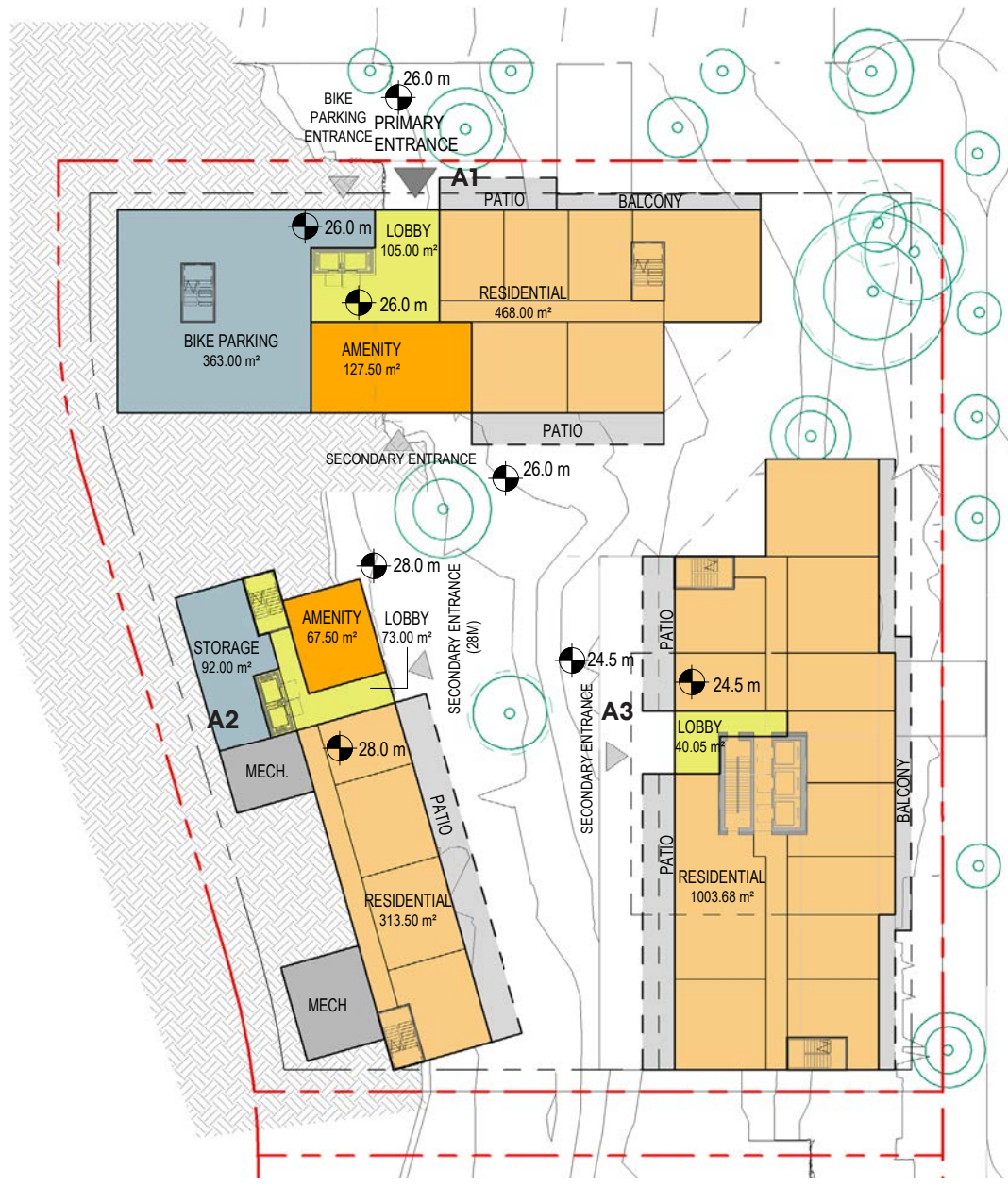
Elevation +17.5m Plan
 A3 Level P1 (+17.5m)



Elevation +23m Plan
 A1 Level P1 (+23m)
 A3 Level O1 (+20.5m)

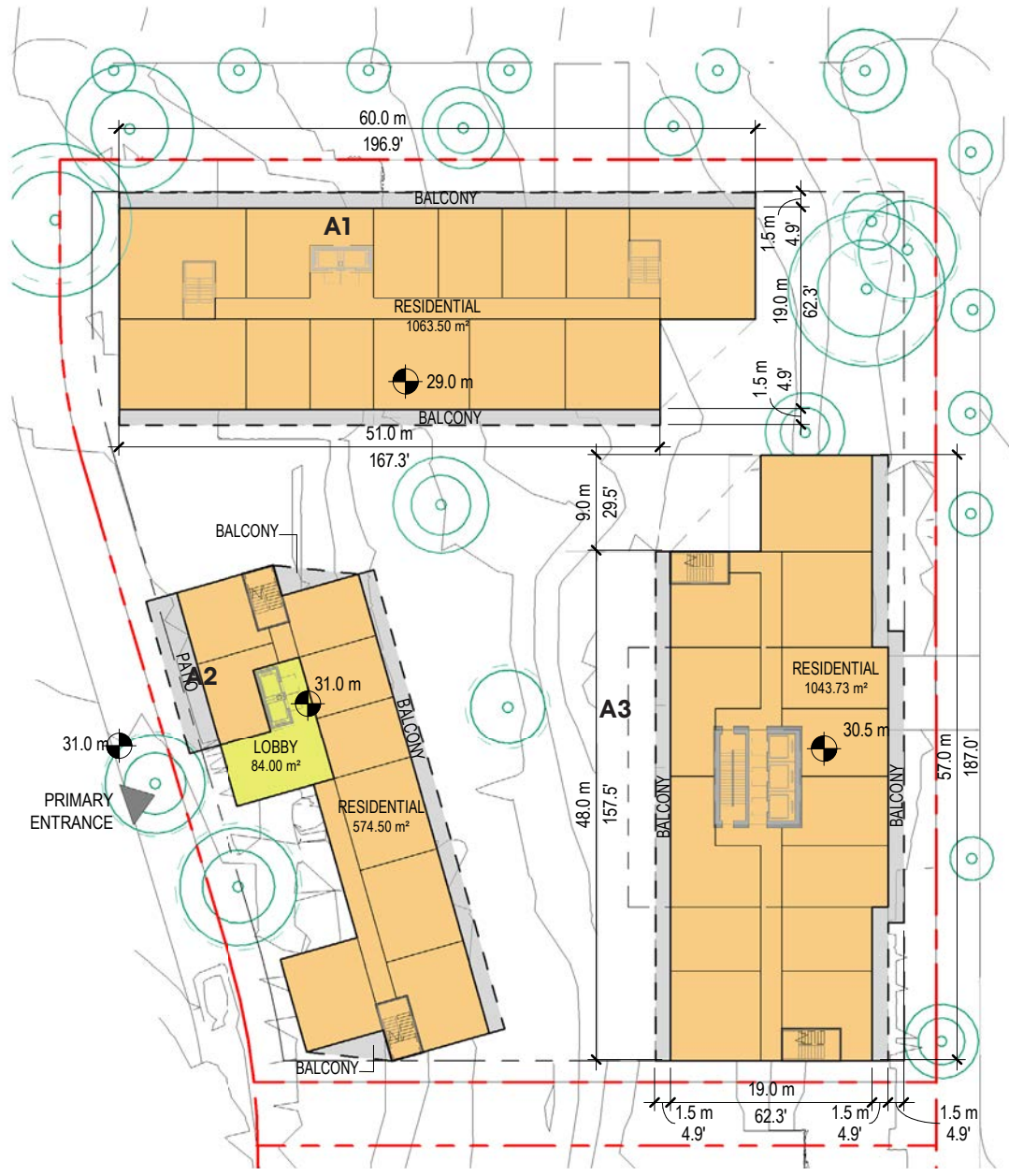
DESIGN GUIDELINES

- RESIDENTIAL
- RESIDENTIAL COMMON AREA
- AMENITY
- COMMERCIAL
- HUT
- CHILDCARE
- OPEN BALCONY
- BIKE PARKING
- PARKING
- MECHANICAL
- POTENTIAL PUBLIC VERTICAL TRANSPORT
- EXTENT OF BALCONY



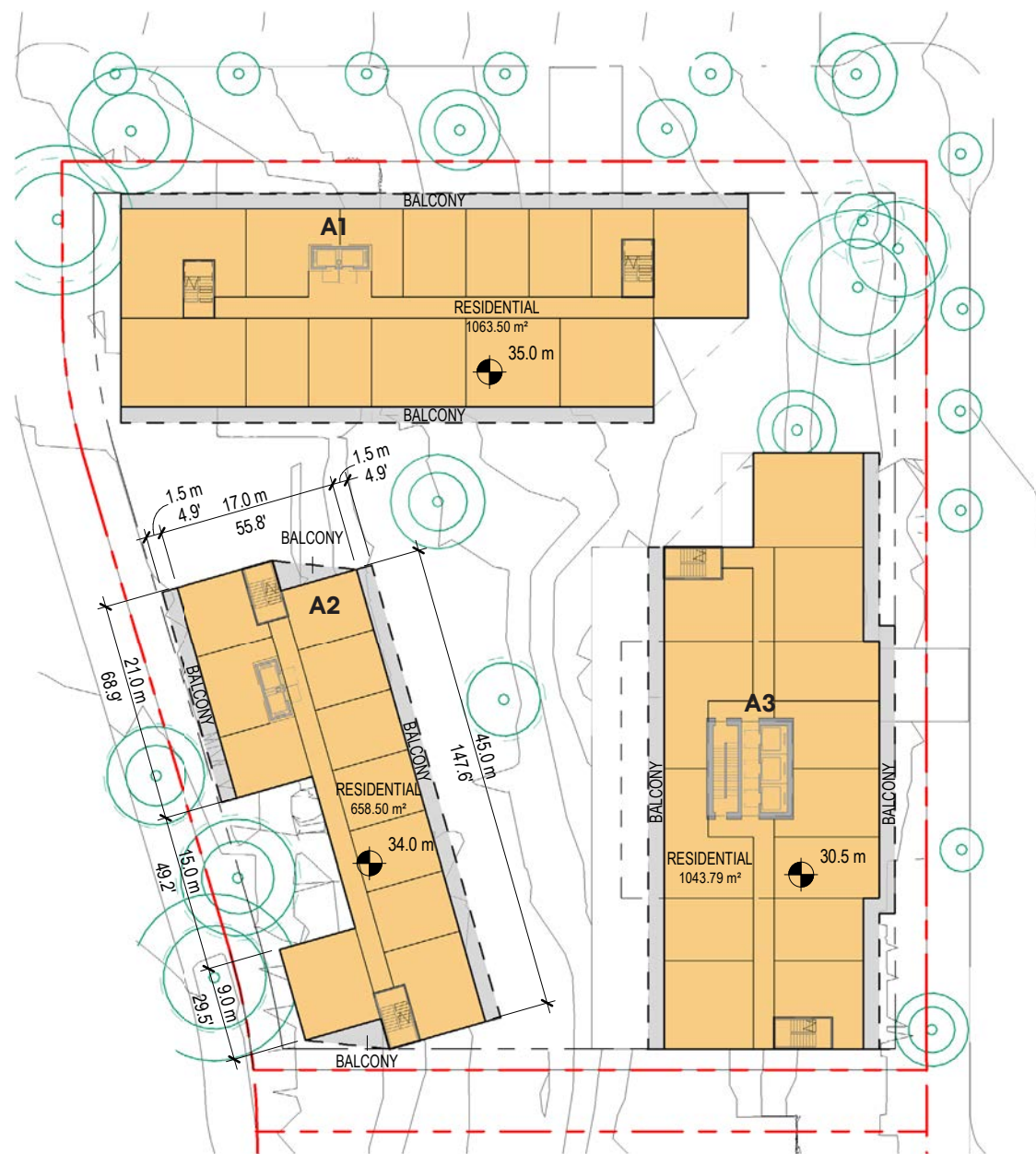
Elevation +28m Plan

- A1 Level O1 (+26m)
- A2 Level Lower (+28m)
- A3 Level O2 (+24.5m)



Elevation +31m Plan

- A1 Level O2 (+29m)
- A2 Level O1 (+31m)
- A3 Level O4 (+30.5m)

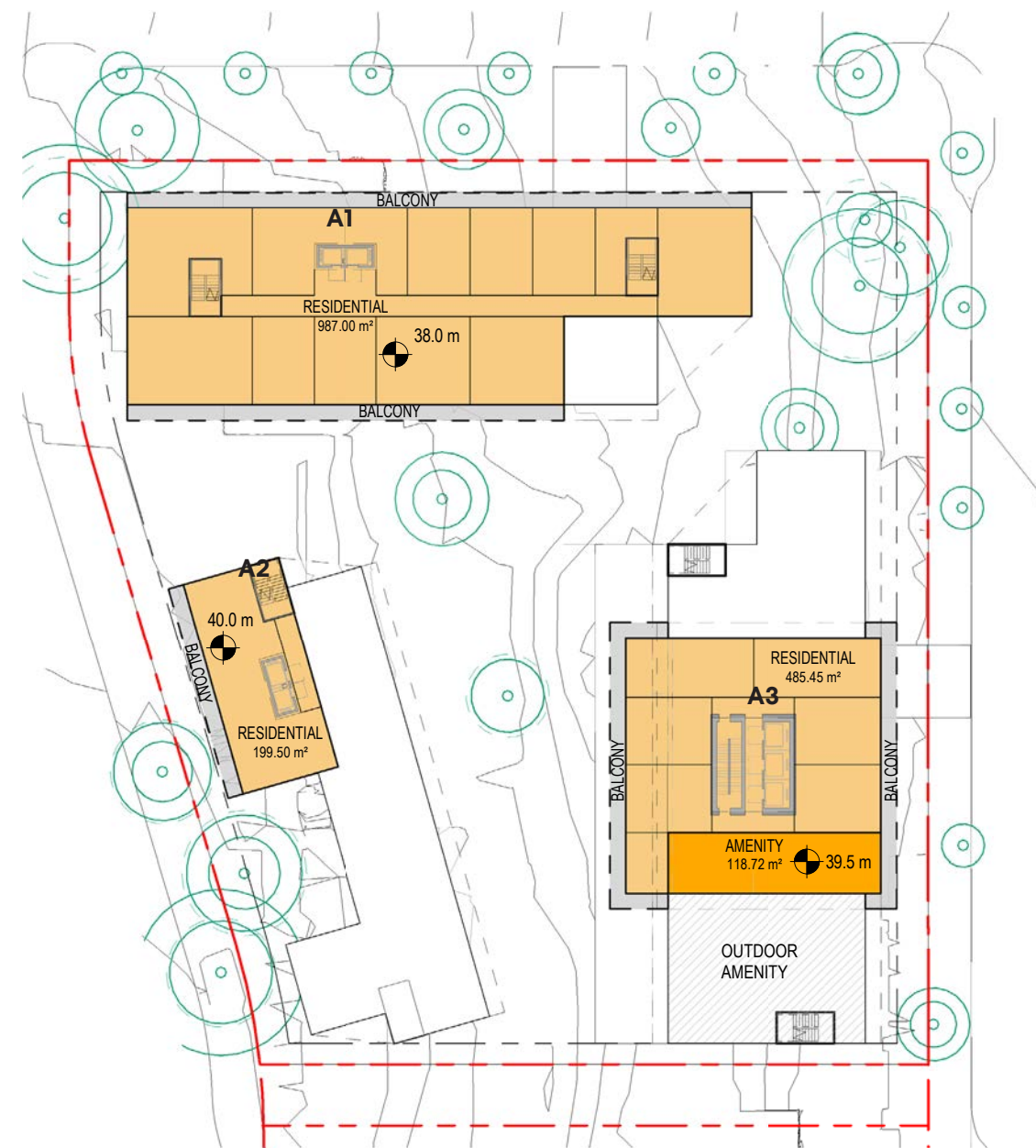


Elevation +35m Plan

A1 Level 04 (+35m)

A2 Level 02 (+34m)

A3 Level 05 (+33.5m)



Elevation +39.5m Plan

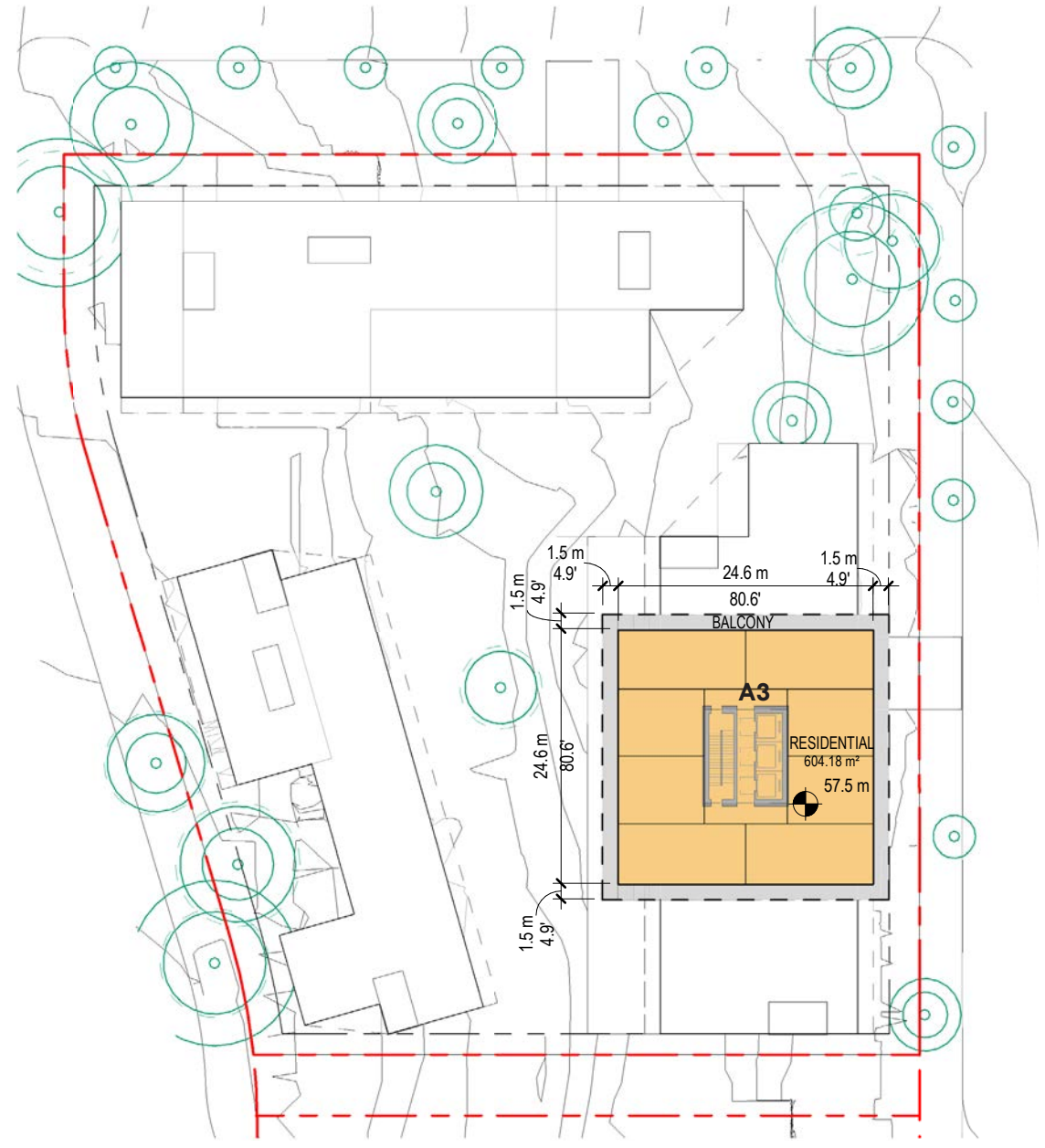
A1 Level 05 (+38m)

A2 Level 03(+37m)

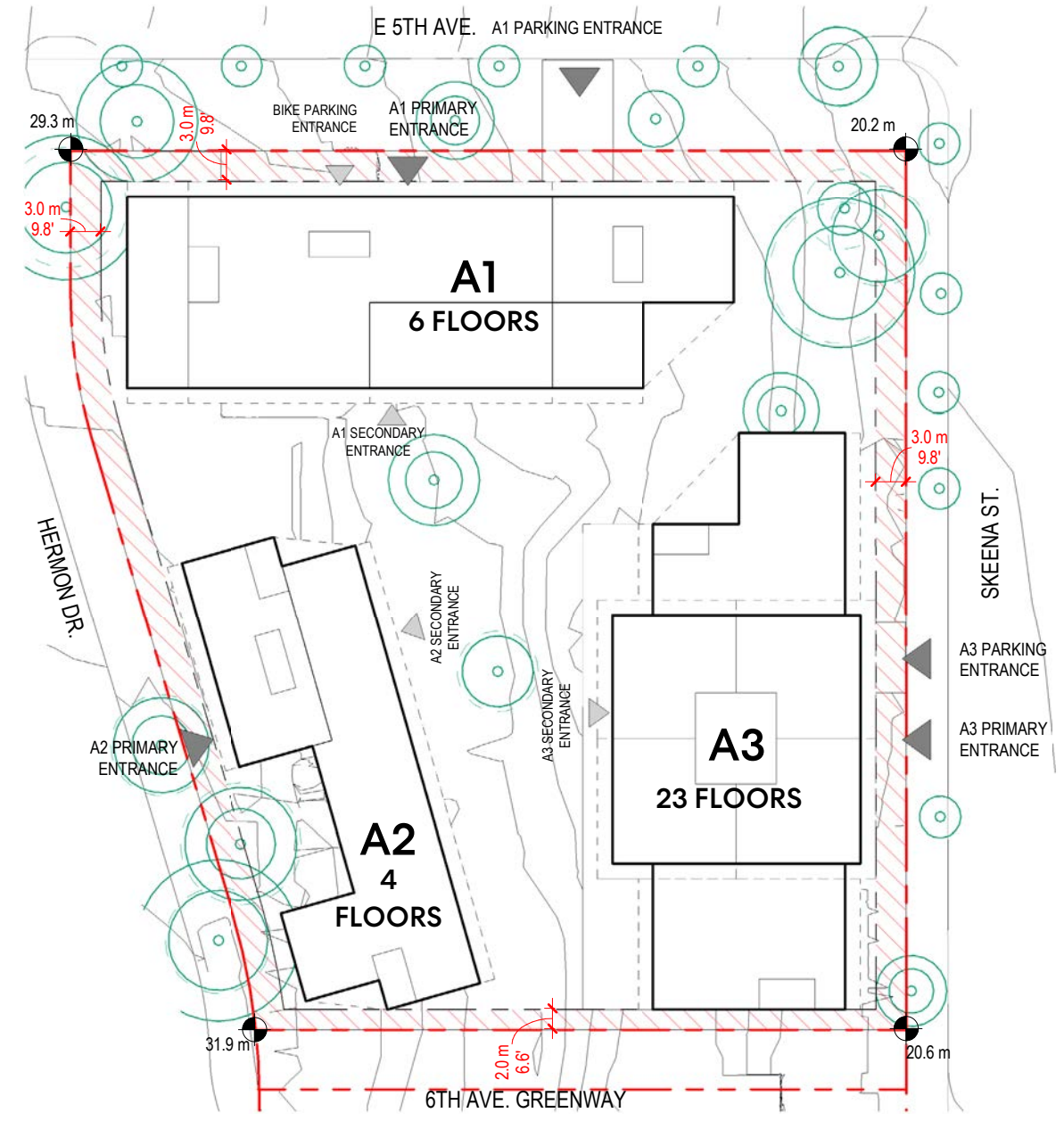
A3 Level 07 (+39.5m)

DESIGN GUIDELINES

- RESIDENTIAL
- RESIDENTIAL COMMON AREA
- AMENITY
- COMMERCIAL
- HUT
- CHILDCARE
- OPEN BALCONY
- BIKE PARKING
- PARKING
- MECHANICAL
- POTENTIAL PUBLIC VERTICAL TRANSPORT
- EXTENT OF BALCONY

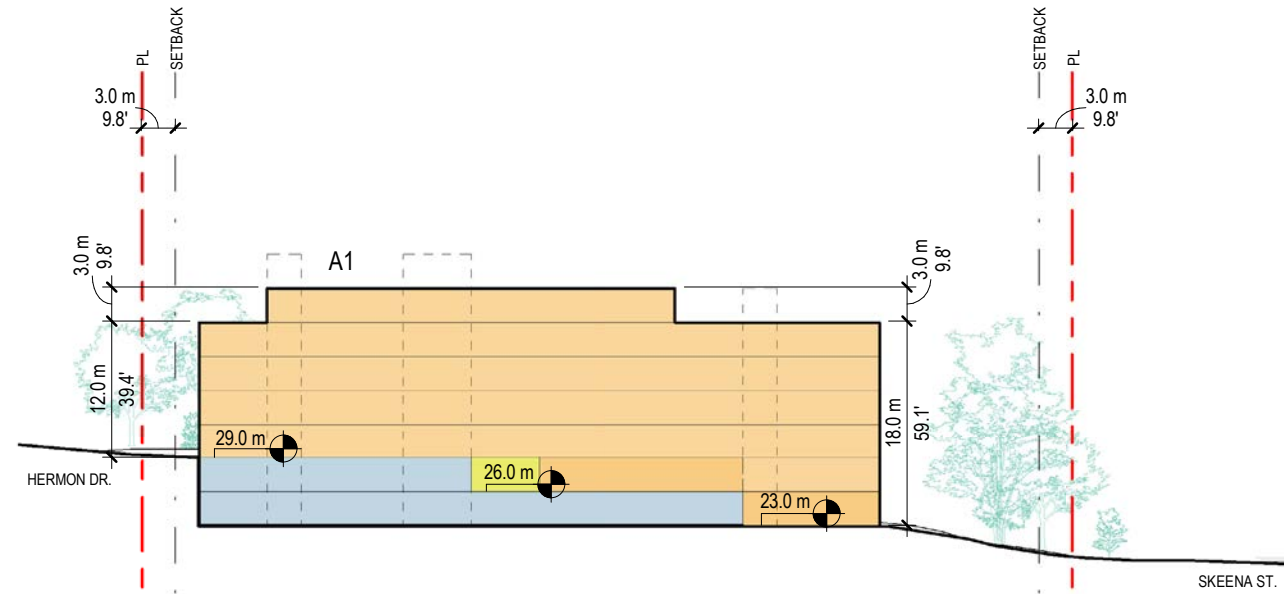
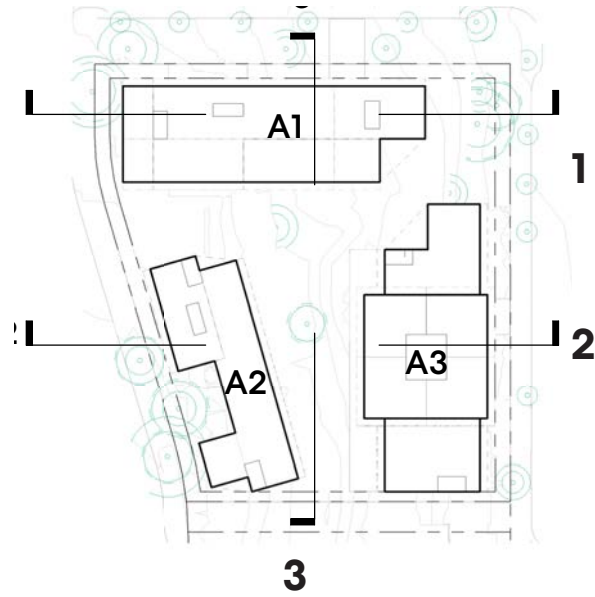


Elevation +57.5m Plan
A3 Level 13 (+57.5m) - Tower Typical

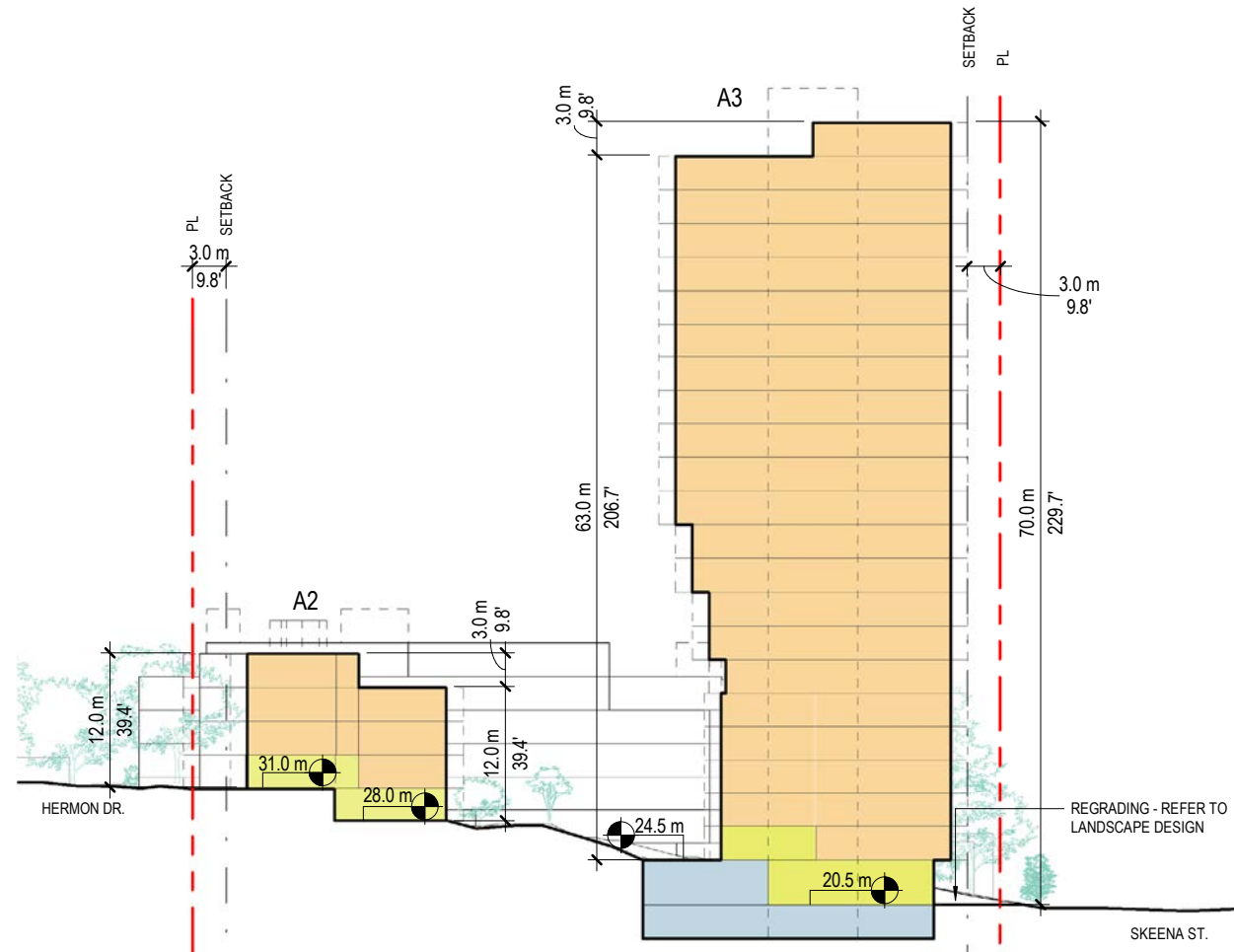


Roof Plan & Setbacks

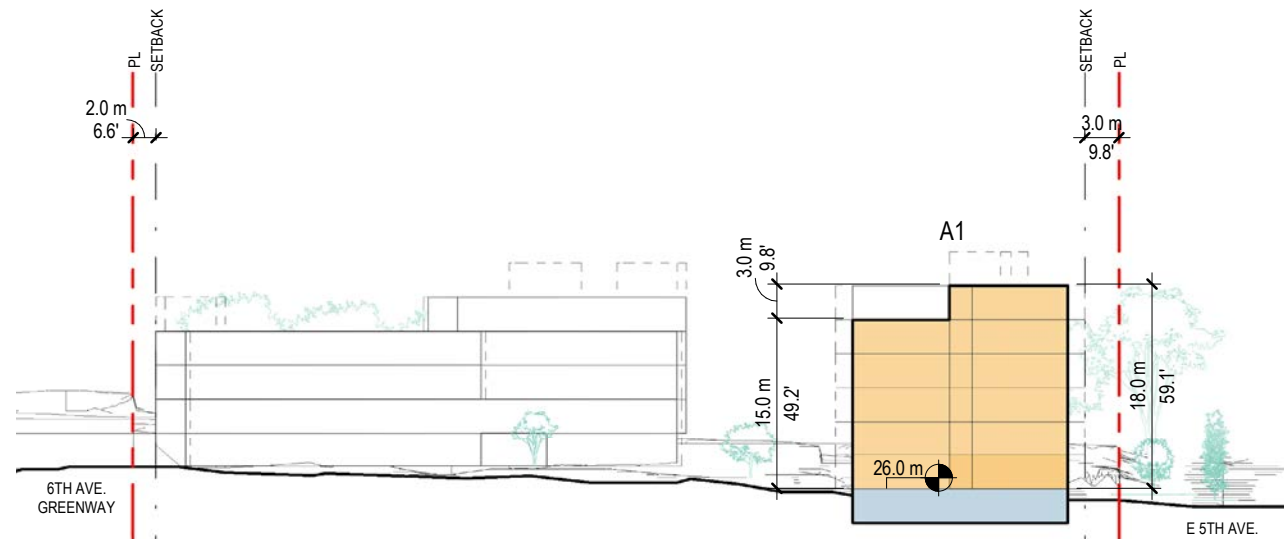
Sections and Elevations



Section 1

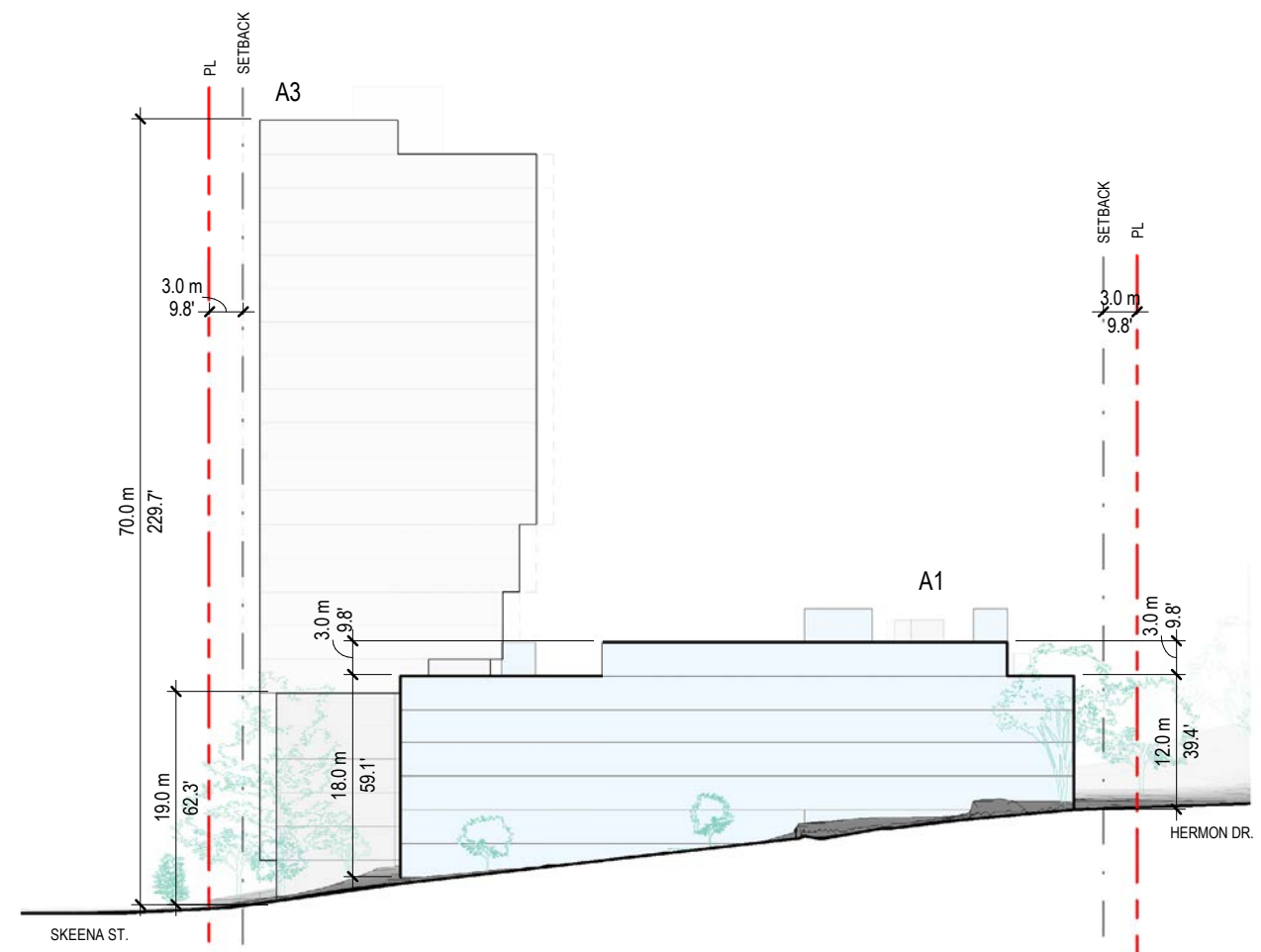


Section 2

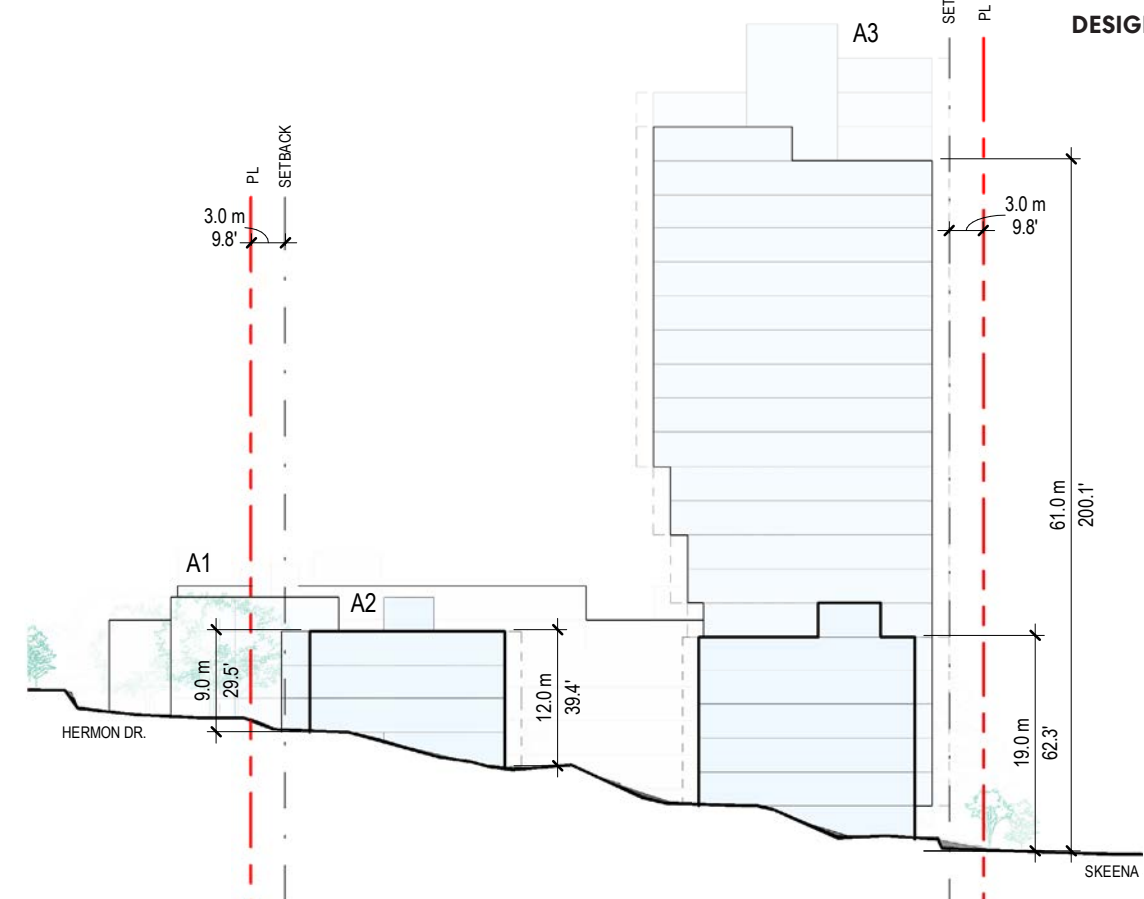


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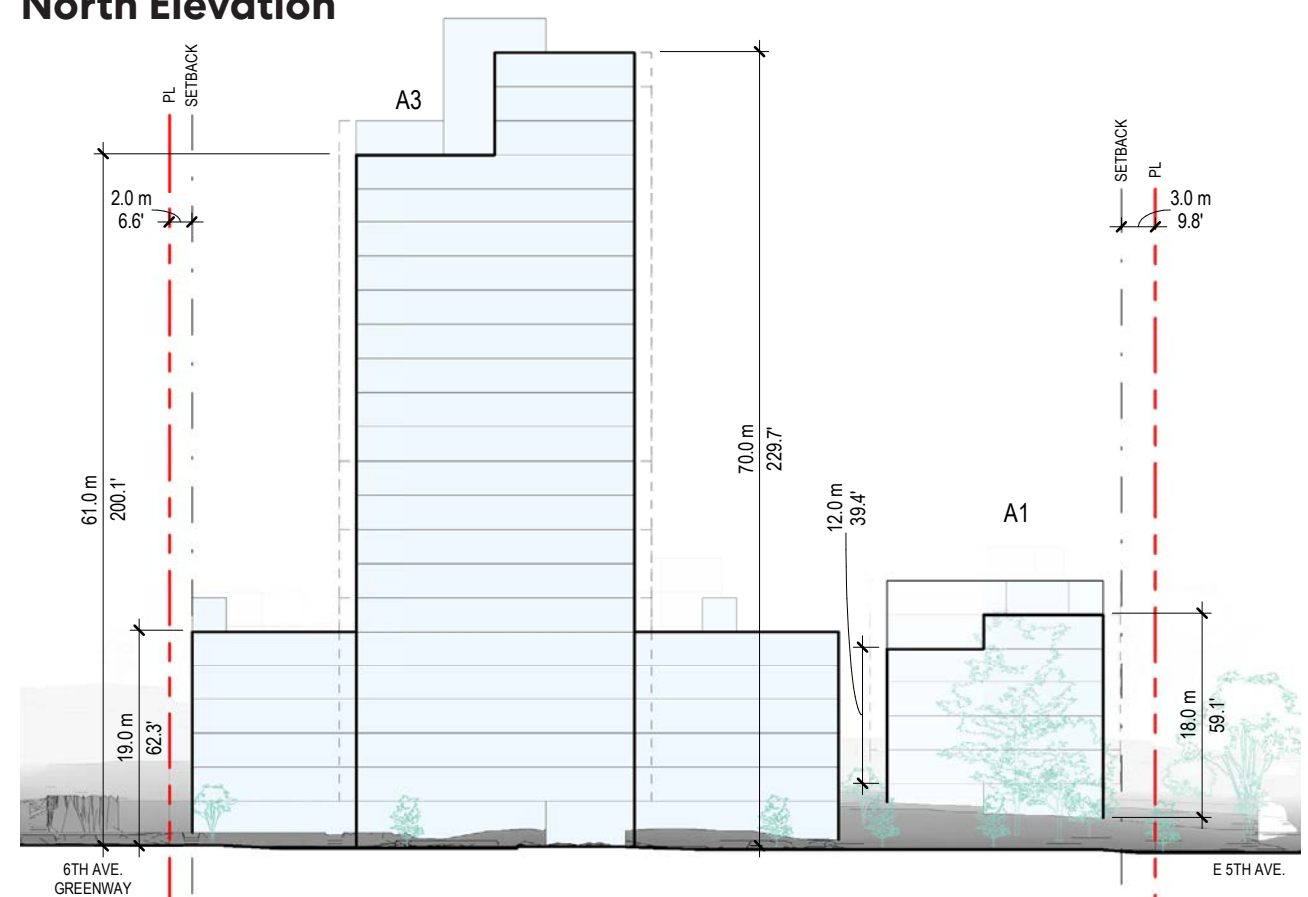
- RESIDENTIAL
- RESIDENTIAL COMMON AREA
- COMMERCIAL
- HUT
- CHILDCARE
- GENERAL COM
- MECHANICAL



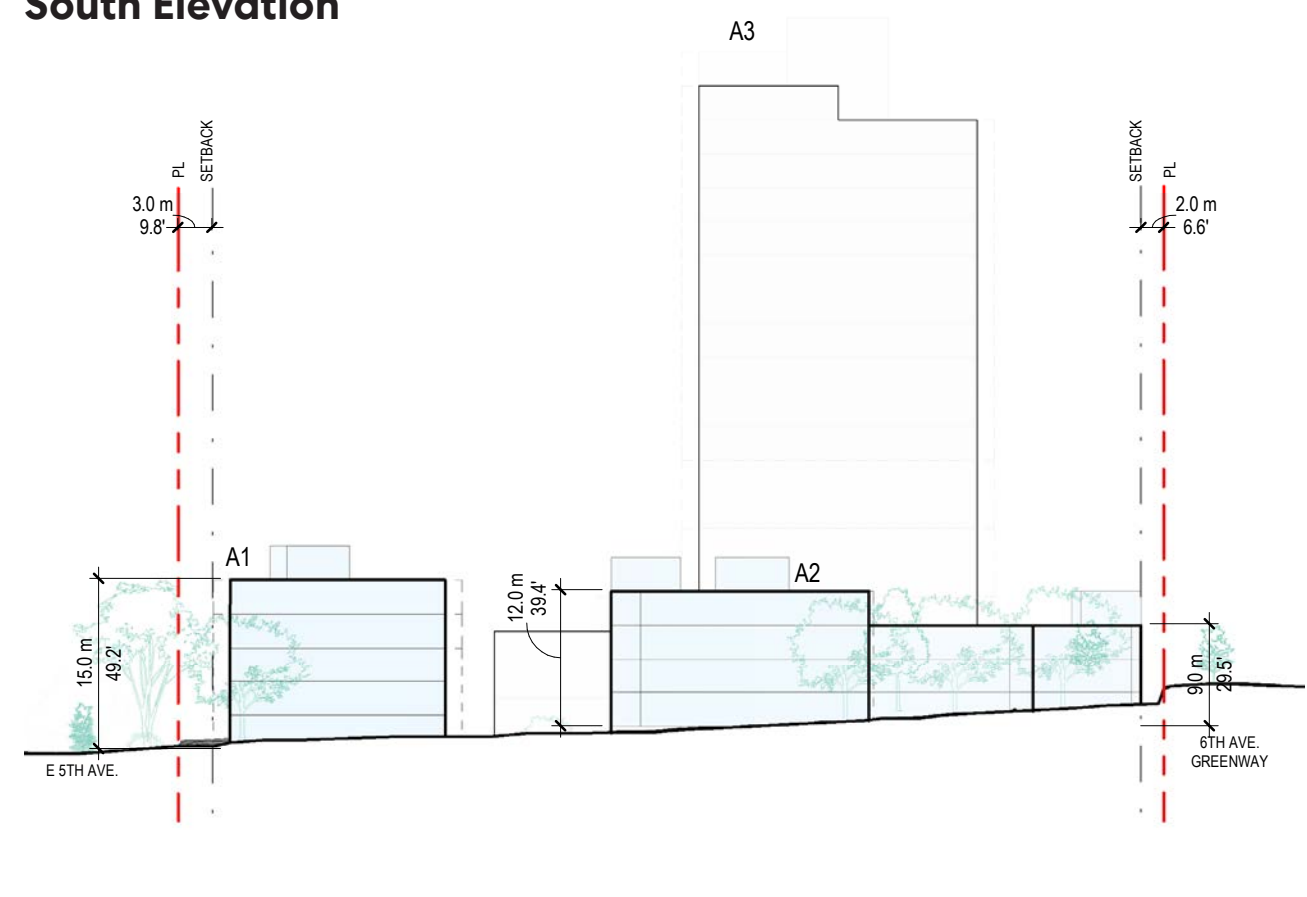
North Elevation



South Elevation

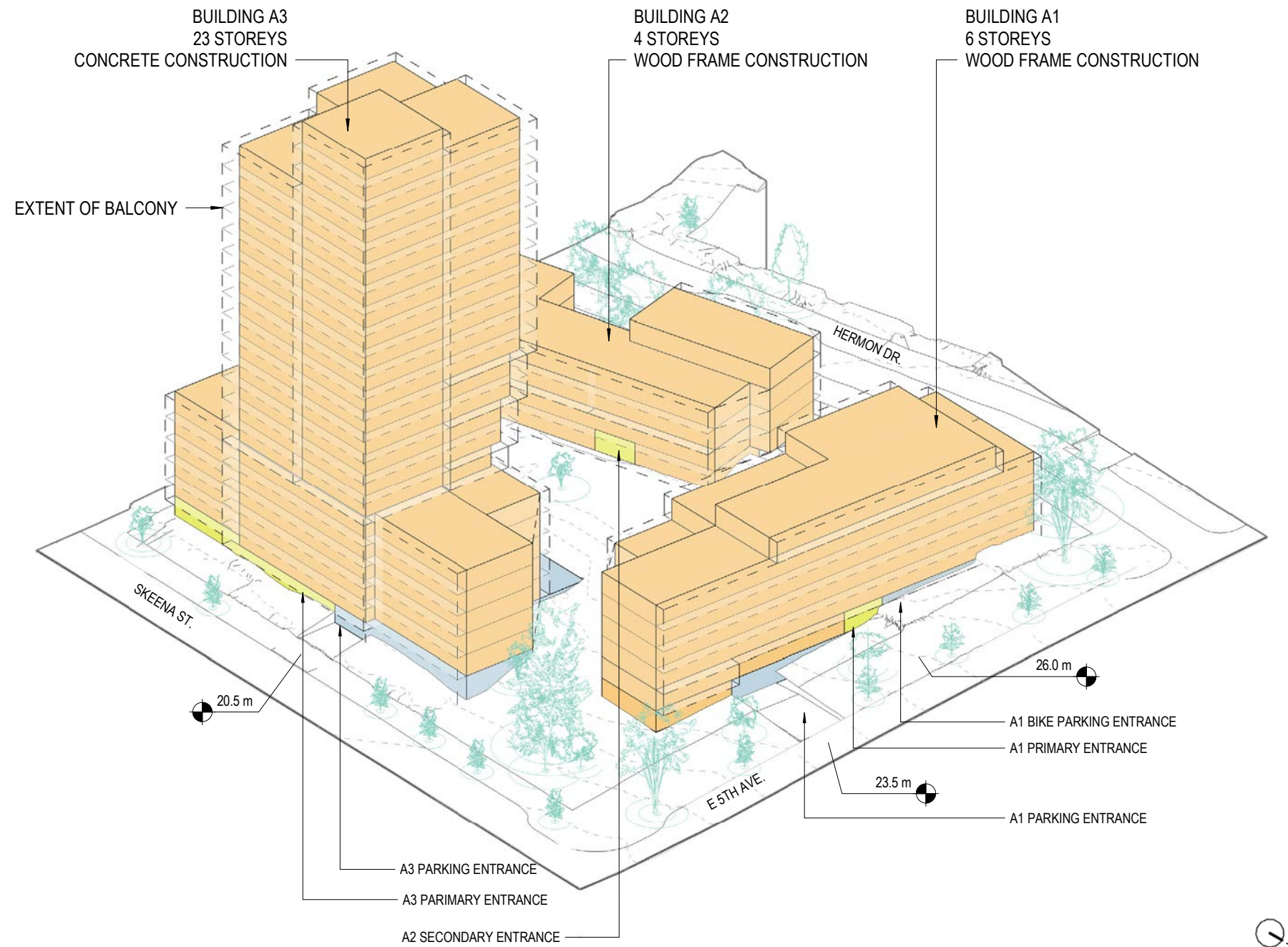


East Elevation

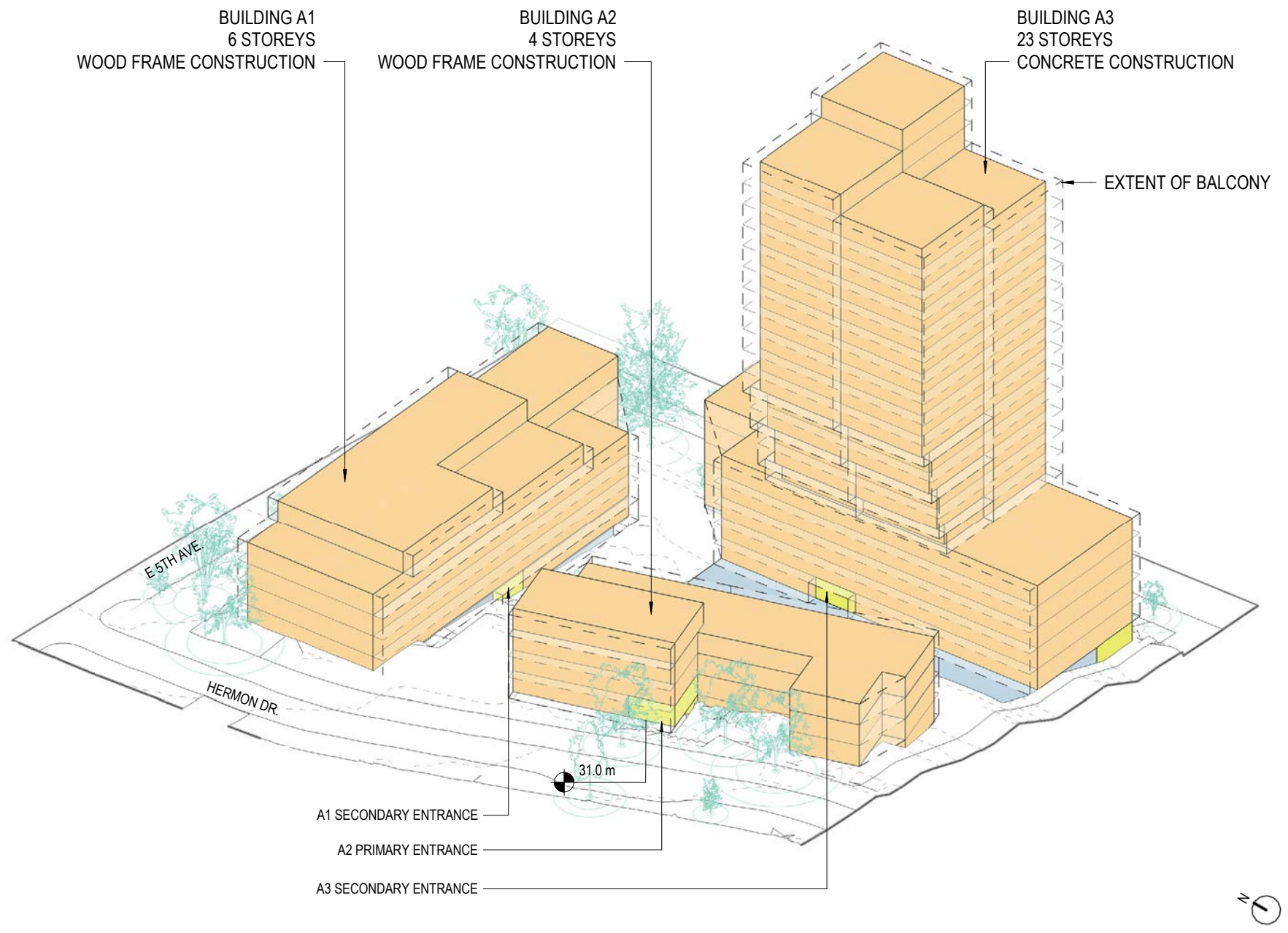


West Elevation

Axonometric Views



Northeast View



Southwest View

Parcel B

Urban Design Role

Parcel B, with its three (3) residential buildings (B1, B2, and B3), anchors the northwest corner of the Skeena Terrace site at the intersection of E 5th Ave and Cassiar St. The entrance to the site from the northwest is via the portal under the B2 building, which links directly to the barrier-free pedestrian path in the "Rolling Hill" neighbourhood room. Parcel B defines the northern boundary of the 6th Ave Mews and a multi-purpose sports field.

Character

Parcel B is comprised of three (3) 4-6 storey residential wood frame buildings offering a mix of RGI and HILS units.

B1 and B2, which are connected through a portal, are six (6) storeys tall and feature two (2) distinct lobbies and cores, one facing Cassiar St. and the other facing 5th Ave. These buildings are 19 m wide and have 1.5 m of balcony space on two sides.

The third building, B3, is 17 m wide and its main entrance is located on Hermon Drive.

B1 and B2 share an underground parking facility accessible from Hermon Drive, which is designed to accommodate the parking needs of all three (3) buildings in Parcel B.

Ground-level units in Parcel B, where terrain permits, have private patios.

The parcel's amenity rooms are strategically placed for direct access to the Neighbourhood room

For open space and public realm character refer to Chapter 3.



Statistics

Parcel B Summary

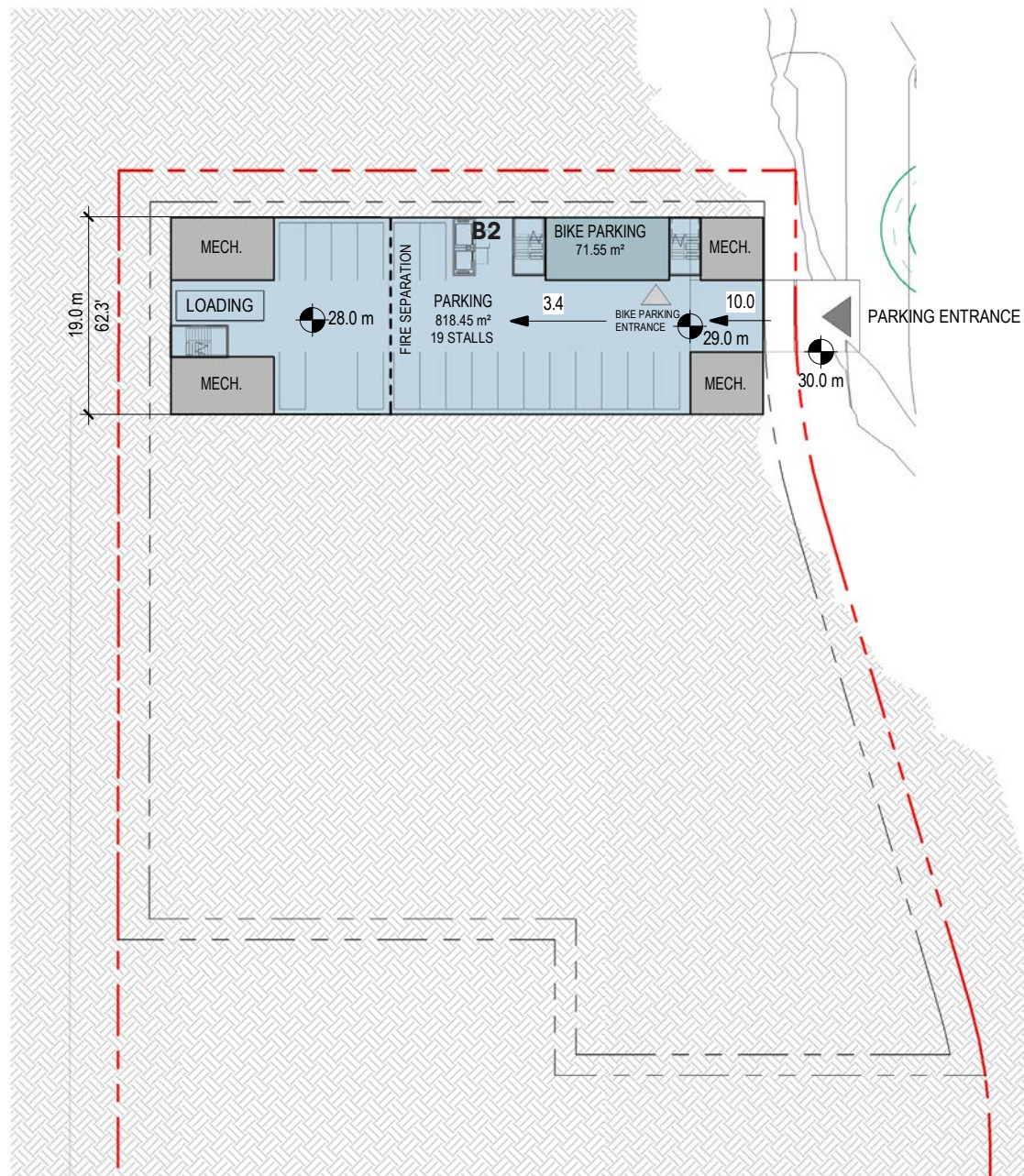
Buildings	B1	B2	B3	TOTAL
Storeys	6	6	5	
Construction	Wood	Wood	Wood	
Parcel Area				61,587
Parcel FSR (Gross)				2.21
Total GFA (ft²)	51,349	51,349	33,422	136,120
Residential GFA	51,349	51,349	33,422	136,120
Commercial GFA	-	-	-	-
Childcare GFA	-	-	-	-
Community GFA	-	-	-	-
Total NFA (ft²)	42,106	42,106	27,406	111,618
Residential NFA @ 80%	42,106	42,106	27,406	111,618
Commercial NFA @ 90%	-	-	-	-
Childcare NFA @ 100%	-	-	-	-
Community NFA @ 100%	-	-	-	-
Unit Mix				
Low Income RGI Units	54	54	25	133
HILS RGI Units	-	-	11	11
Market Units	-	-	-	-
Total Units	54	54	37	145

Parcel B Amenity Space Requirement

Buildings	B1	B2	B3	TOTAL
Number of Spaces		2	1	3
Total Area (ft²)		1,618	760	2,378

Parcel B Residential Unit Mix

Buildings	B1	B2	B3	TOTAL
Residential GFA (ft²)				
Residential NFA @ 80%	42,106	42,106	27,406	111,618
Unit Mix				
Low Income RGI Units	54	54	25	133
HILS RGI Units	-	-	11	11
Market Units	-	-	-	-
TOTAL UNITS	54	54	37	145
NFA Distribution				
Low Income RGI mix	100%	100%	72%	
HILS RGI mix	0%	0%	28%	
Market mix	0%	0%	0%	
RGI Unit Mix	Unit Size (ft²)	Unit Type %	Unit Count	
One-Bedroom	525	30%	16	16
Two-Bedroom	725	30%	16	16
Three-Bedroom	925	30%	16	16
Four-Bedroom	1200	8%	4	4
Five-Bedroom	1300	3%	2	2
RGI Average Unit Size (ft²)	781			
Total RGI Units			54	54
HILS Unit Mix	Unit Size (ft²)	Unit Type %	Unit Count	
One-Bedroom	525	40%	0	0
Two-Bedroom	725	50%	0	0
Three-Bedroom	925	10%	0	0
HILS Average Unit Size (ft²)	665			
Total HILS Units			0	0
Market Unit Mix	Unit Size (ft²)	Unit Type %	Unit Count	
Market Studio	400	5%	0	0
Market One-Bedroom	500	40%	0	0
Market Two-Bedroom	725	45%	0	0
Market Three-Bedroom	850	10%	0	0
Market Average Unit Size (ft²)	631			
Total Market Units			0	0



Elevation +30m Plan

B2 Level P1 (+28m)



Elevation +33m Plan

B2 Level O1 (+33m)

B3 Level O1(+32m)

DESIGN GUIDELINES

	RESIDENTIAL		OPEN BALCONY
	RESIDENTIAL COMMON AREA		BIKE PARKING
	AMENITY		PARKING
	COMMERCIAL		MECHANICAL
	HUT		POTENTIAL PUBLIC VERTICAL TRANSPORT
	CHILDCARE		EXTENT OF BALCONY

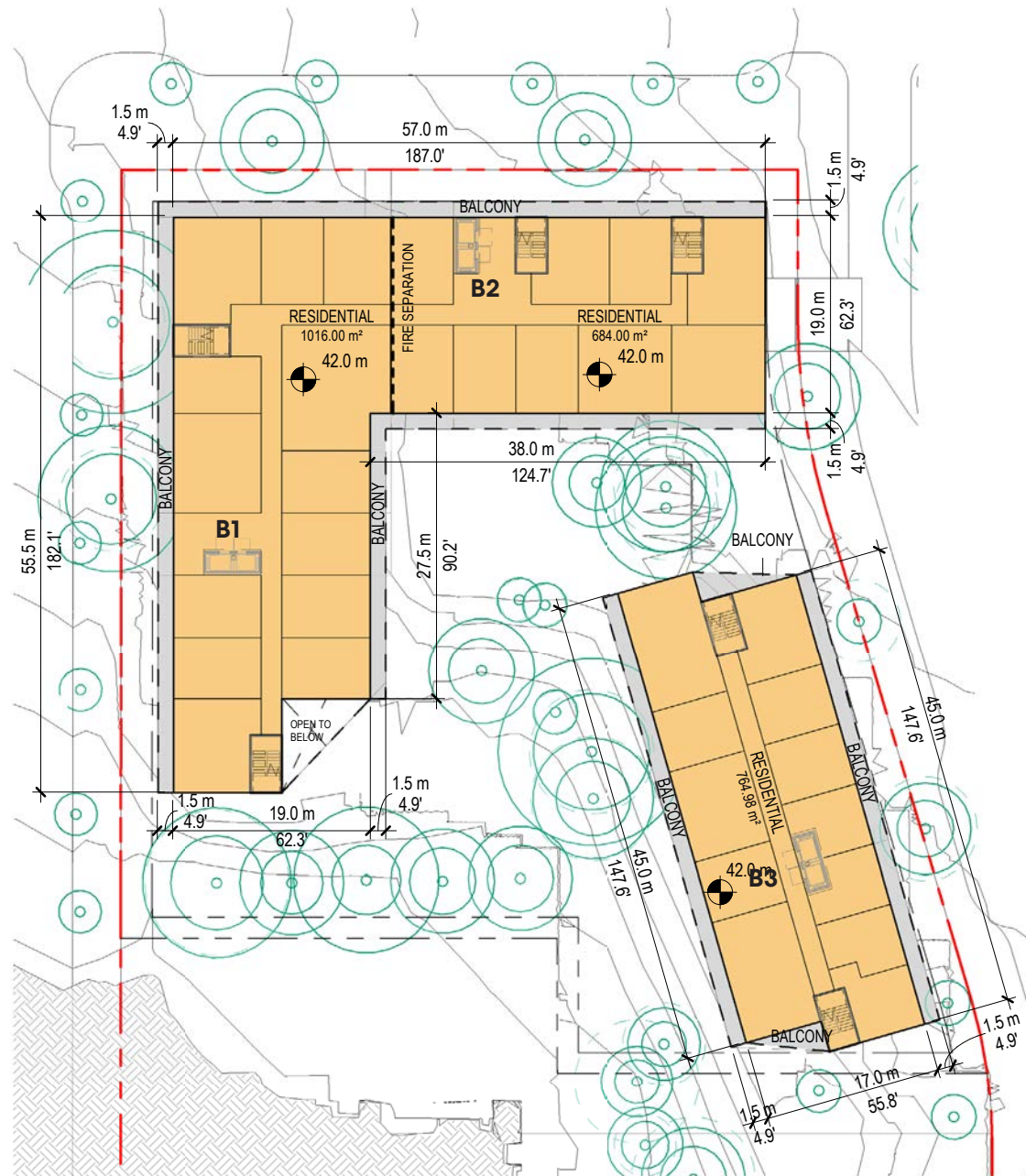


Elevation +36m Plan

- B1 Level Lower (+35m)
- B2 Level O2 (+36m)
- B3 Level O2 (+36m)

Elevation +39m Plan

- B1 Level O1 (+39m)
- B2 Level O3 (+39m)
- B3 Level O3 (+39m)

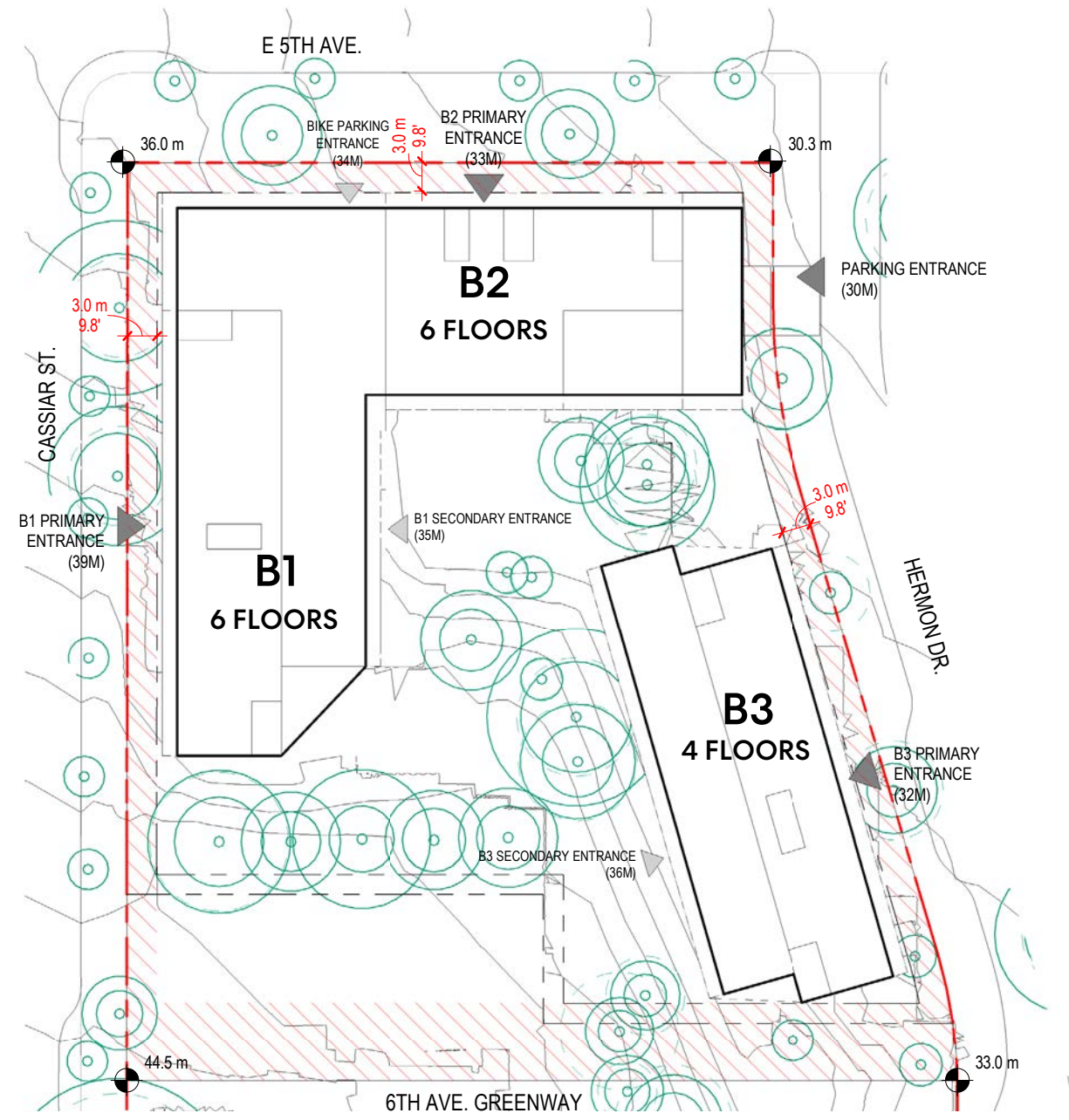


Elevation +42m Plan

B1 Level 02 (+42m)

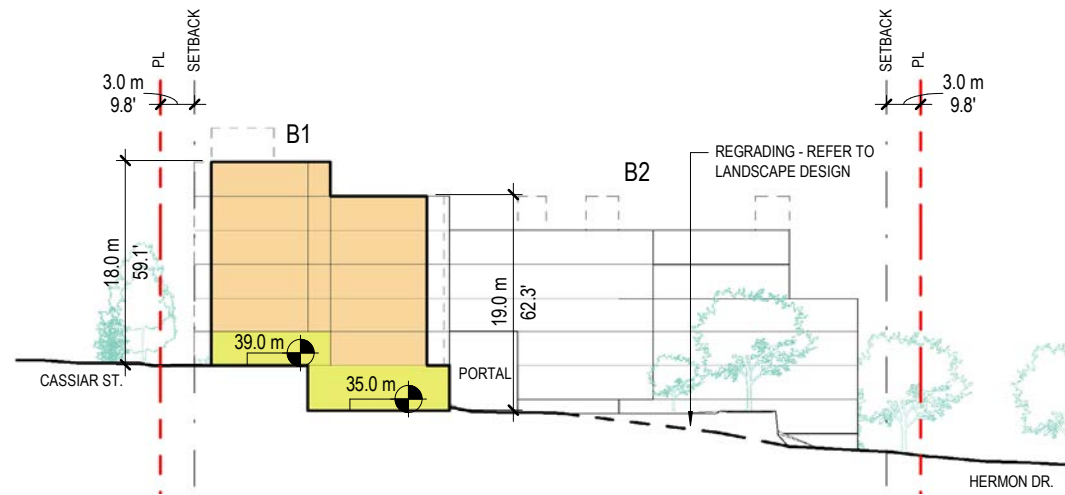
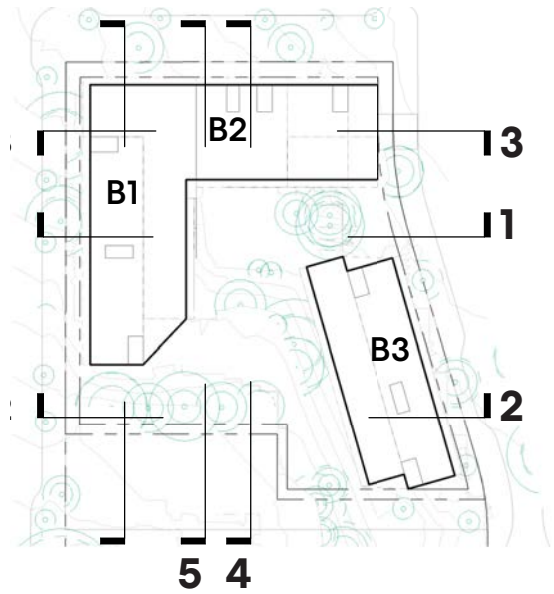
B2 Level 04 (+42m)

B3 Level 04 (+42m)

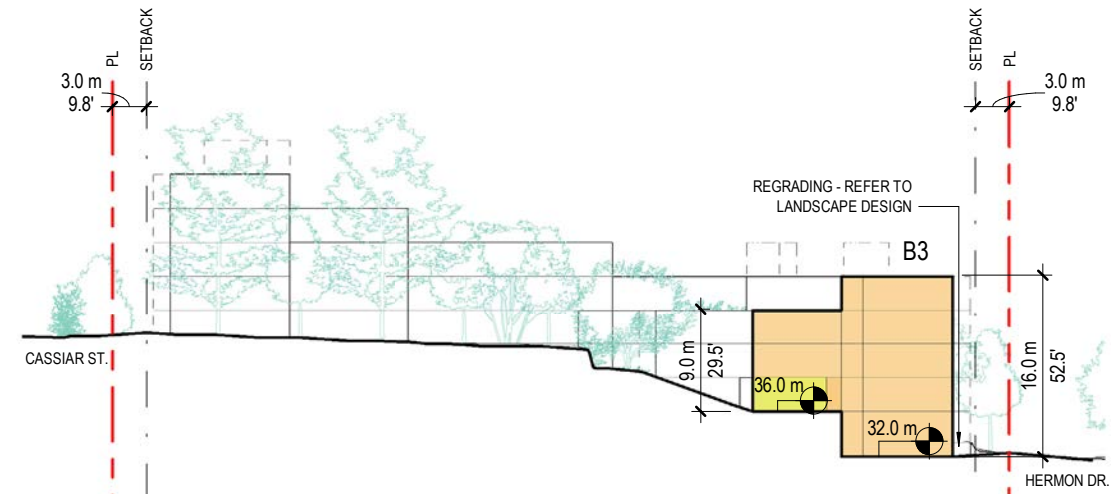


Roof Plan & Setbacks

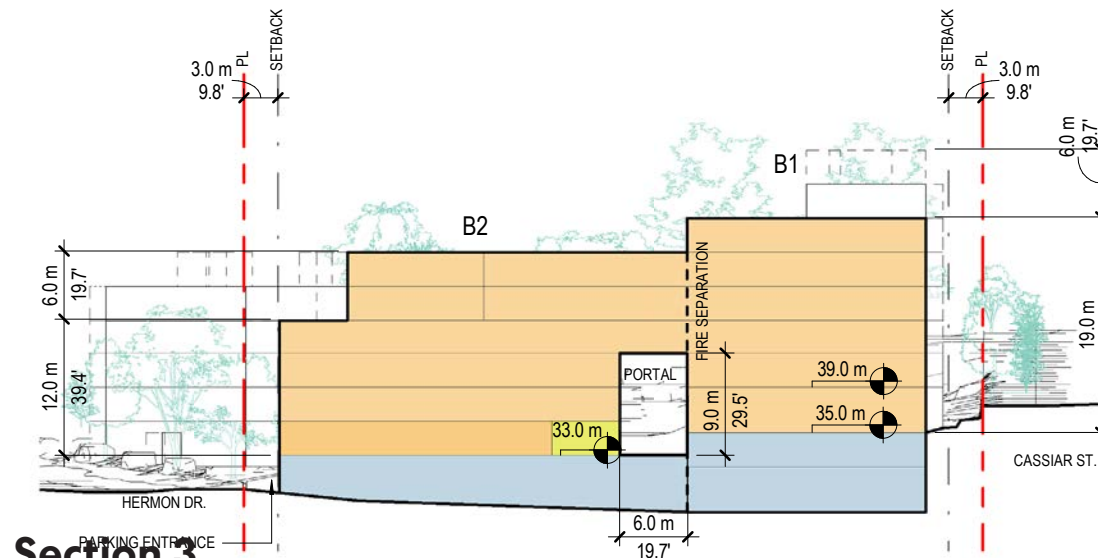
Sections



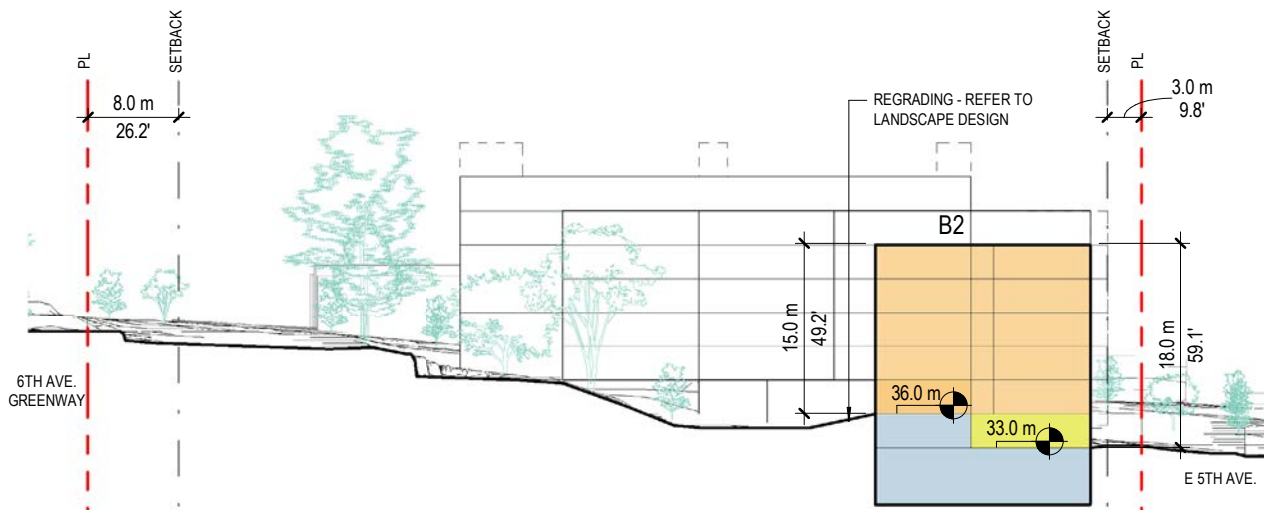
Section 1



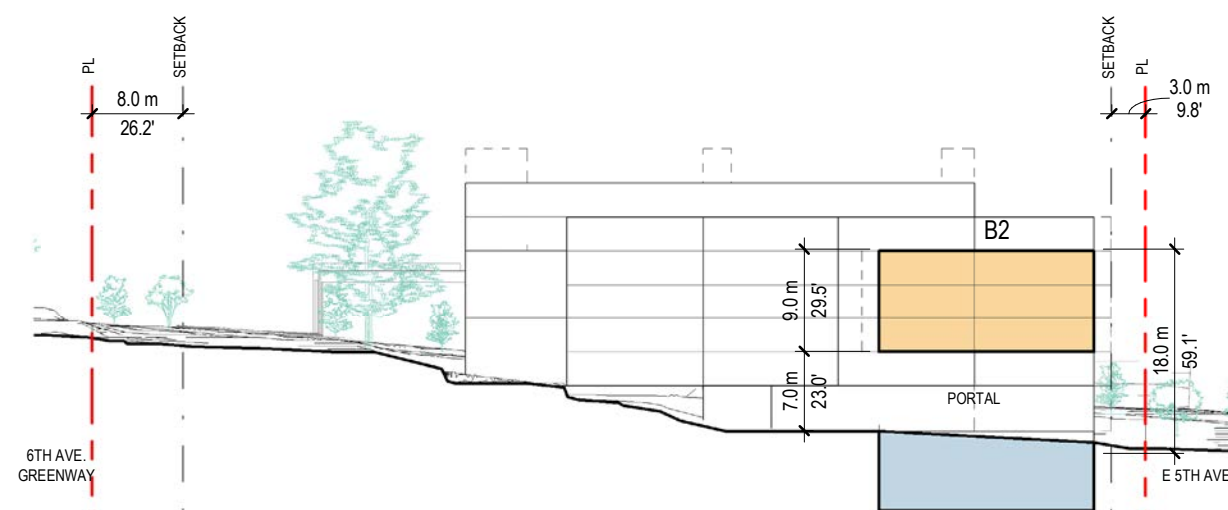
Section 2



Section 3



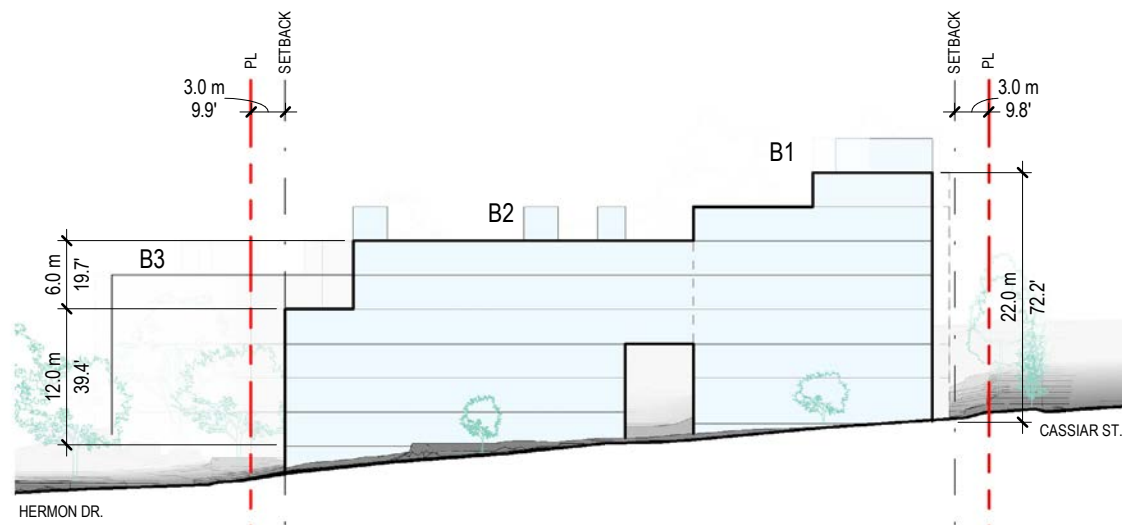
Section 4



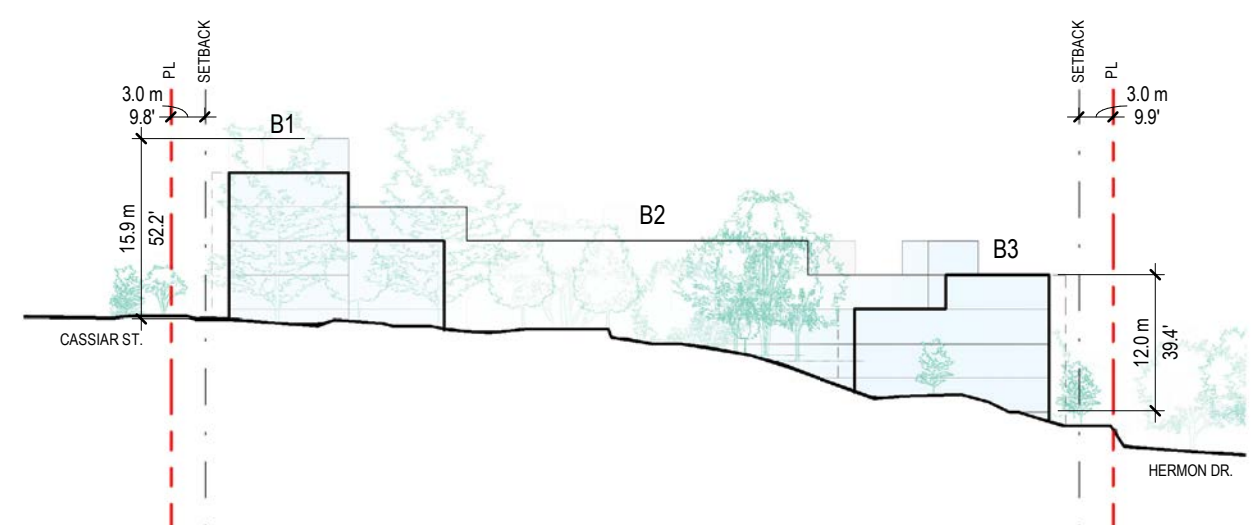
Section 5

- RESIDENTIAL
- RESIDENTIAL COMMON AREA
- COMMERCIAL
- HUT
- CHILDCARE
- GENERAL CONY
- MECHANICAL

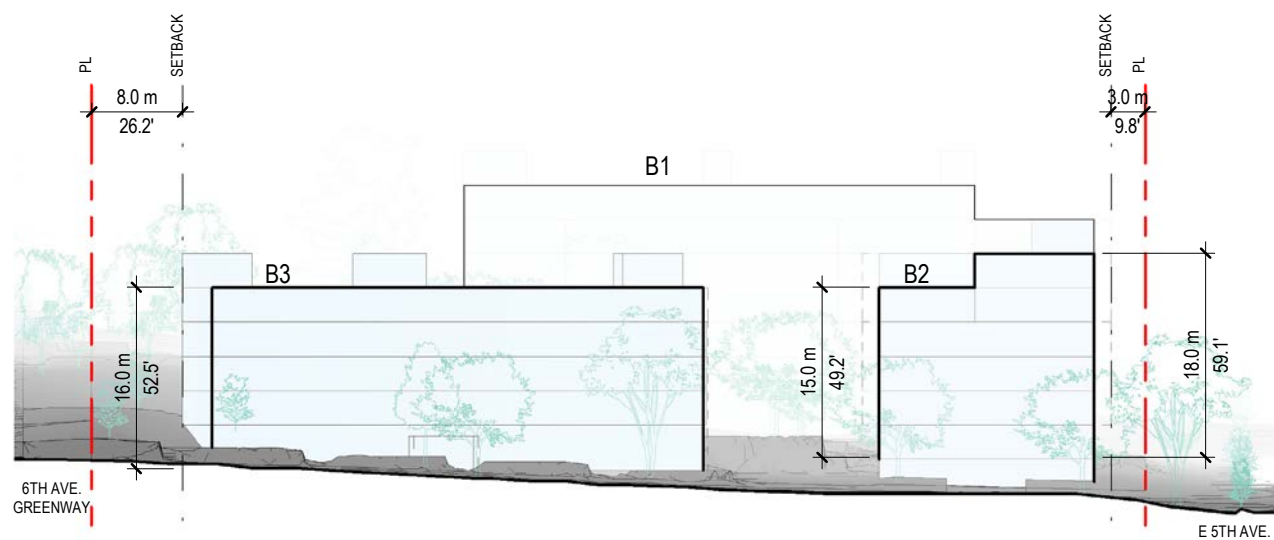
Elevations



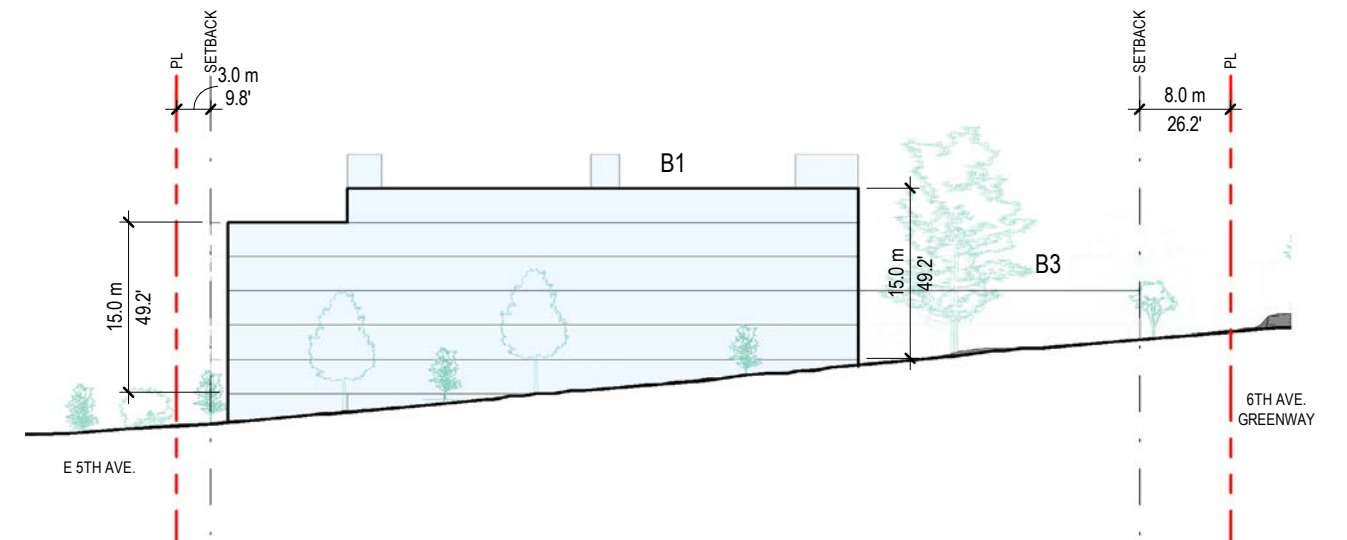
North Elevation



South Elevation

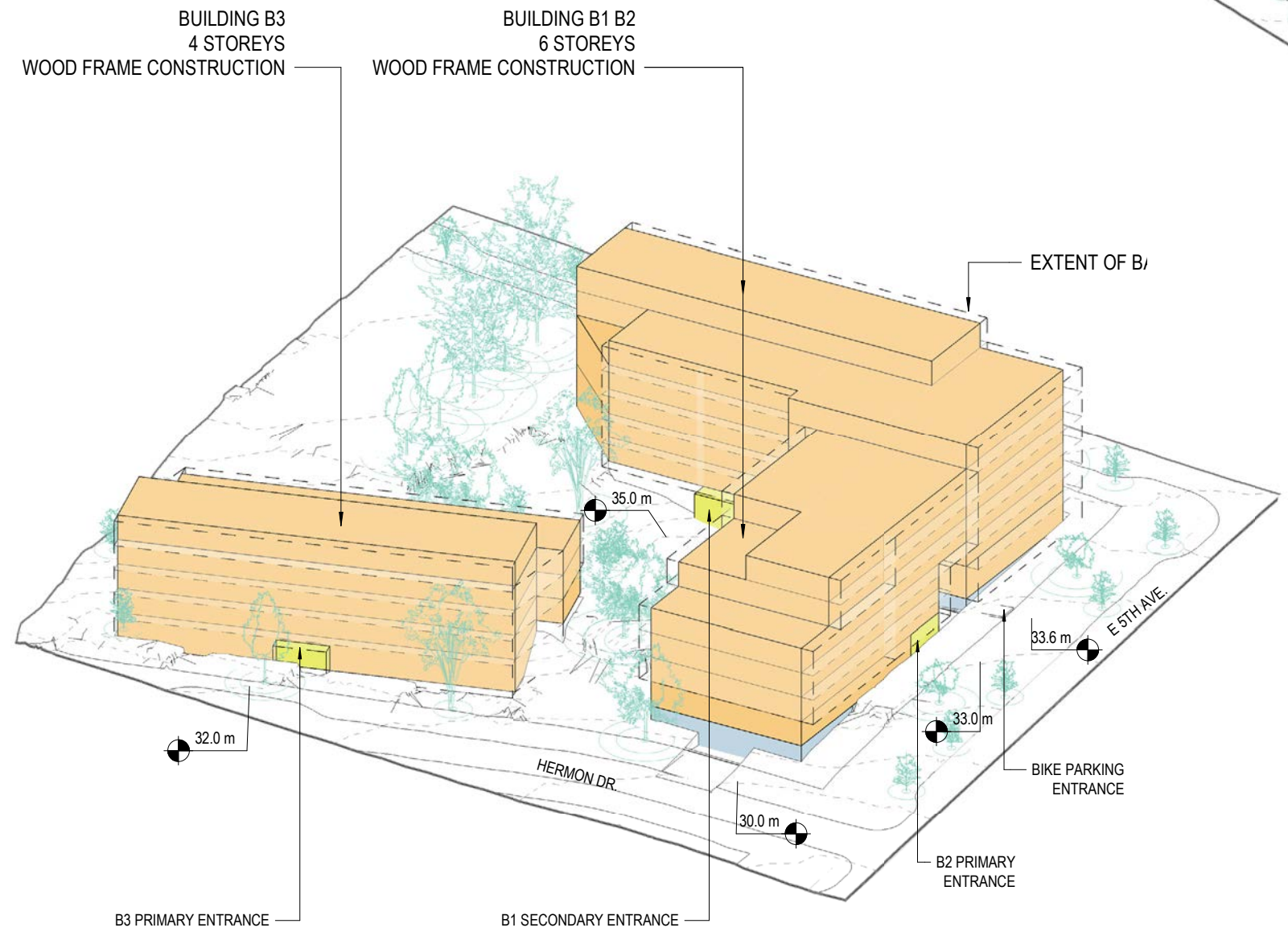


East Elevation

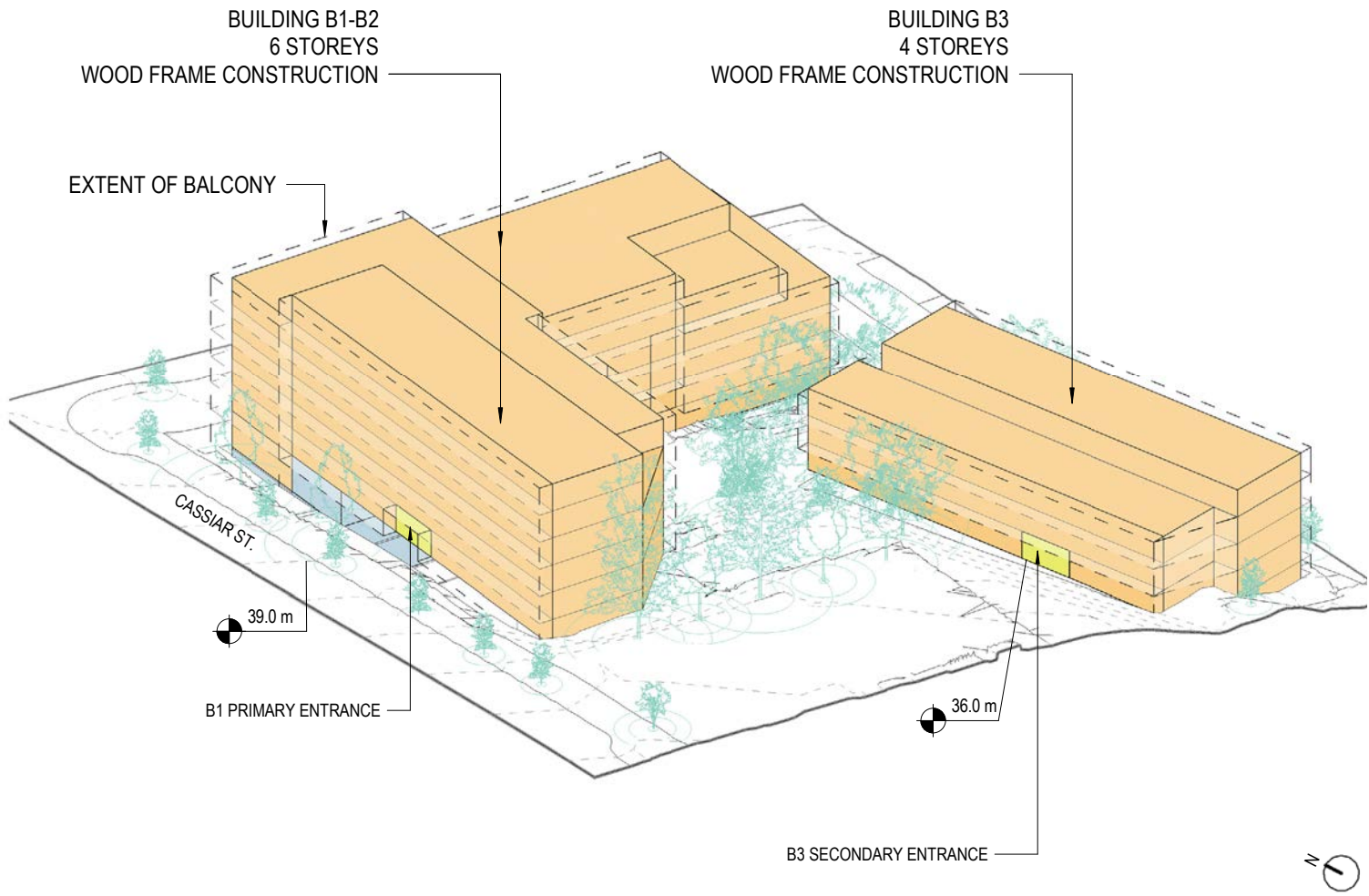


West Elevation

Axonometric Views



Northeast View



Southwest View

Parcel C

Urban Design Role

Phase 3 of the project, Parcel C, consists of two (2) buildings: C1 and C2.

This parcel is situated on the western side of Skeena Terrace and is bordered by the 6th Ave Mews to the north and the Still Creek Greenway to the south, both of which are major open spaces on the site with public access.

The C1 and C2 buildings form the eastern and western sides of the "Terraces" neighbourhood room.

Located across the street from the Thunderbird Community Centre and Elementary School on Cassiar Street, Parcel C is well-positioned near community amenities. Given its proximity, building C1 has been designated to include a childcare facility on the podium level, as well as seven (7) licensed family childcare units on the ground floor.

C1, with its ground-level retail, serves as a hub for activity on the northern edge of the Community Plaza.

Character

C1 is a 10-storey concrete building with its main entrance located on Cassiar Street. C2 is a 6-storey wood-frame building and has its primary entry on Hermon Drive. The design of C2's top is stepped, following the slope of the ground and slanting downwards towards Hermon Drive.

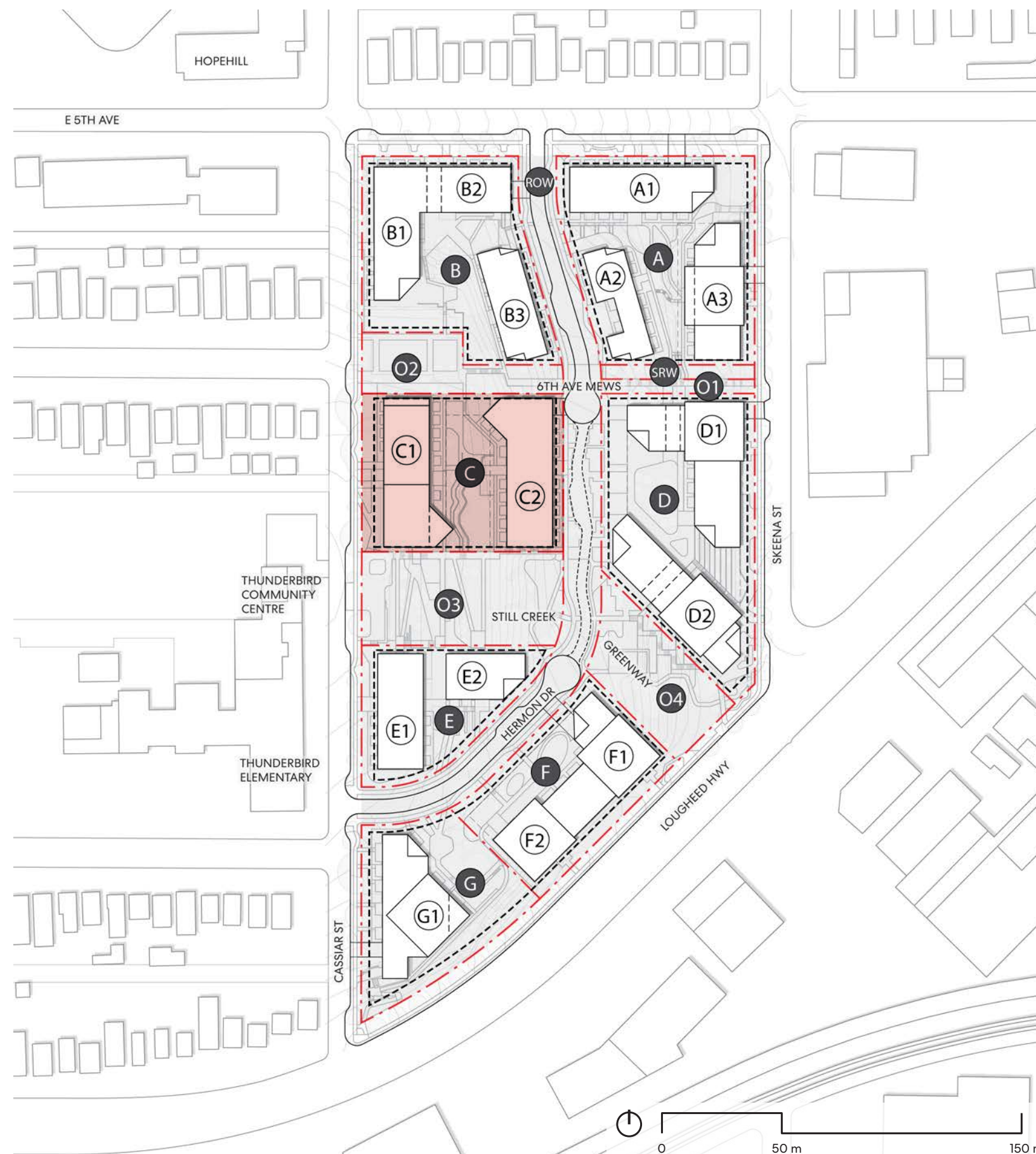
Both buildings, C1 and C2, consist of a mix of HILS and market rental units.

The buildings are 19 m wide, with an additional 1.5 m on each side reserved for balconies.

The two (2) buildings wrap around the "Terraces" neighbourhood room with secondary entries from the neighbourhood room. The amenity rooms in this parcel are placed in a strategic manner on ground levels, affording direct access to the neighbourhood room. Wherever the terrain allows, ground-level units boast private patios.

C1 and C2 share an underground parking facility that can be accessed from Hermon Drive through an underground tunnel connecting to the parking under C1. This parking facility is of adequate size, utilizing a district parking approach to serve the tenants of Parcel C and fulfilling the parking and loading requirements for childcare and retail facilities.

For open space and public realm character refer to Chapter 3.



Statistics

Parcel C Summary

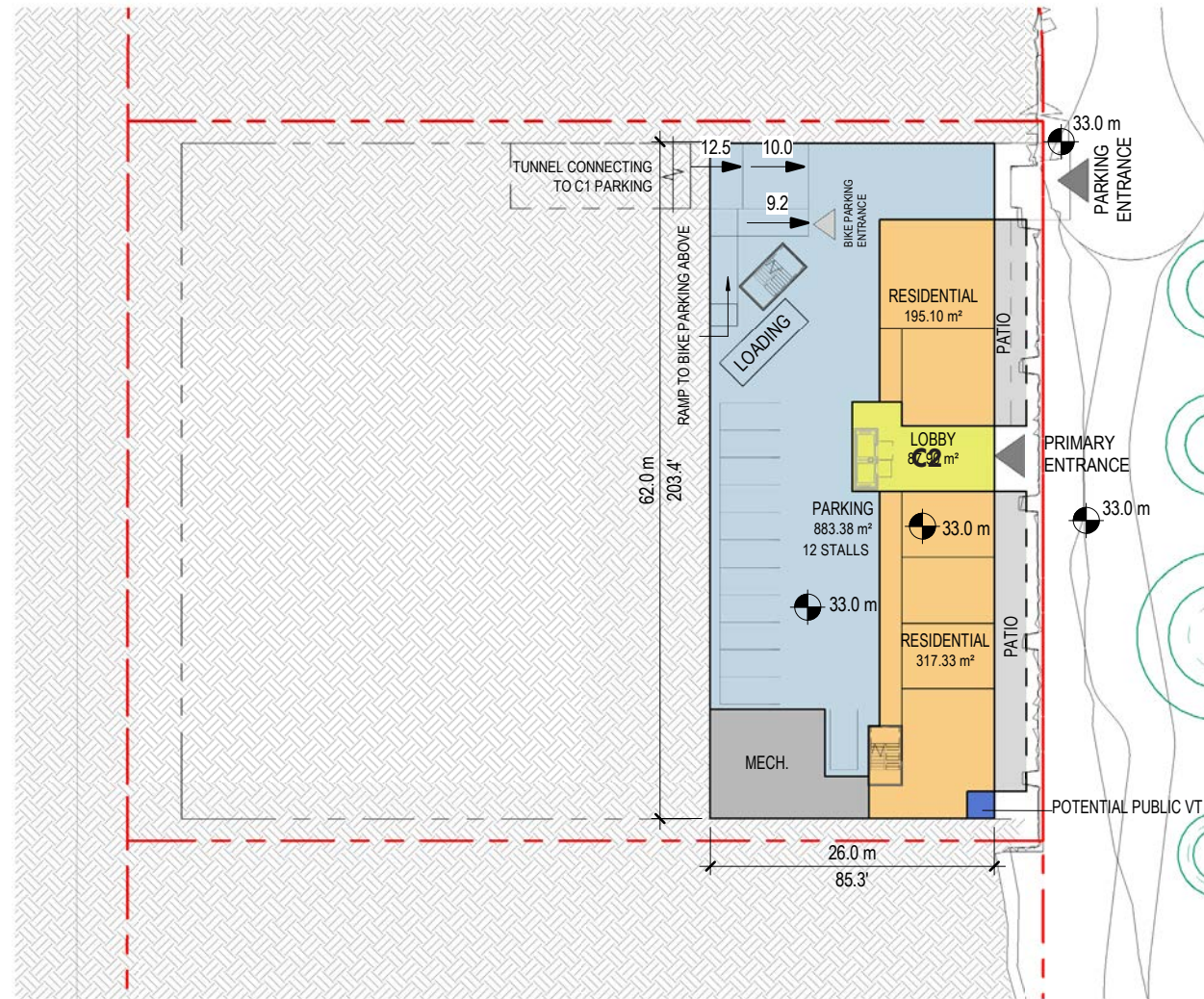
Buildings	C1	C2	TOTAL
Stores	12	6	
Construction	Concrete	Wood	
Parcel Area			59,656
Parcel FSR (Gross)			3.09
Total GFA (ft²)	118,068	66,295	184,363
Residential GFA	101,782	66,295	168,077
Commercial GFA	5,468	-	5,468
Childcare GFA	10,818	-	10,818
Community GFA	-	-	-
Total NFA (ft²)	99,200	54,362	153,562
Residential NFA @ 80%	83,461	54,362	137,823
Commercial NFA @ 90%	4,921	-	4,921
Childcare NFA @ 100%	10,818	-	10,818
Community NFA @ 100%	-	-	-
Unit Mix			
Low Income RGI Units	-	-	-
HILS RGI Units	82	41	122
Market Units	46	43	89
Total Units	128	84	212

Parcel C Amenity Space Requirement

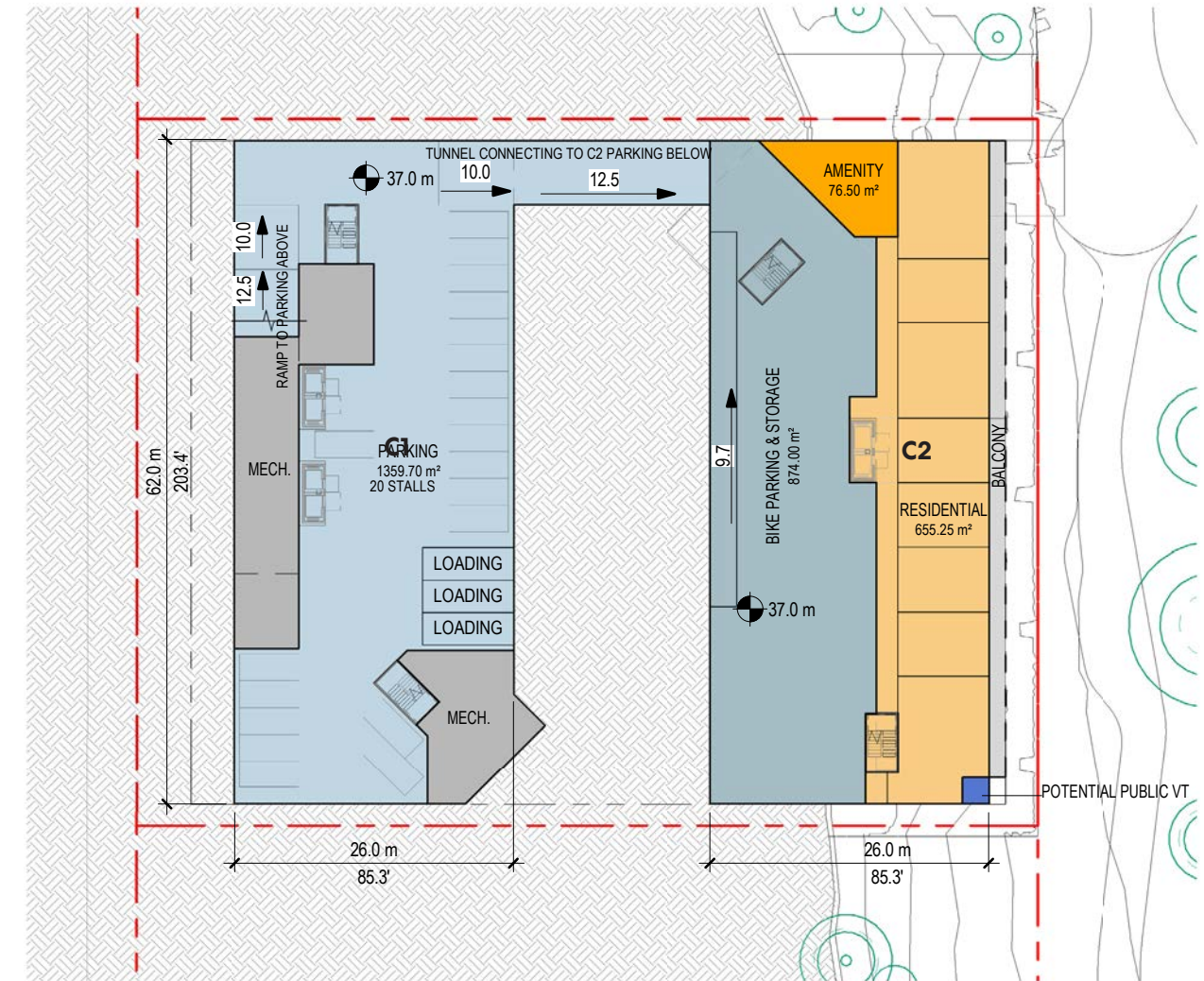
Buildings	C1	C2	TOTAL
Number of Spaces	2	2	4
Total Area (ft²)	1,918	1,500	3,418

Parcel C Residential Unit Mix

Buildings	C1	C2	TOTAL
Residential GFA (ft²)	101,782	66,295	168,077
Residential NFA @ 80%	83,461	54,362	137,823
Unit Mix			
Low Income RGI Units	-	-	-
HILS RGI Units	82	41	122
Market Units	46	43	89
TOTAL UNITS	128	84	212
NFA Distribution			
Low Income RGI mix	0%	0%	
HILS RGI mix	65%	50%	
Market mix	35%	50%	
RGI Unit Mix	Unit Size (ft²)	Unit Type %	Unit Count
One-Bedroom	525	30%	0
Two-Bedroom	725	30%	0
Three-Bedroom	925	30%	0
Four-Bedroom	1200	8%	0
Five-Bedroom	1300	3%	0
RGI Average Unit Size (ft²)	781		
Total RGI Units	0	0	0
HILS Unit Mix	Unit Size (ft²)	Unit Type %	Unit Count
One-Bedroom	525	40%	33
Two-Bedroom	725	50%	41
Three-Bedroom	925	10%	8
HILS Average Unit Size (ft²)	665		
Total HILS Units	82	41	122
Market Unit Mix	Unit Size (ft²)	Unit Type %	Unit Count
Market Studio	400	5%	2
Market One-Bedroom	500	40%	19
Market Two-Bedroom	725	45%	21
Market Three-Bedroom	850	10%	5
Market Average Unit Size (ft²)	631		
Total Market Units	46	43	89



Elevation +33m Plan
C2 Level 01 (+33m)



Elevation +37m Plan
C1 Level P3 (+37m)
C2 Level 02 (+37m)

DESIGN GUIDELINES

- RESIDENTIAL
- RESIDENTIAL COMMON AREA
- AMENITY
- COMMERCIAL
- HUT
- CHILDCARE
- OPEN BALCONY
- BIKE PARKING
- PARKING
- MECHANICAL
- POTENTIAL PUBLIC VERTICAL TRANSPORT
- EXTENT OF BALCONY



Elevation +41m Plan
 C1 Level P2 (+41m)
 C2 Level O3 (+41m)



Elevation +44m Plan
 C1 Level P1 (+44m)
 C2 Level O4 (+44m)



Elevation +47m Plan

C1 Level 01 (+47m)

C2 Level 05 (+47m)















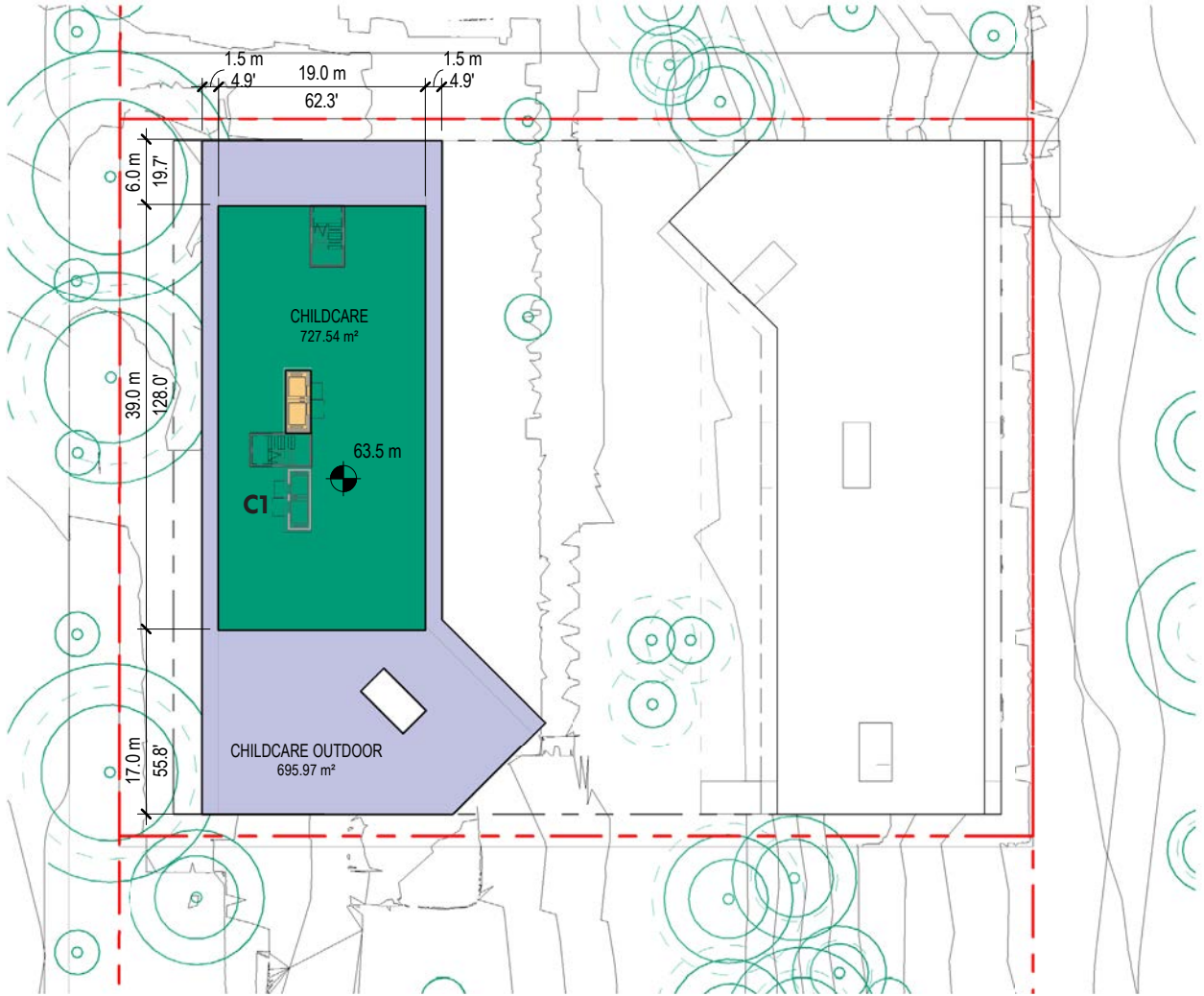
Elevation +51m Plan

C1 Level 02 (+51m)

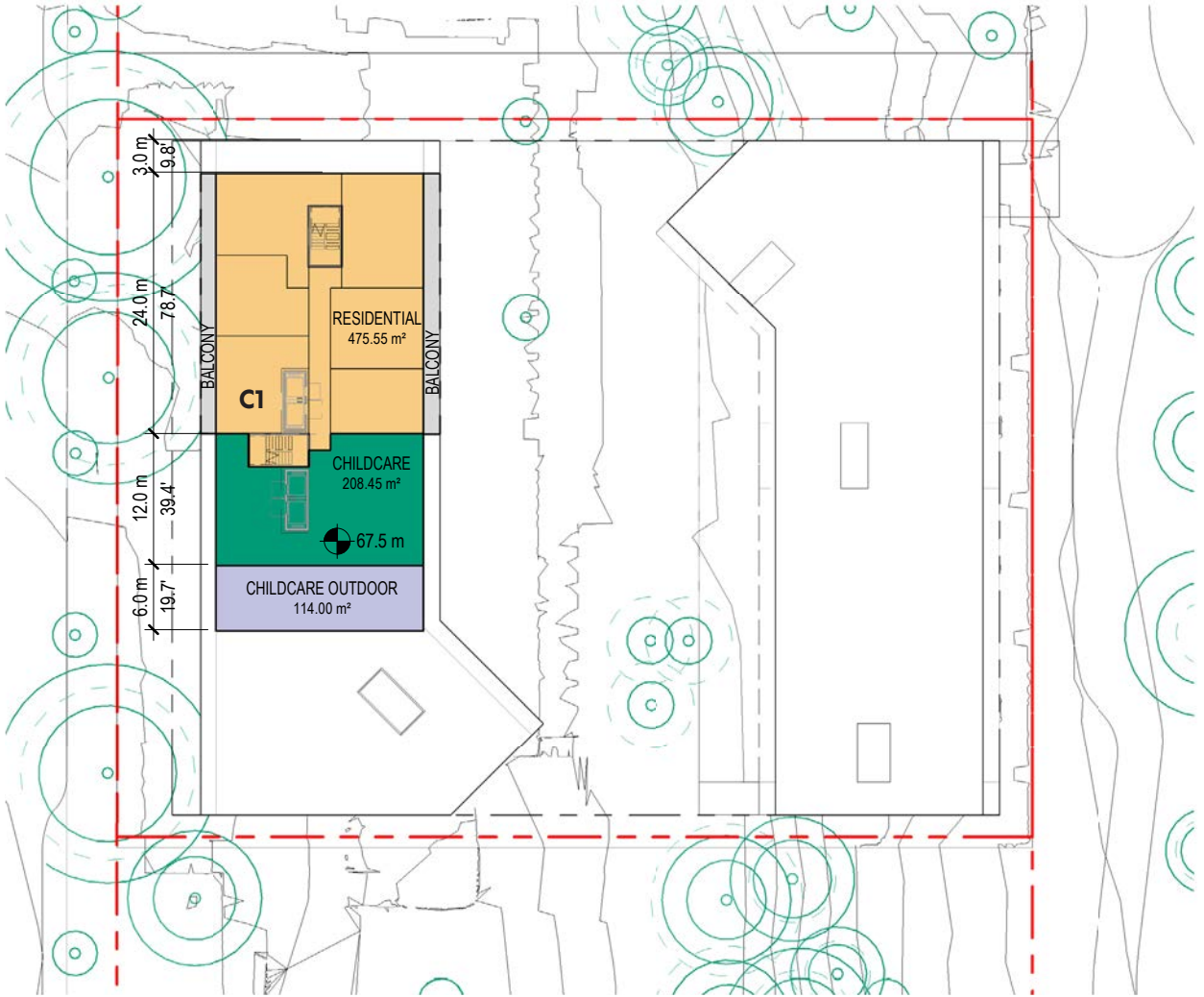
C2 Level 06 (+50m)

DESIGN GUIDELINES

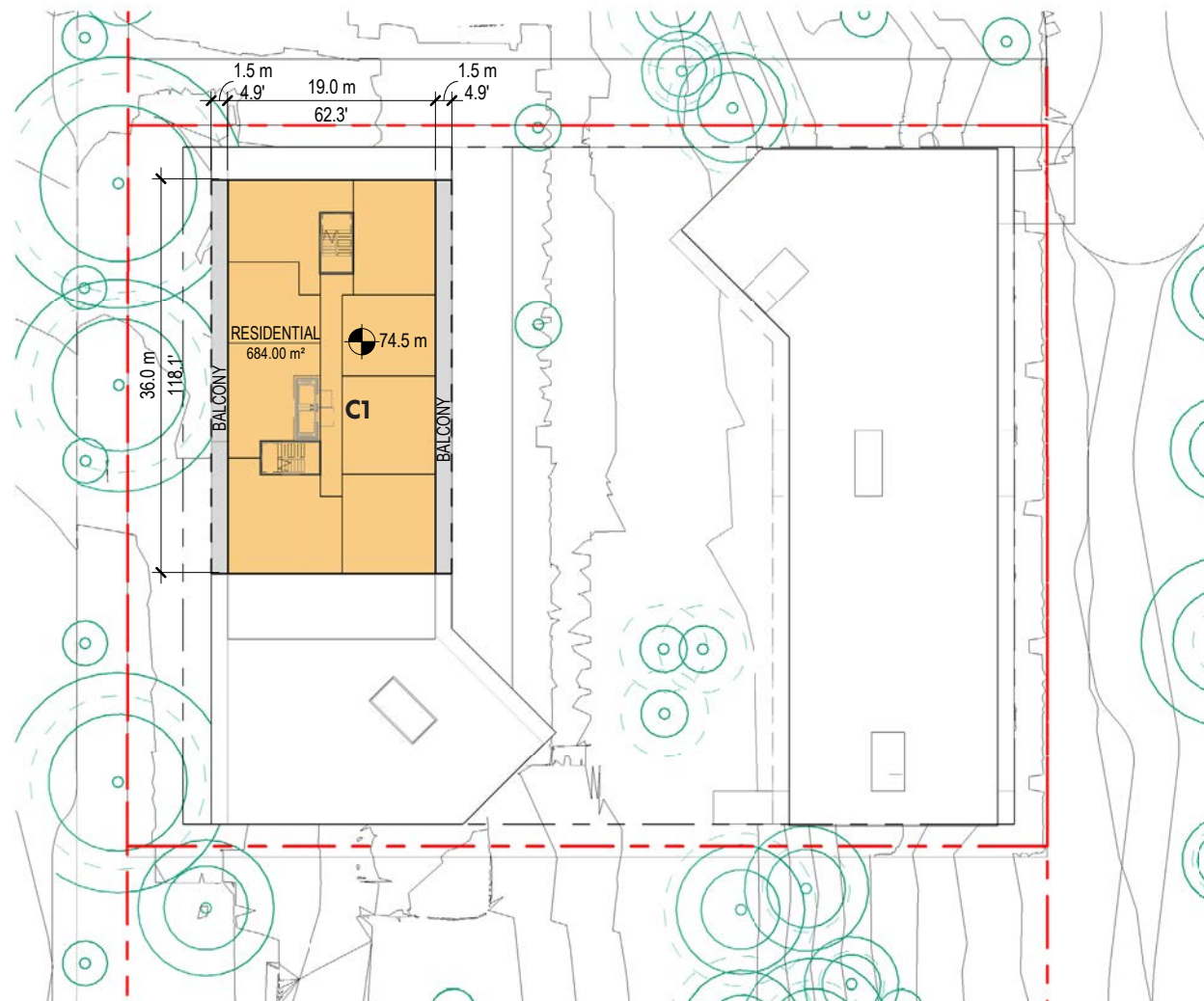
- | | |
|---|---|
|  RESIDENTIAL |  OPEN BALCONY |
|  RESIDENTIAL COMMON AREA |  BIKE PARKING |
|  AMENITY |  PARKING |
|  COMMERCIAL |  MECHANICAL |
|  HUT |  POTENTIAL PUBLIC VERTICAL TRANSPORT |
|  CHILDCARE |  EXTENT OF BALCONY |



Elevation +63m Plan
C1 Level 06 (+63m)

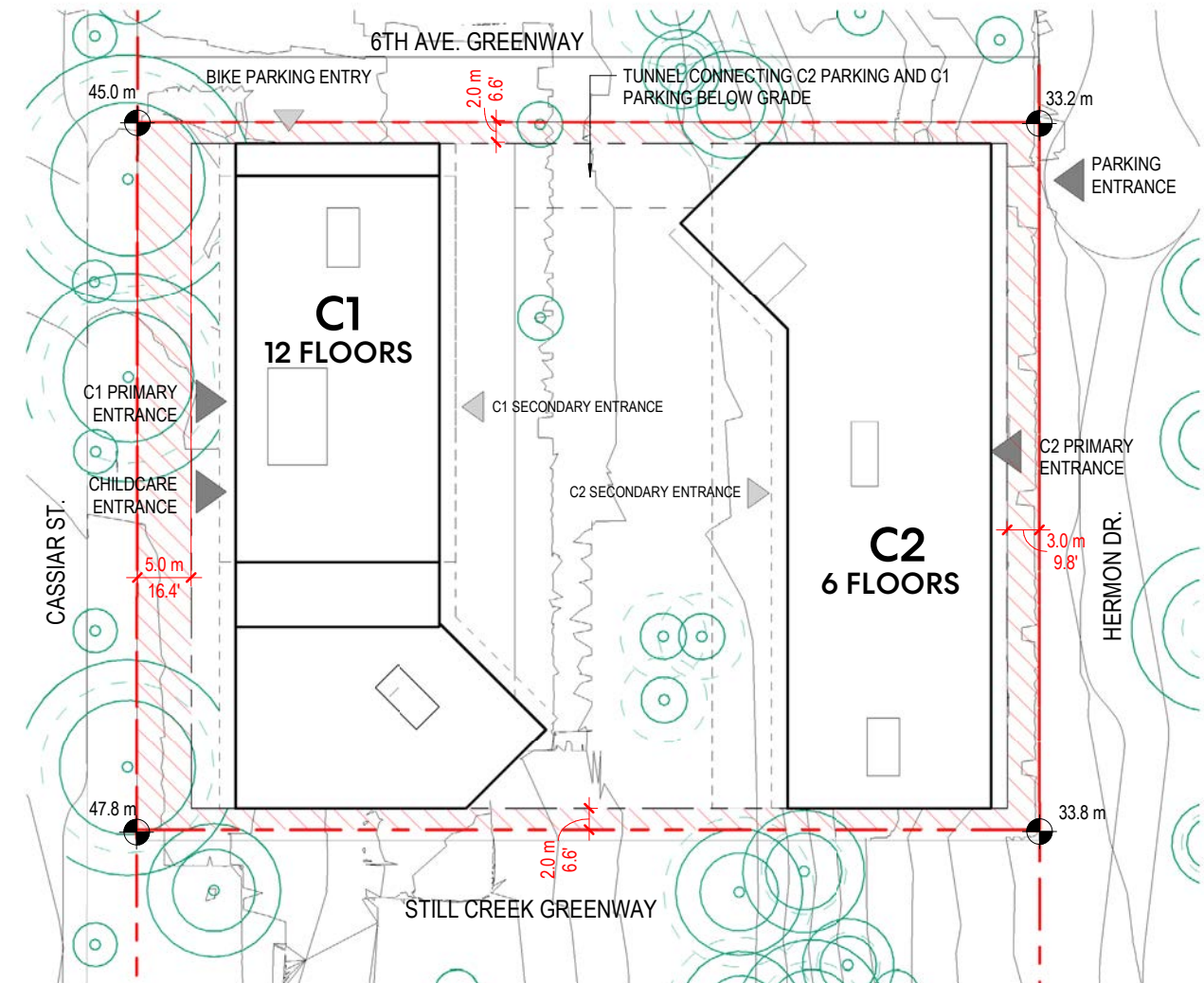


Elevation +66m Plan
C1 Level 07 (+66m)



Elevation +72m Plan

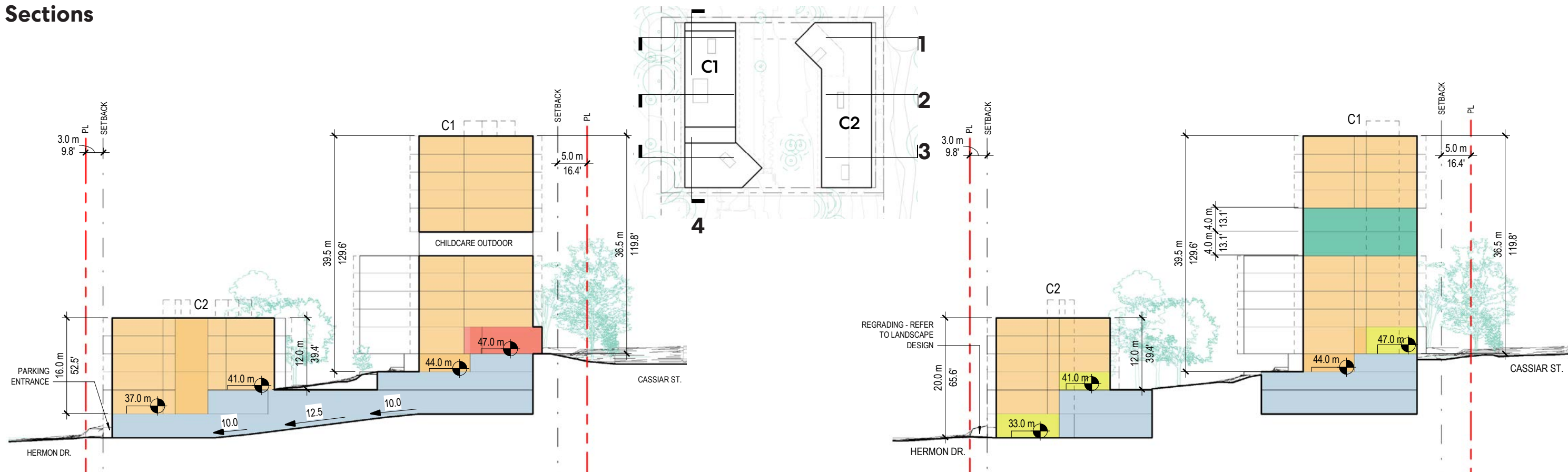
C1 Level 09 (+72m)



Roof Plan & Setbacks

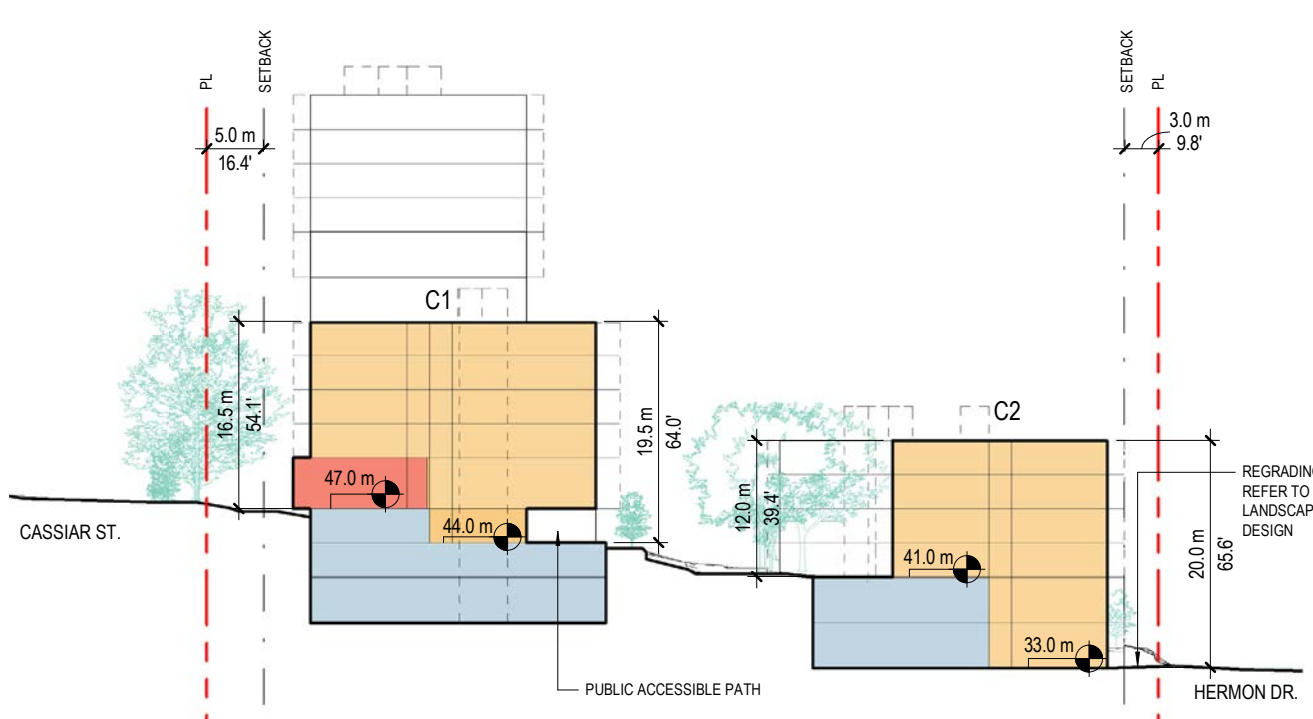
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Sections

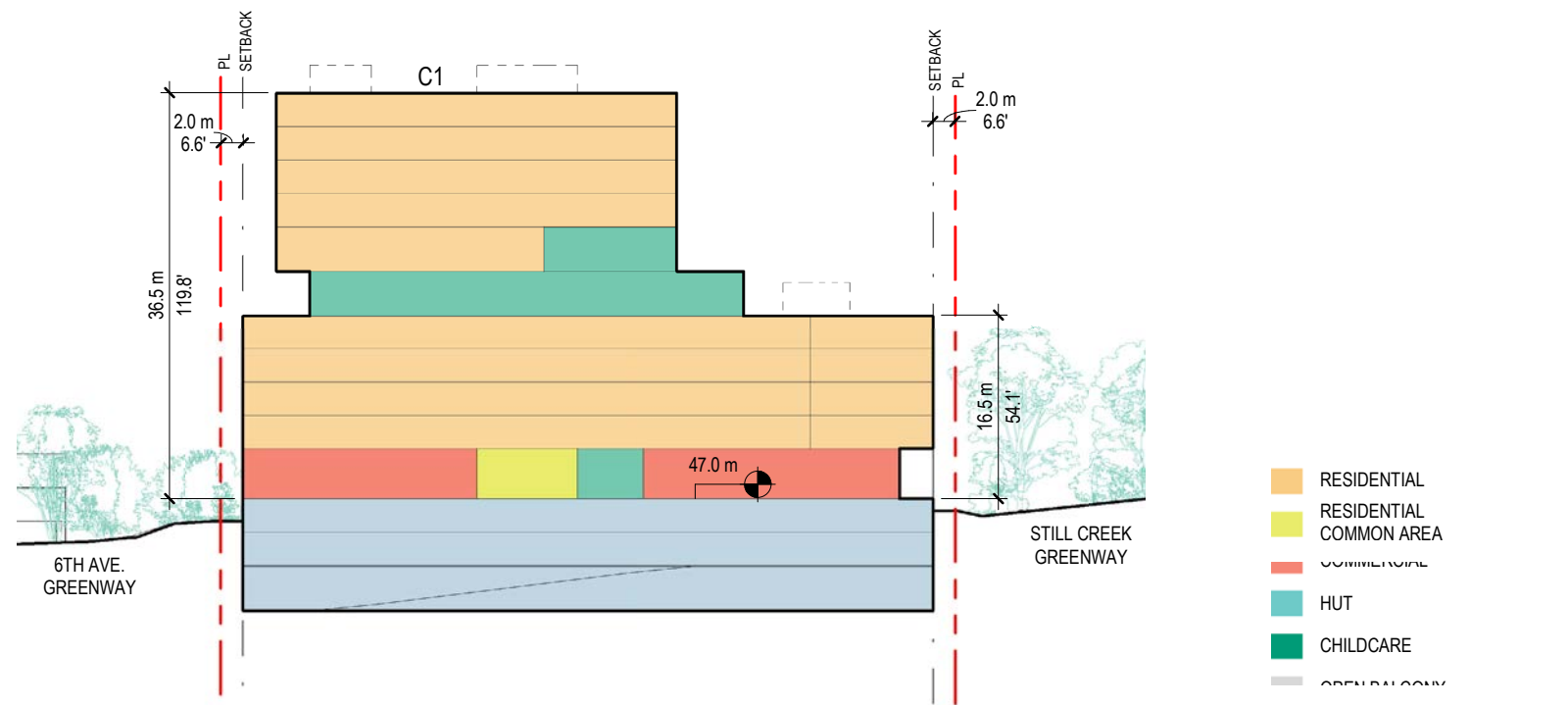


Section 1

Section 2



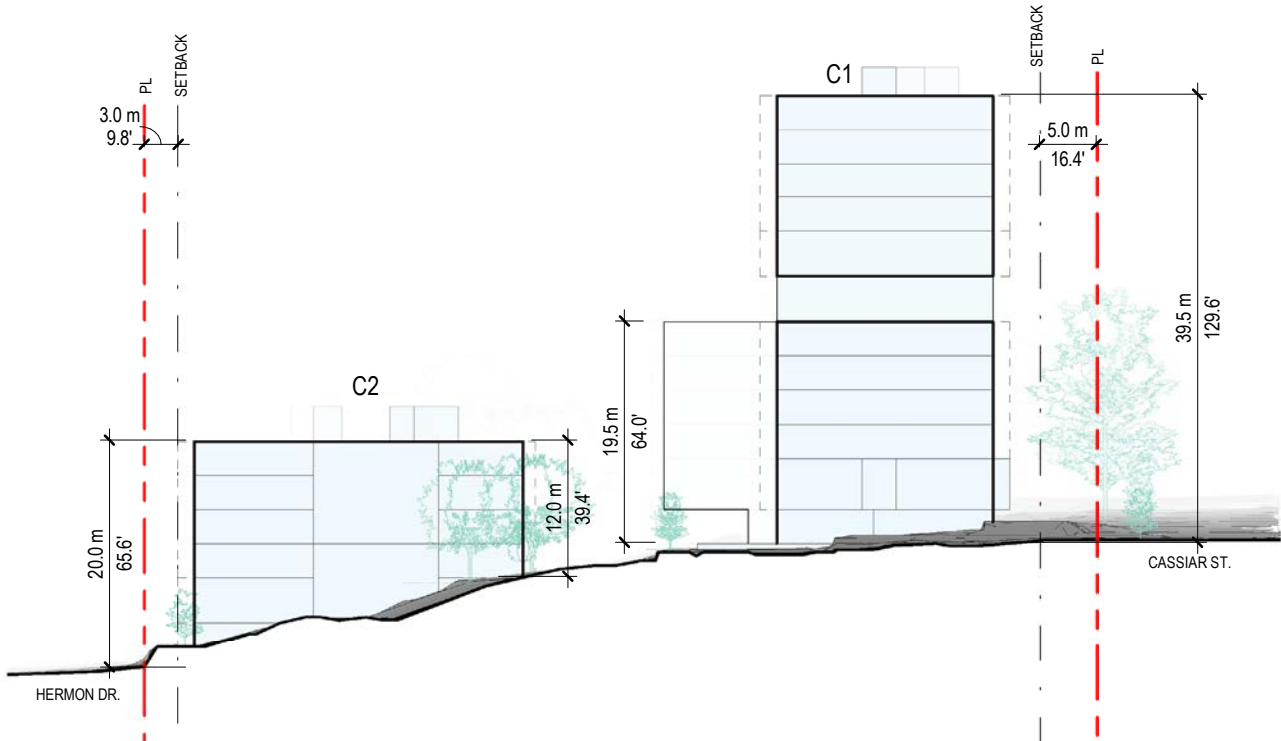
Section 3



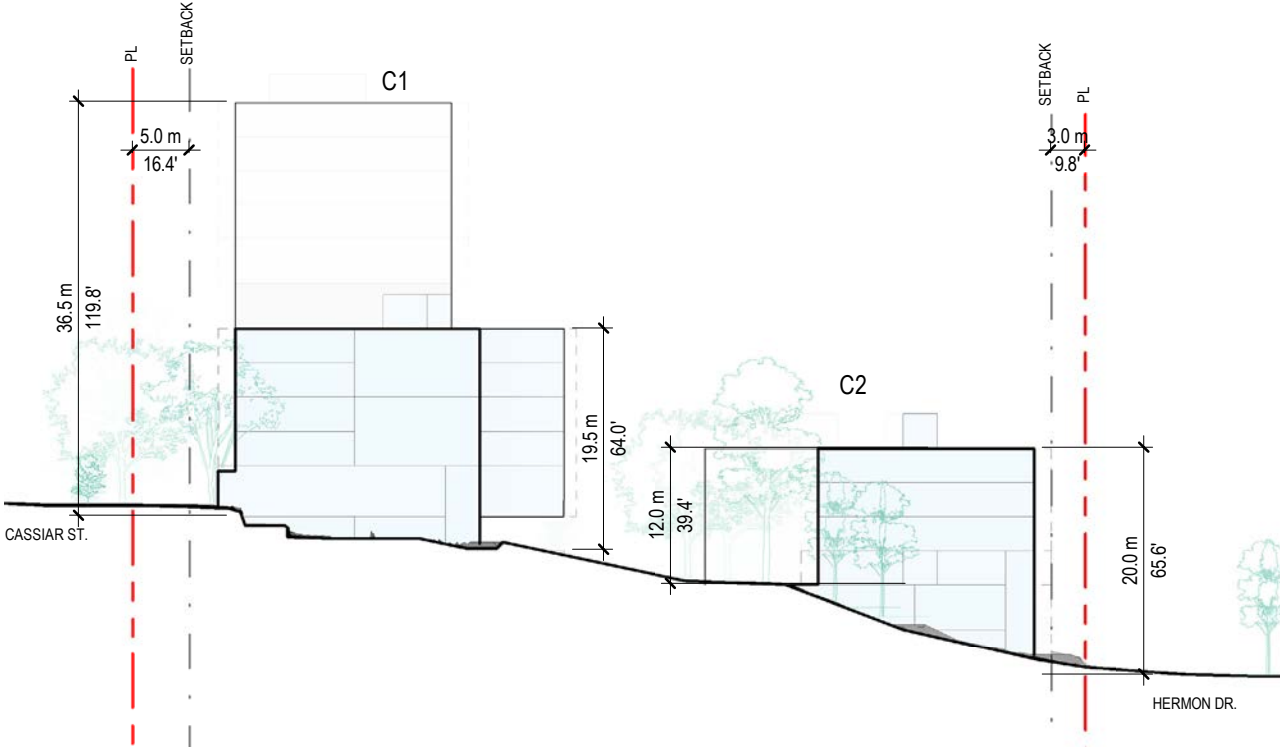
Section 4

- RESIDENTIAL
- RESIDENTIAL COMMON AREA
- COMMERCIAL
- HUT
- CHILD CARE
- GREEN BALCONY
- MECHANICAL

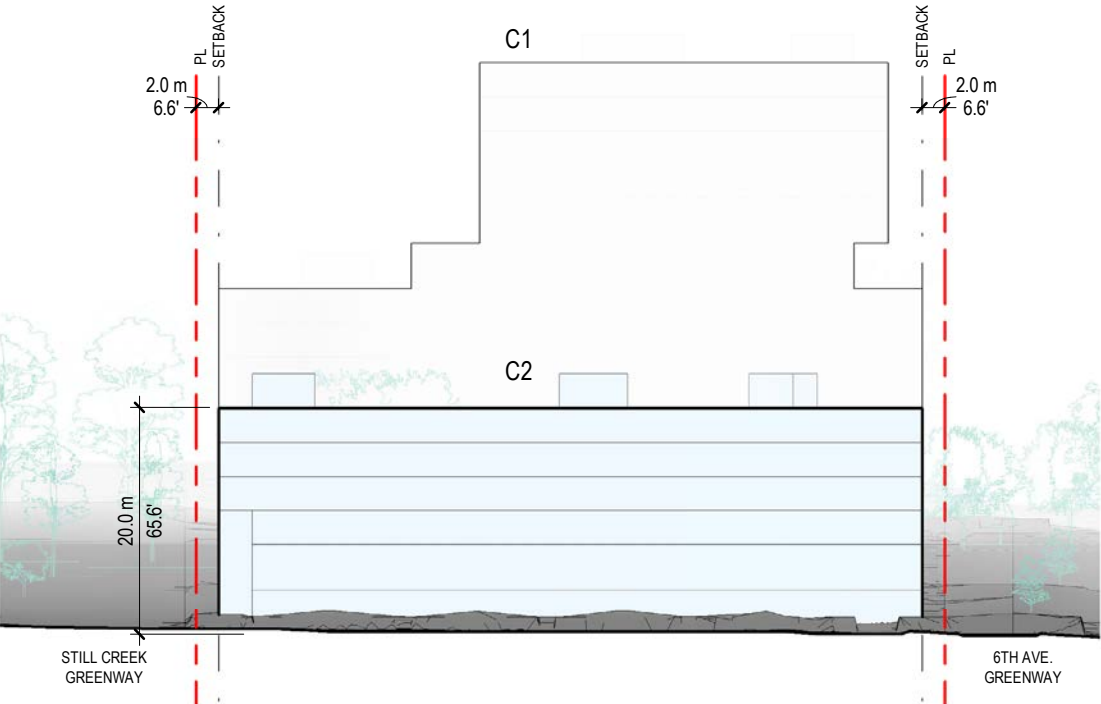
Elevations



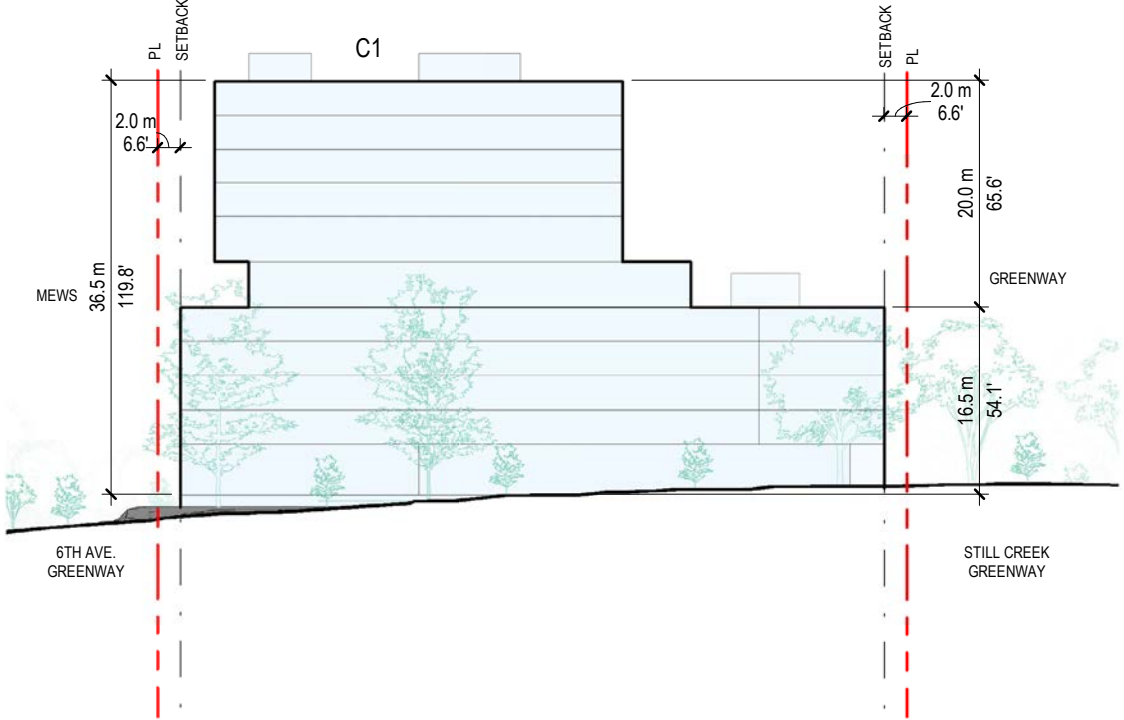
North Elevation



South Elevation

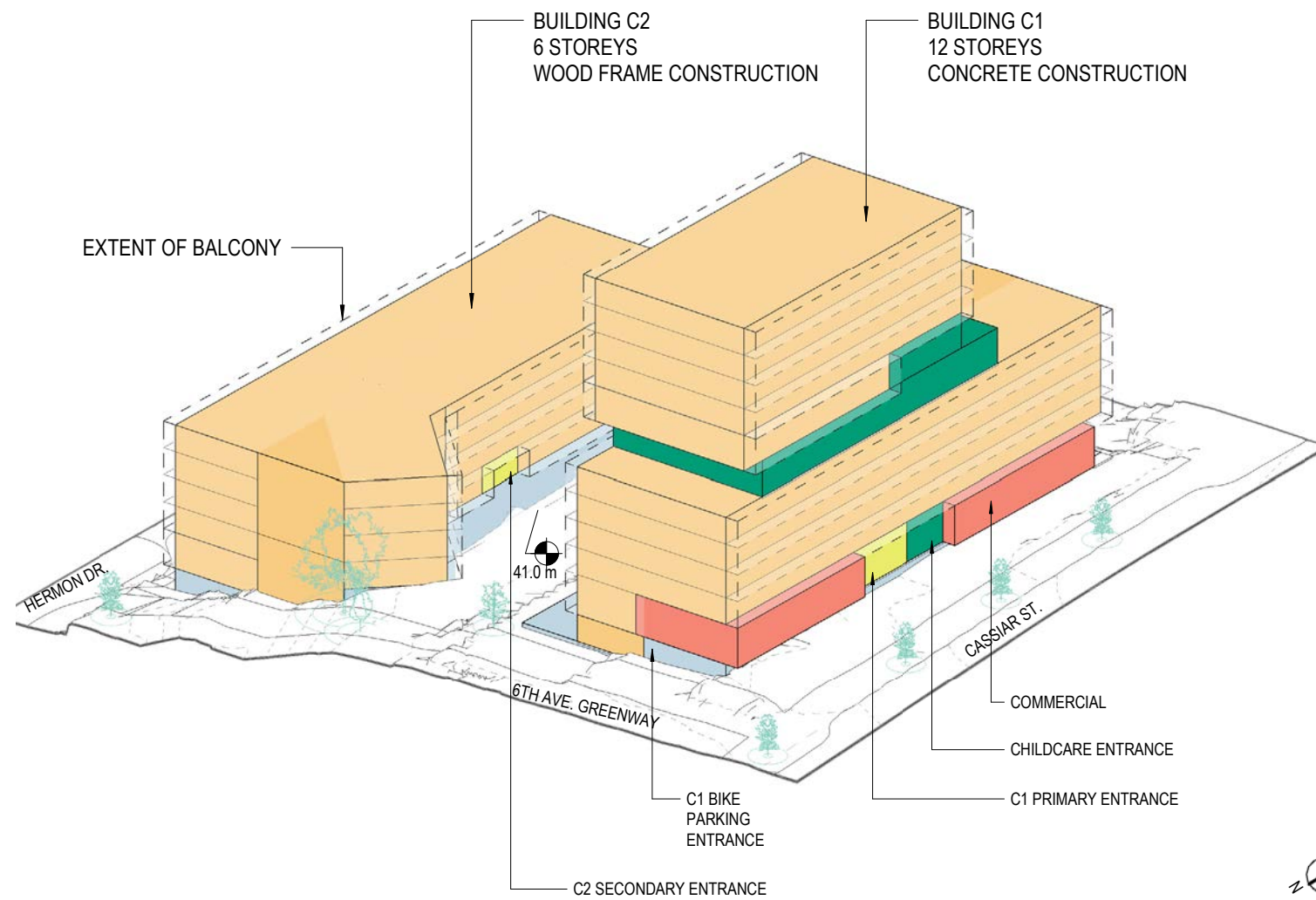


East Elevation



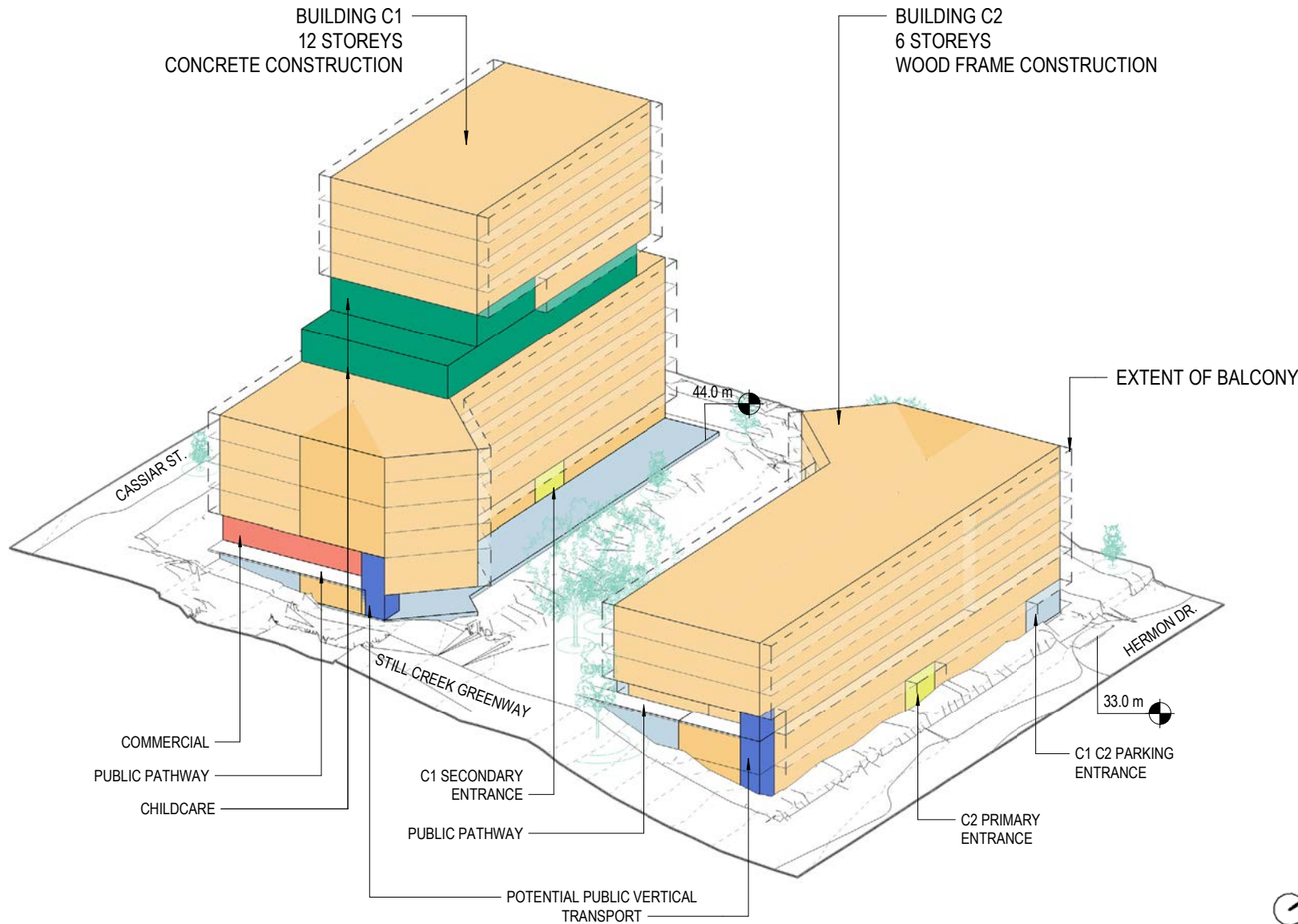
West Elevation

Axonometric Views



Northwest View

- RESIDENTIAL
- RESIDENTIAL COMMON AREA
- AMENITY
- COMMERCIAL
- HUT
- CHILDCARE
- OPEN BALCONY
- BIKE PARKING
- PARKING
- MECHANICAL
- POTENTIAL PUBLIC VERTICAL TRANSPORT
- EXTENT OF BALCONY



Southeast View

Parcel D

Urban Design Role

Phase 4 of the project, Parcel D, consists of two (2) buildings: D1 and D2.

This parcel is located on the eastern side of Skeena Terrace and is bordered by 6th Ave Mews to the north and Still Creek Greenway to the south, both of which are major publicly accessible open spaces on Skeena Terrace.

The D1 and D2 buildings form the three edges of the "Gathering" neighbourhood room, which includes the "Hut"; a community facility for tenants situated on the ground floor of D2. The Hut serves as the central hub for tenants of Skeena Terrace.

D1, with its corner retail presence on Skeena St and Lougheed Highway, activates the south entry of Still Creek Greenway.

Character

D1 is a 30-storey concrete residential tower with a 6-storey podium. D2 is a 36-storey concrete residential tower with a 6-storey mixed-use podium.

Both buildings, consist of a mix of HILS and market rental units.

D1 and D2 encompass the "Gathering" neighbourhood room and have their main lobby entries from Skeena St and secondary entries from the neighbourhood room. All ground oriented units facing the neighbourhood room have private patios.

The design of podium tops are stepped, following the slope of the ground and slanting downwards towards Skeena st.

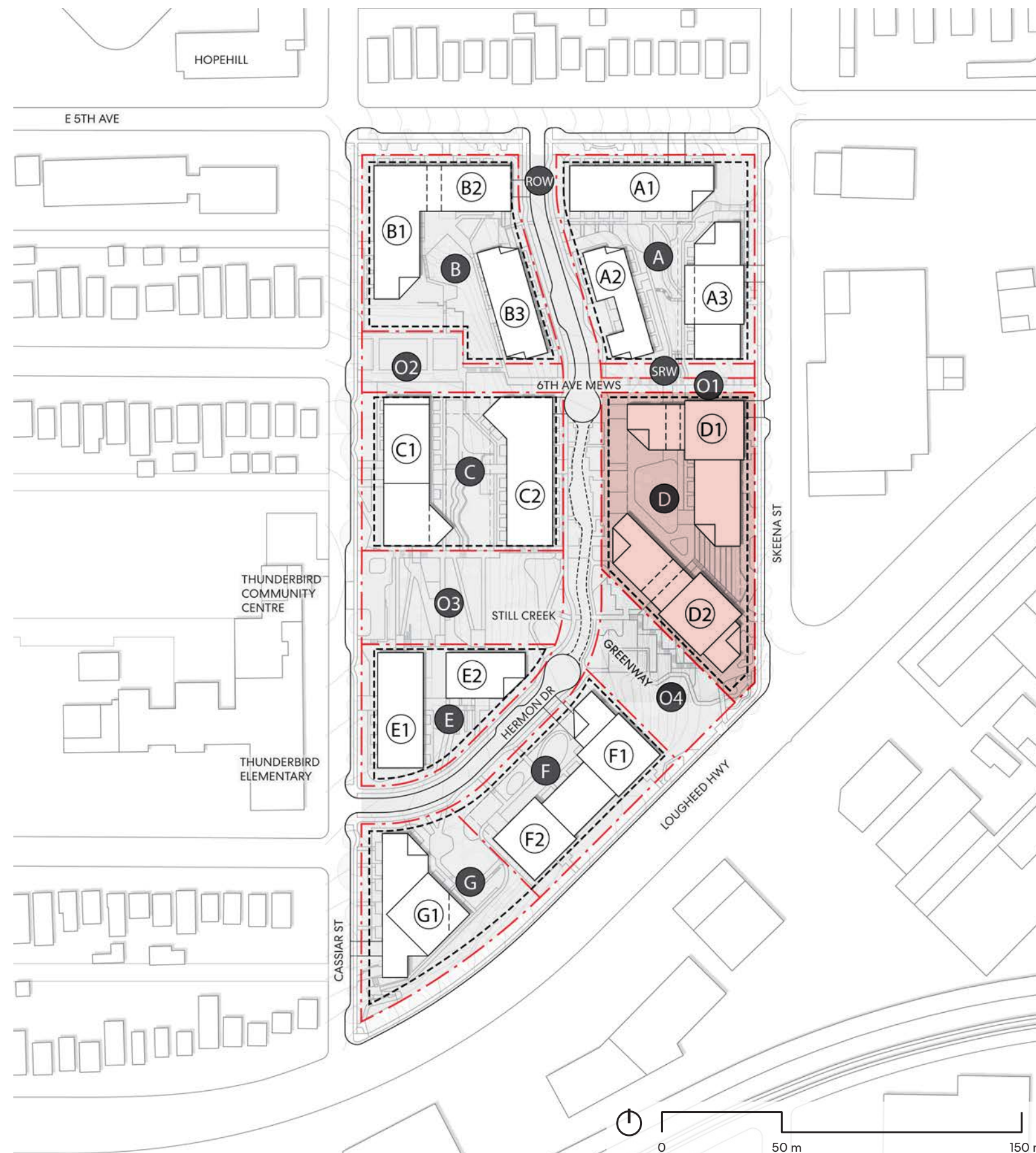
The podiums are 19 m wide, with an additional 1.5 m on each side reserved for balconies while the towers are 24.5 m by 24.5 m with an additional 1.5 m on each side reserved for balconies.

Similar to Parcel A, due to the slope of Skeena Street, the ground level of the D1 and D2 buildings are below the new 23-m flood control level (FCL). To prevent flooding, the first habitable level in these building is positioned above the FCL while the ground level is reserved for non-habitable spaces, such as: the lobby, amenity rooms, bike rooms, and flex commercial uses.

Beside the ground level amenity room on Skeena St, each building has private amenity rooms on podium roof levels with access to the roof garden.

D1 and D2 share an underground parking facility that can be accessed from Skeena Street under D1 and connects to the parking under C2. This parking facility is appropriately sized and uses a district parking approach to serve the tenants of Parcels D and E, while also meeting the parking and loading requirements for the flexible commercial and corner retail spaces on this parcel.

For open space and public realm character refer to Chapter 3.



Statistics

Parcel D Summary

Buildings	D1	D2	TOTAL
Storeys	30	36	
Construction	Concrete	Concrete	
Parcel Area			71,896
Parcel FSR (Gross)			6.99
Total GFA (ft²)	236,320	265,999	502,319
Residential GFA	232,155	257,910	490,065
Commercial GFA	4,165	2,172	6,337
Childcare GFA	-	-	-
Community GFA	-	5,917	5,917
Total NFA (ft²)	194,116	219,358	413,474
Residential NFA @ 80%	190,367	211,486	401,853
Commercial NFA @ 90%	3,749	1,955	5,703
Childcare NFA @ 100%	-	-	-
Community NFA @ 100%	-	5,917	5,917
Unit Mix			
Low Income RGI Units	-	-	-
HILS RGI Units	181	201	382
Market Units	111	123	234
Total Units	292	324	616

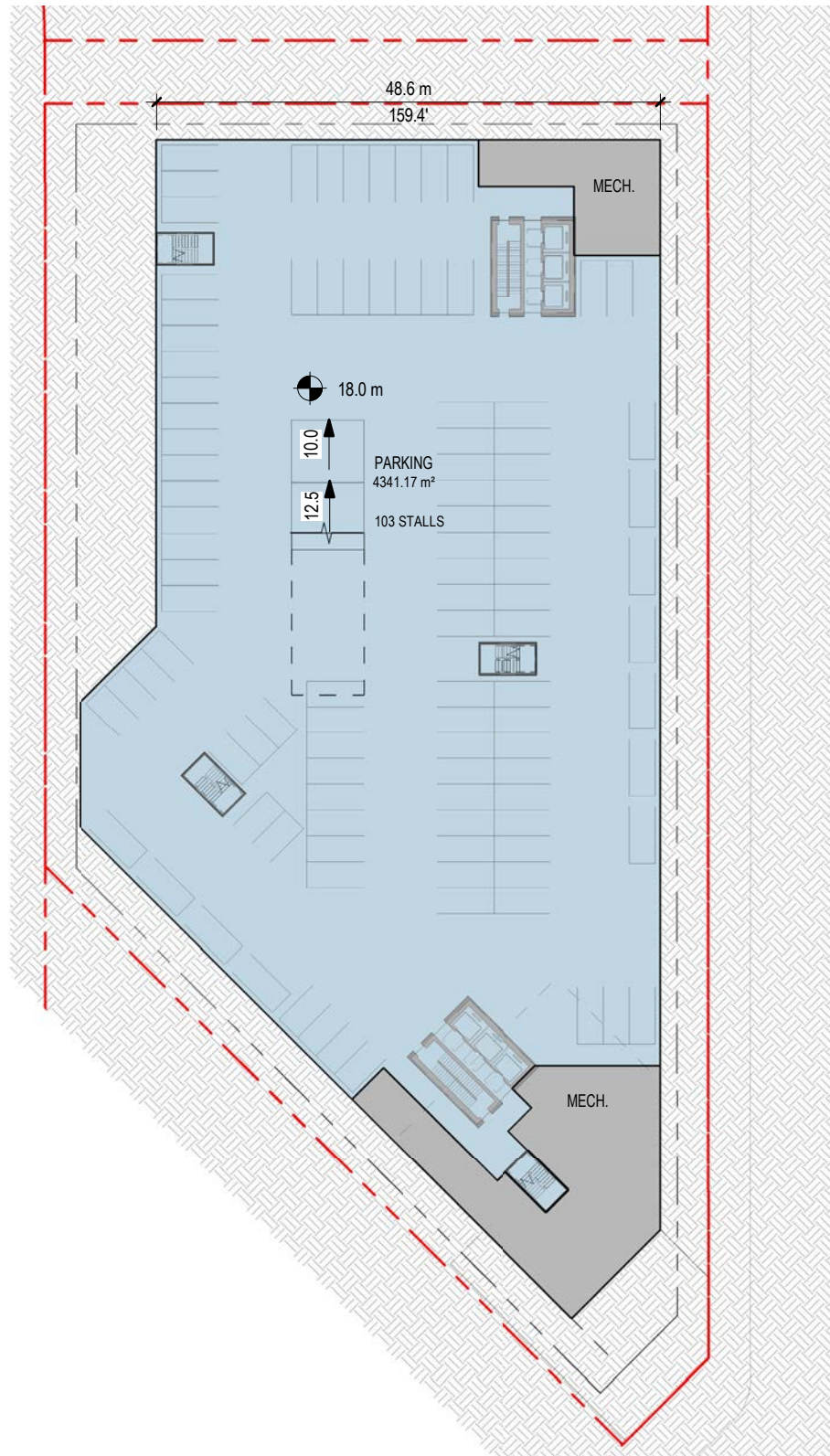
Parcel D Amenity Space Requirement

Buildings	D1	D2	TOTAL
Number of Spaces	2	2	4
Total Area (ft²)	4,378	2	4,380

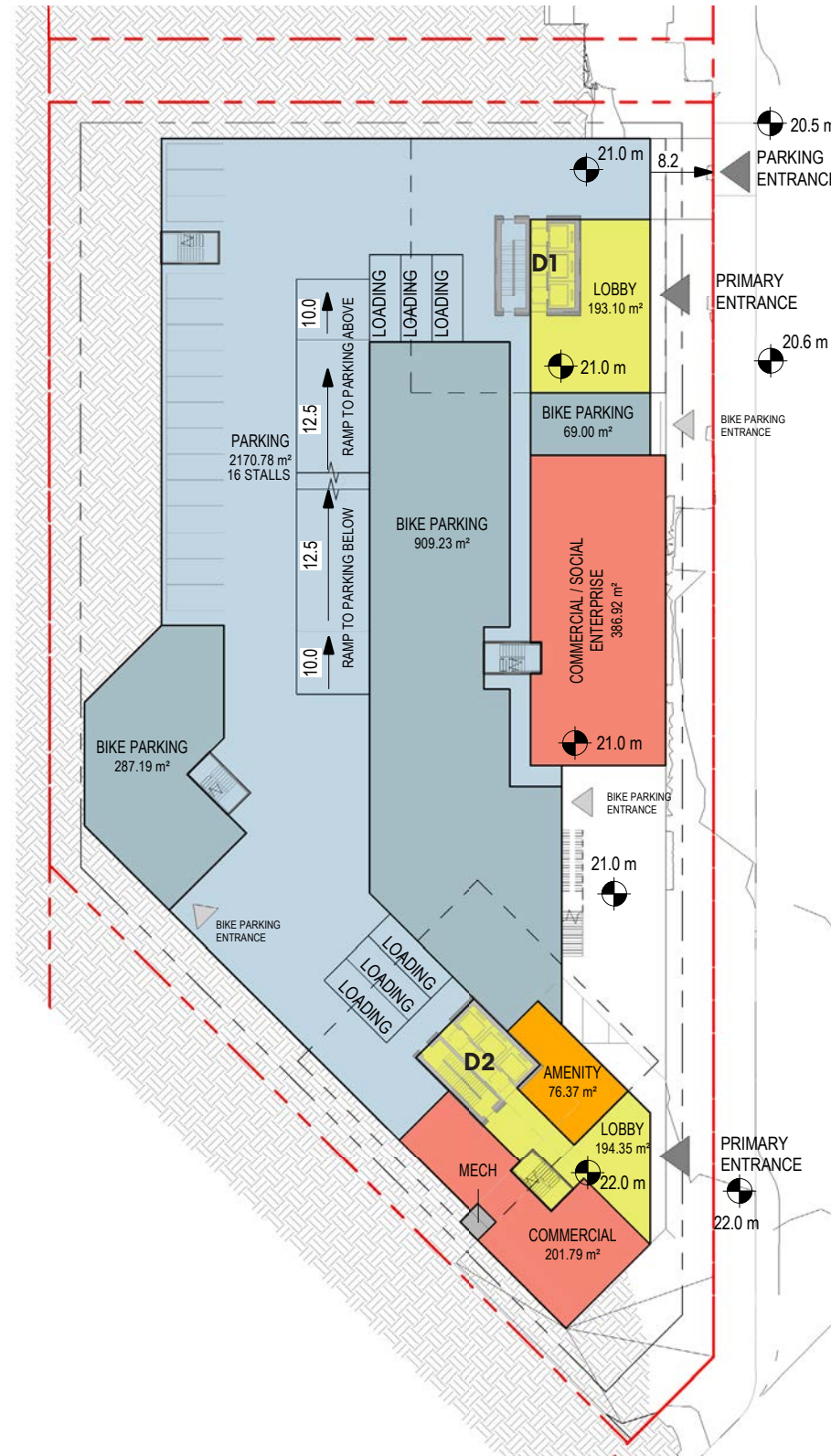
Parcel D Residential Unit Mix

Buildings	D1	D2	TOTAL
Residential GFA (ft²)	232,155	257,910	490,065
Residential NFA @ 80%	190,367	211,486	401,853
Unit Mix			
Low Income RGI Units	-	-	-
HILS RGI Units	181	201	382
Market Units	111	123	234
TOTAL UNITS	292	324	616
NFA Distribution			
Low Income RGI mix	0%	0%	
HILS RGI mix	63%	63%	
Market mix	37%	37%	
RGI Unit Mix	Unit Size (ft²)	Unit Type %	Unit Count
One-Bedroom	525	30%	0
Two-Bedroom	725	30%	0
Three-Bedroom	925	30%	0
Four-Bedroom	1200	8%	0
Five-Bedroom	1300	3%	0
RGI Average Unit Size (ft²)	781		
Total RGI Units	0	0	0
HILS Unit Mix	Unit Size (ft²)	Unit Type %	Unit Count
One-Bedroom	525	40%	72
Two-Bedroom	725	50%	91
Three-Bedroom	925	10%	18
HILS Average Unit Size (ft²)	665		
Total HILS Units	181	201	382
Market Unit Mix	Unit Size (ft²)	Unit Type %	Unit Count
Market Studio	400	5%	6
Market One-Bedroom	500	40%	44
Market Two-Bedroom	725	45%	50
Market Three-Bedroom	850	10%	11
Market Average Unit Size (ft²)	631		
Total Market Units	111	123	234

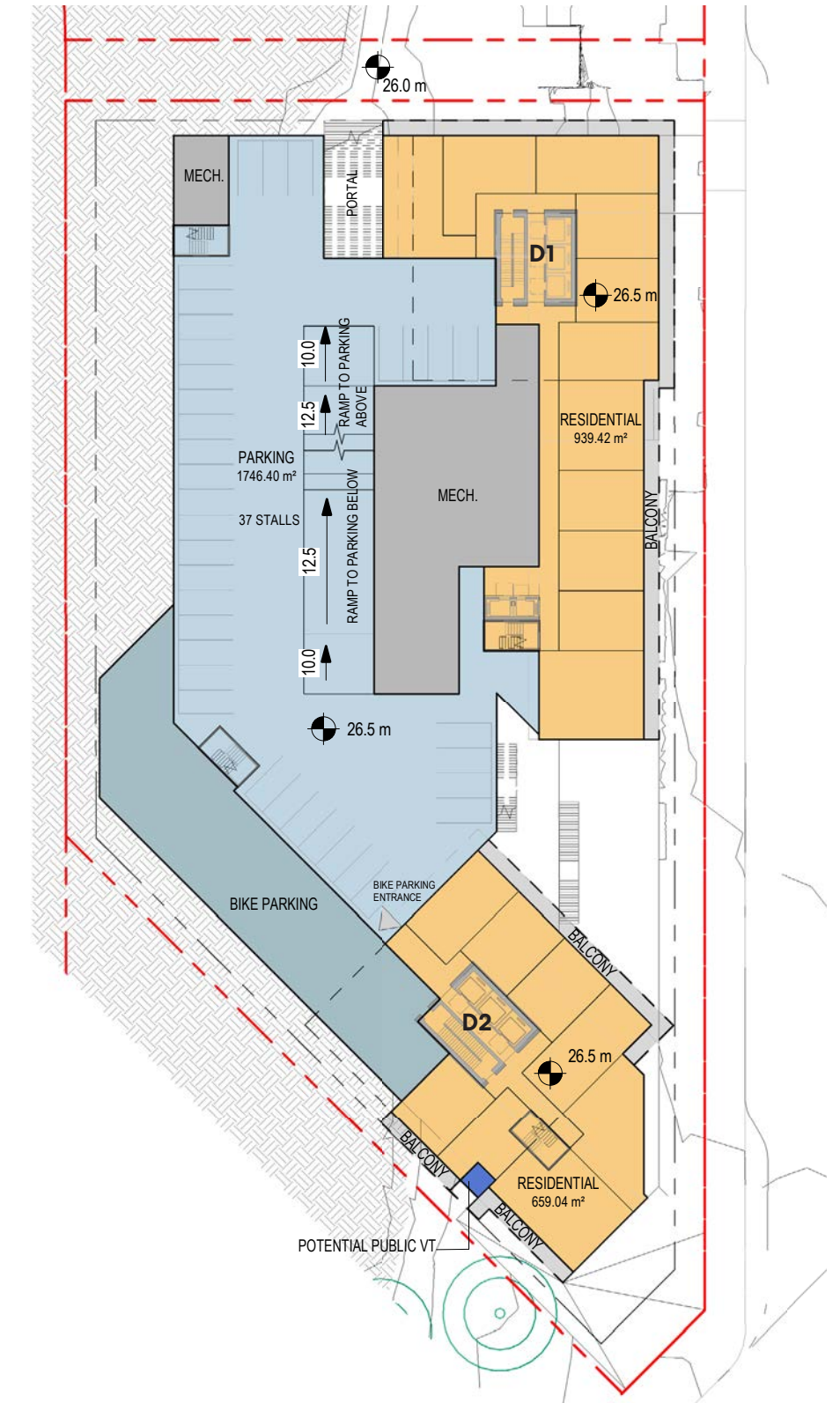
Level Plans



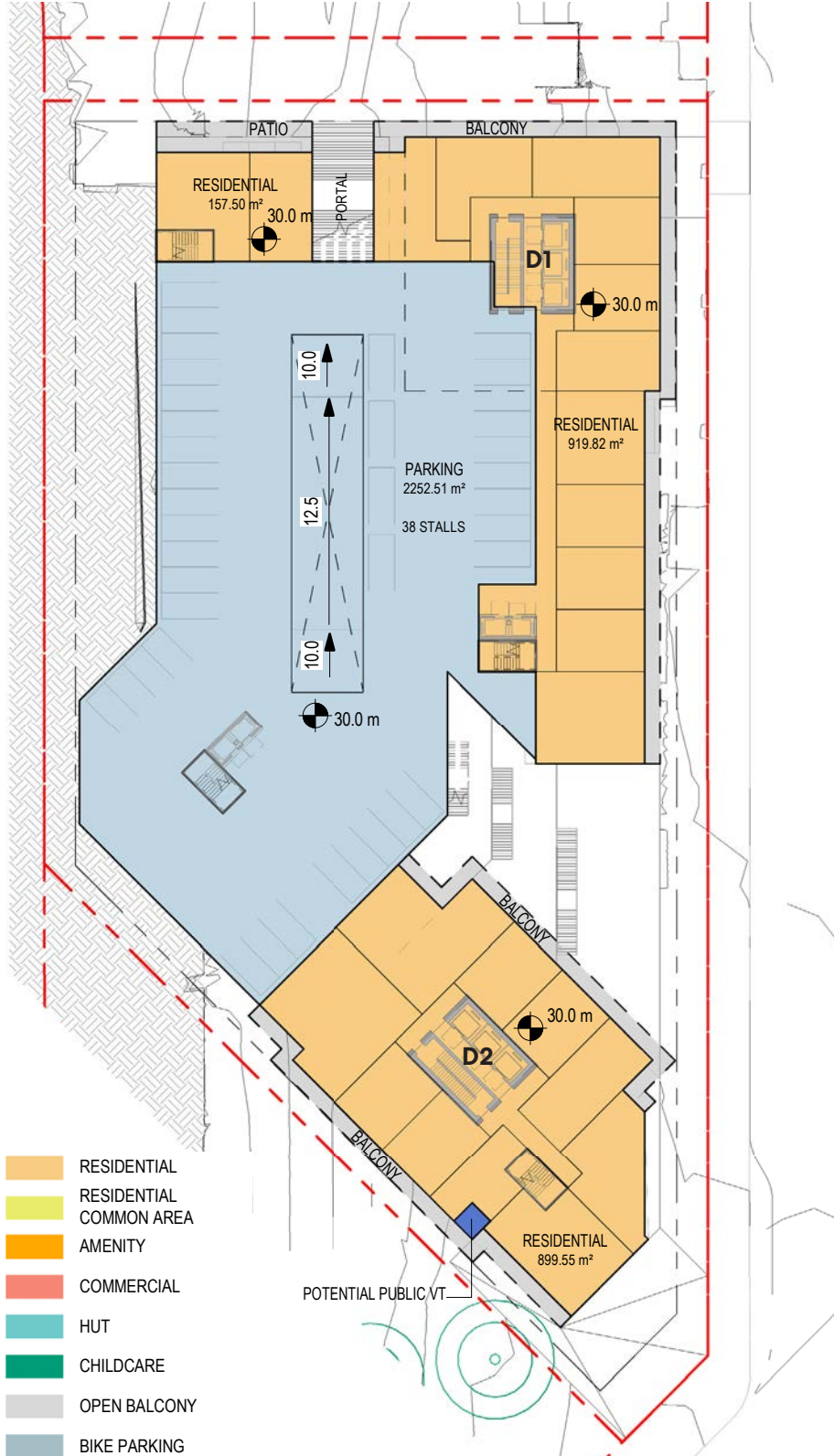
Elevation +18m Plan
D1 D2 Level P1 (+18m)



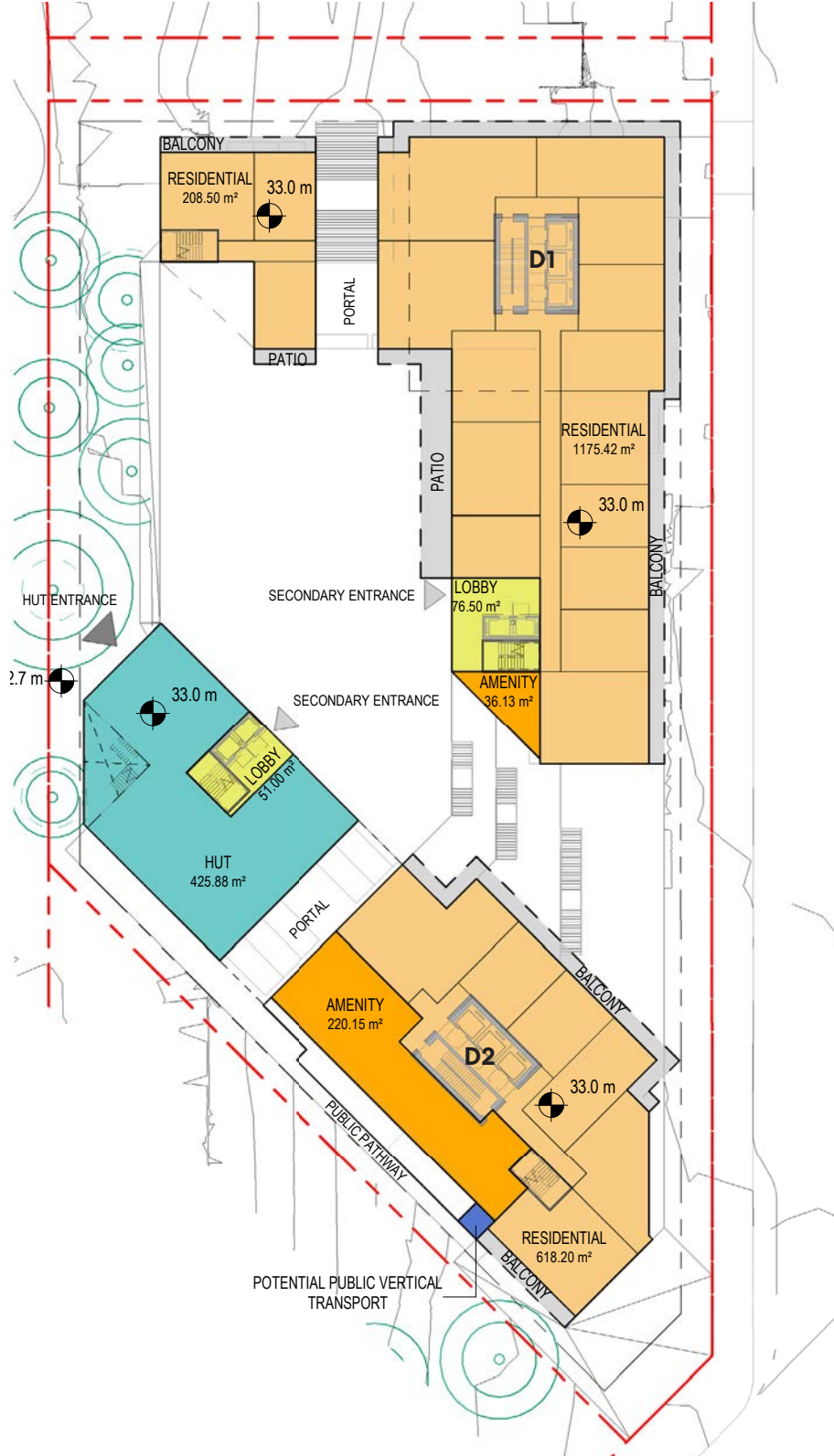
Elevation +22m Plan
D1 Level 01 (+21m)
D2 Level 01 (+22m)



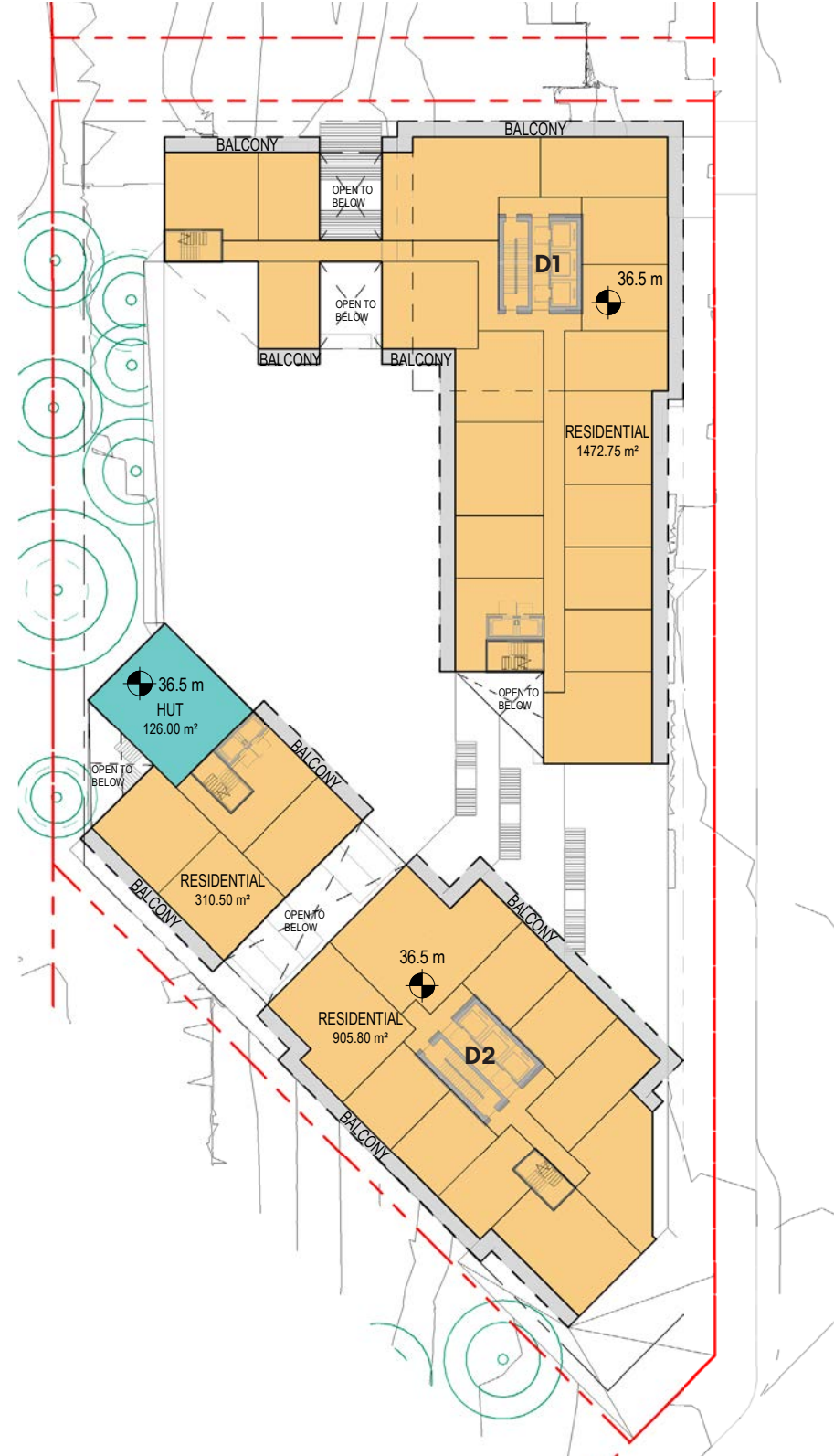
Elevation +26m Plan
D1 Level 02 (+26m)
D2 Level 02 (+26m)



Elevation +30m Plan
 D1 Level 03 (+30m)
 D2 Level 03 (+30m)

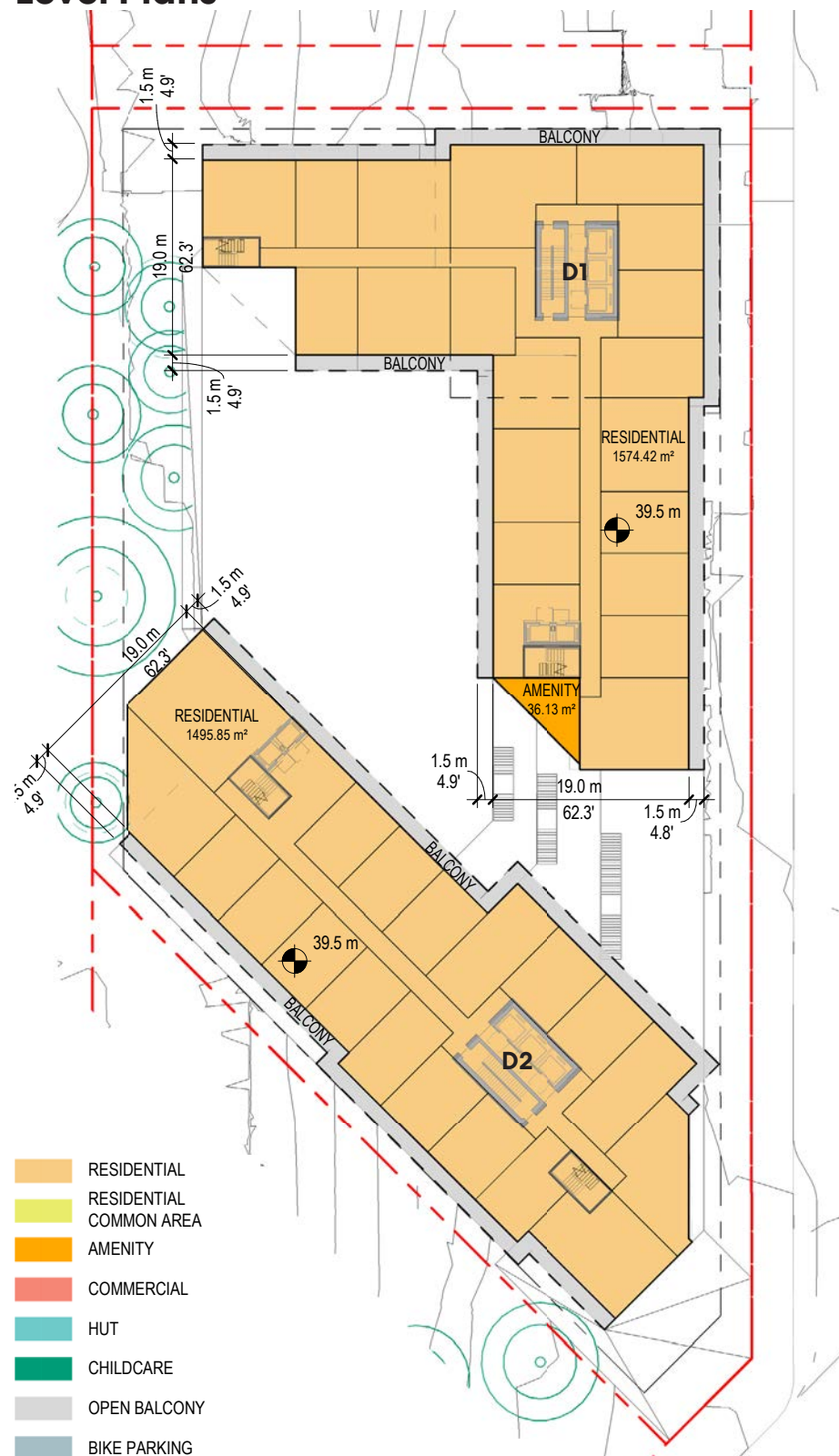


Elevation +33m Plan
 D1 Level 04 (+33m)
 D2 Level 04 (+33m)

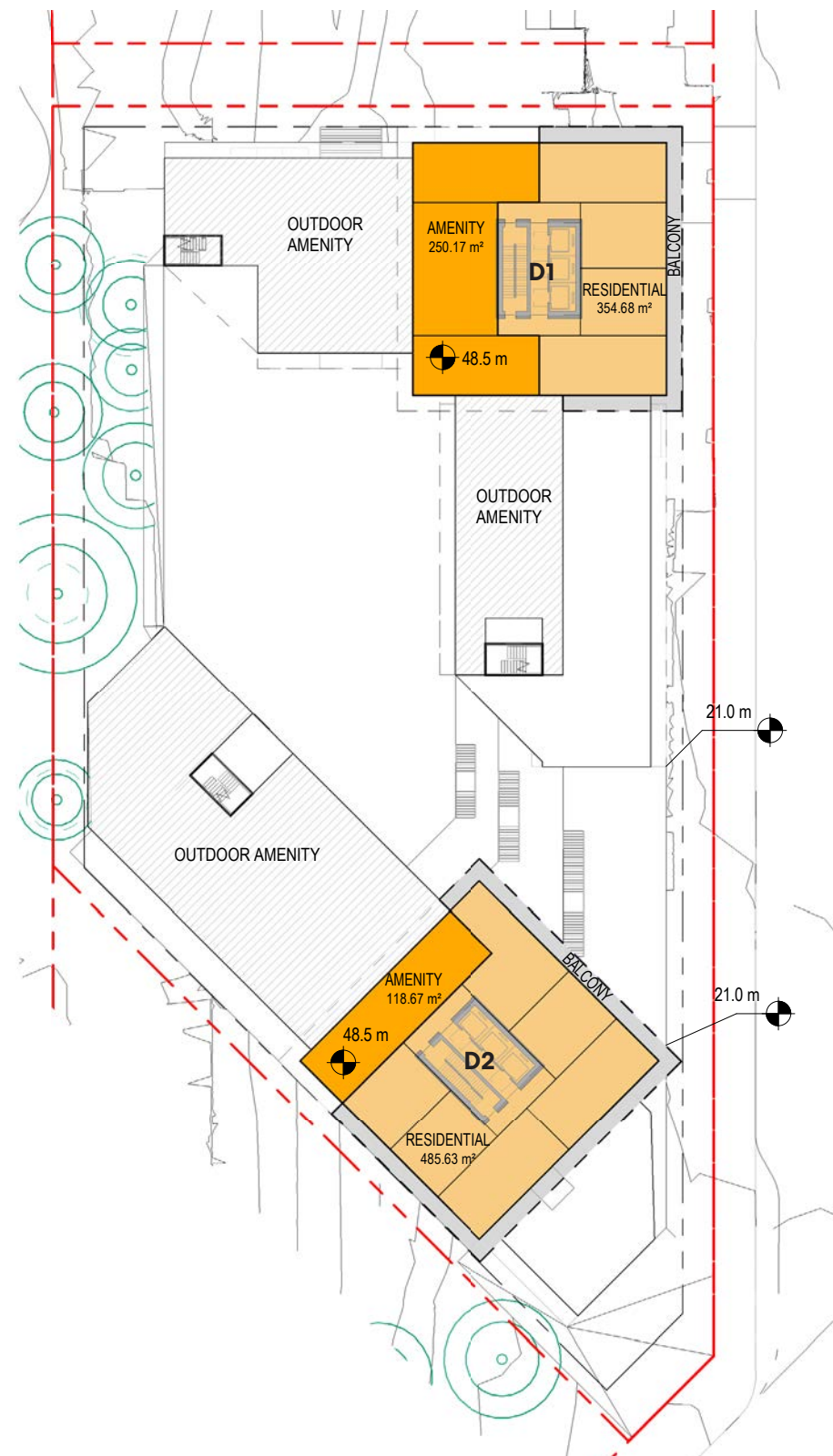


Elevation +36m Plan
 D1 Level 05 (+36m)
 D2 Level 05 (+36m)

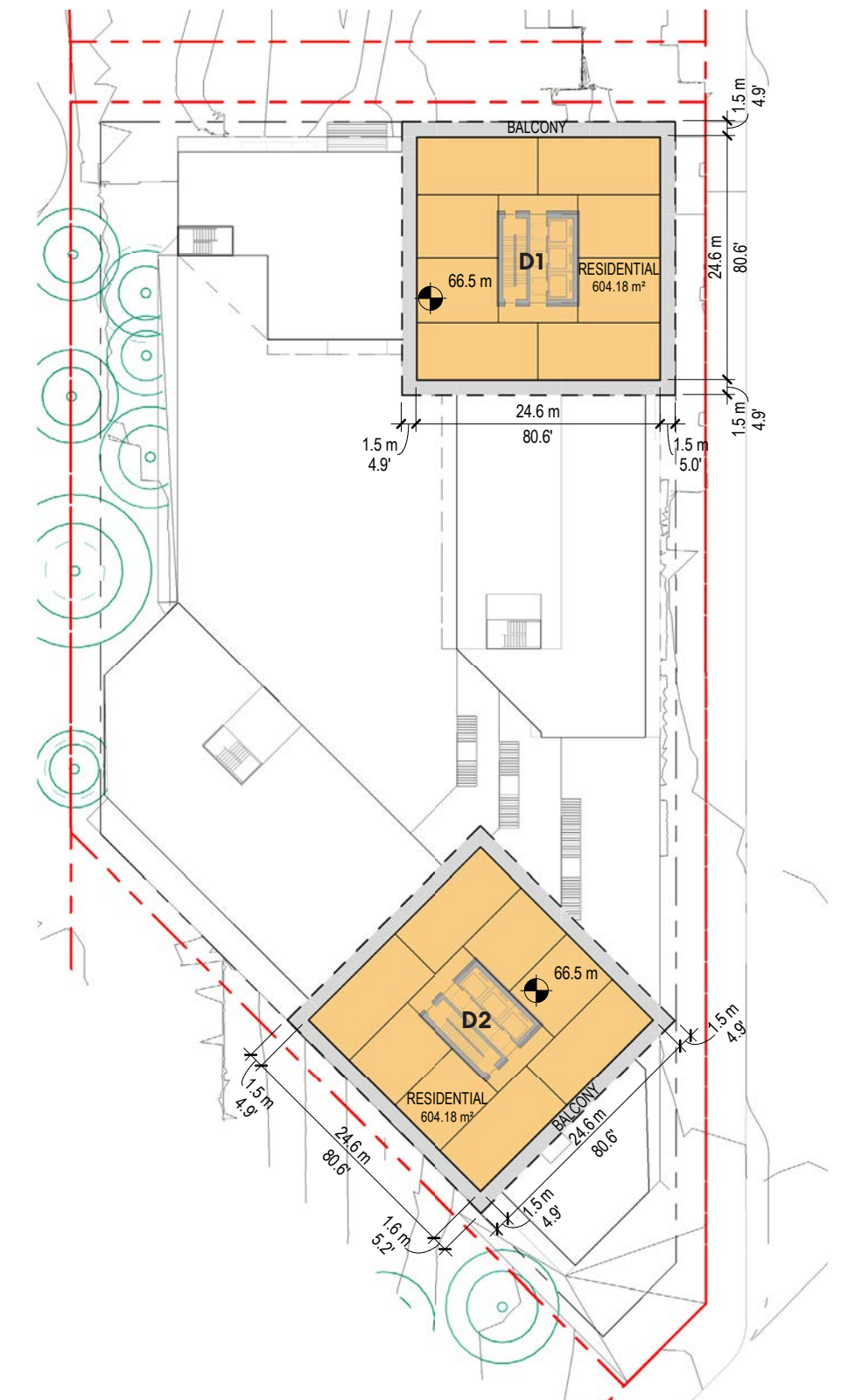
Level Plans



Elevation +39m Plan
 D1 Level 06 (+39m)
 D2 Level 06 (+39m)

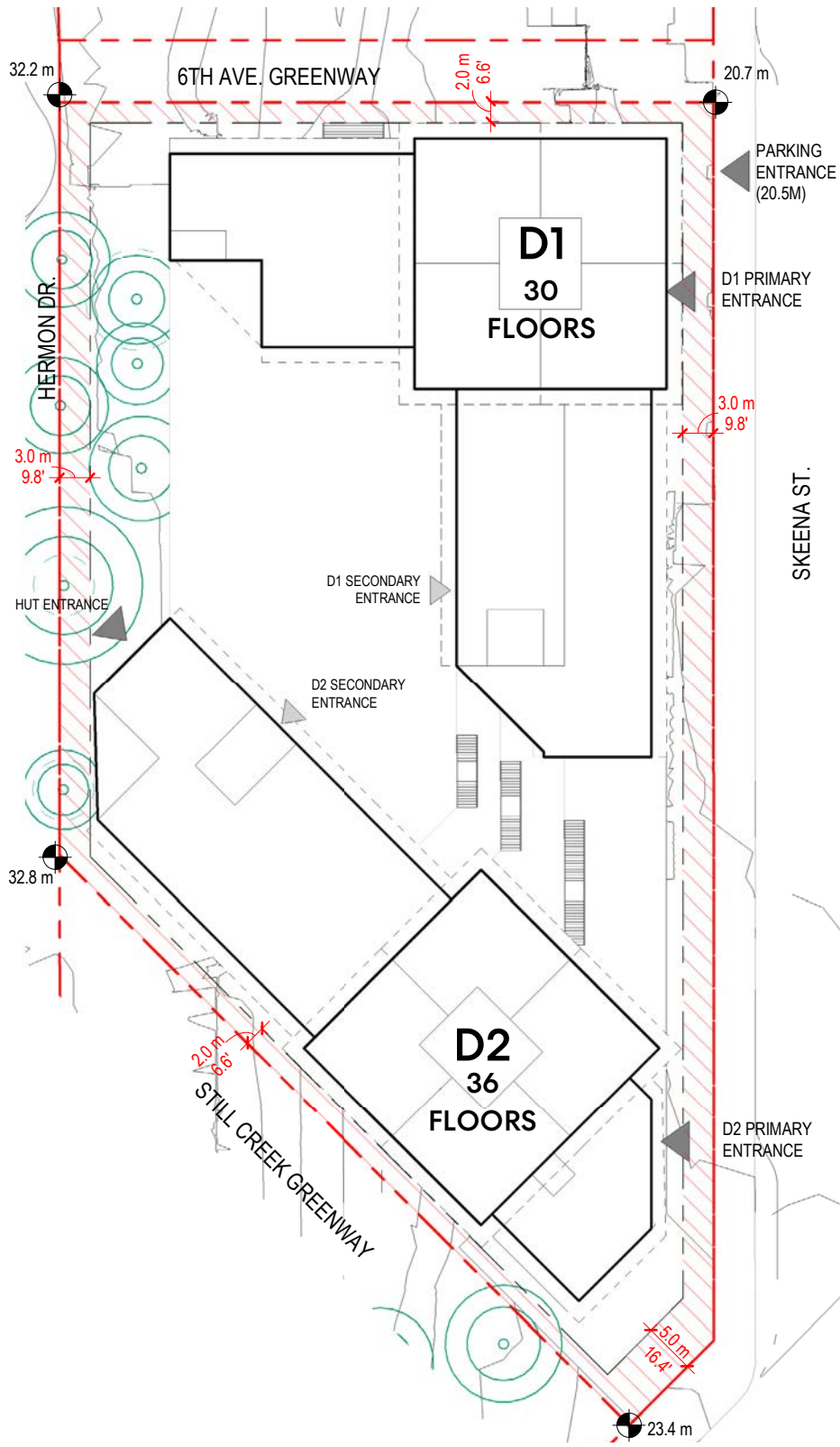


Elevation +48m Plan
 D1 Level 09 (+48m)
 D2 Level 09 (+48m)



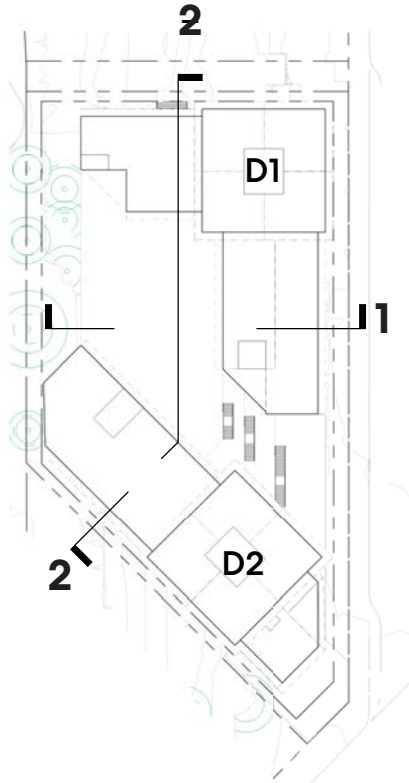
Elevation +66m Plan
 D1 Level 15 (+66m) - Tower Typical
 D2 Level 15 (+66m) - Tower Typical

- RESIDENTIAL
- RESIDENTIAL COMMON AREA
- AMENITY
- COMMERCIAL
- HUT
- CHILDCARE
- OPEN BALCONY
- BIKE PARKING
- PARKING
- MECHANICAL
- POTENTIAL PUBLIC VERTICAL TRANSPORT
- EXTENT OF BALCONY

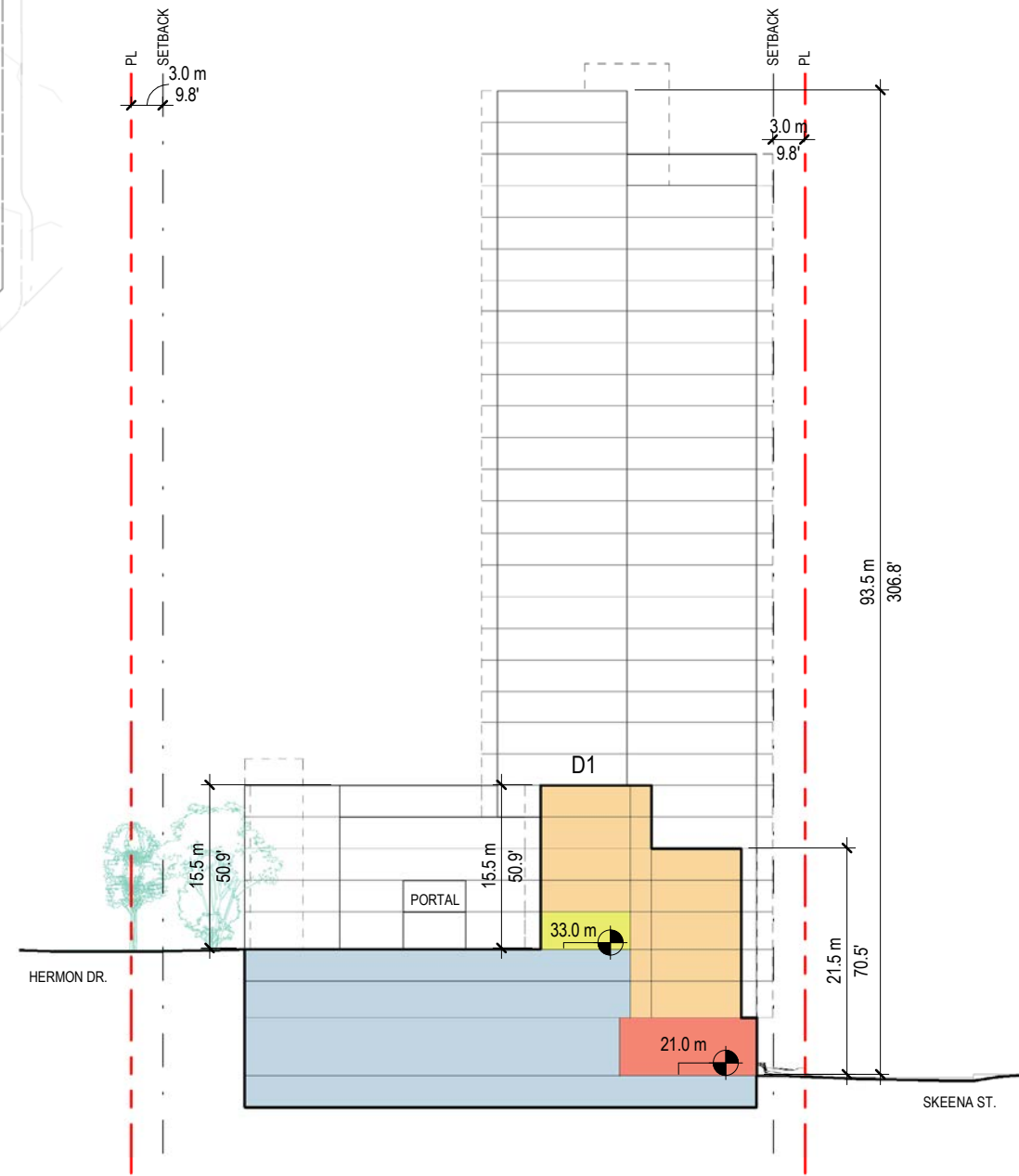


Roof Plan & Setbacks

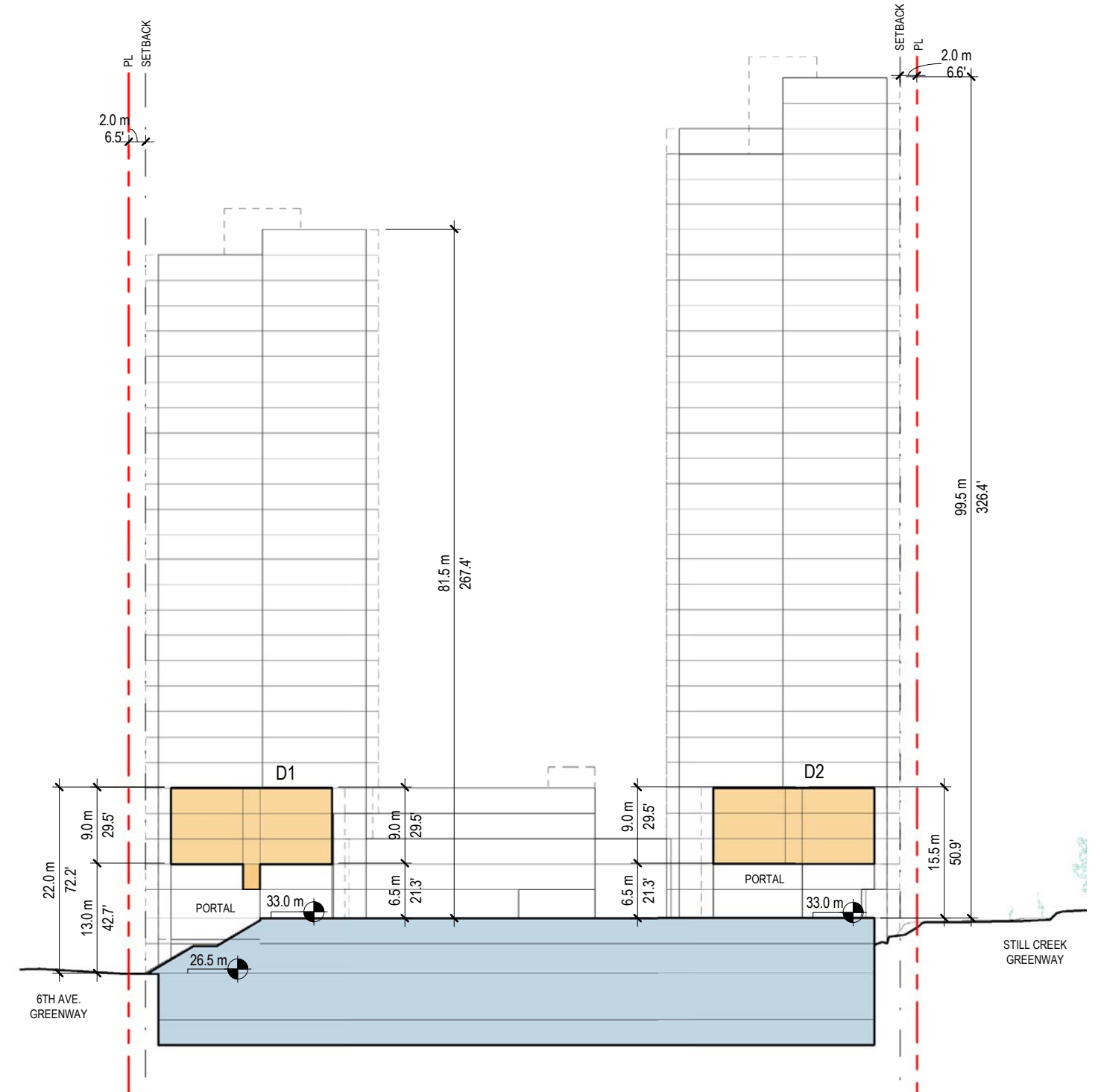
Sections



- RESIDENTIAL
- RESIDENTIAL COMMON AREA
- COMMERCIAL
- HUT
- CHILDCARE
- OPEN SPACE
- MECHANICAL

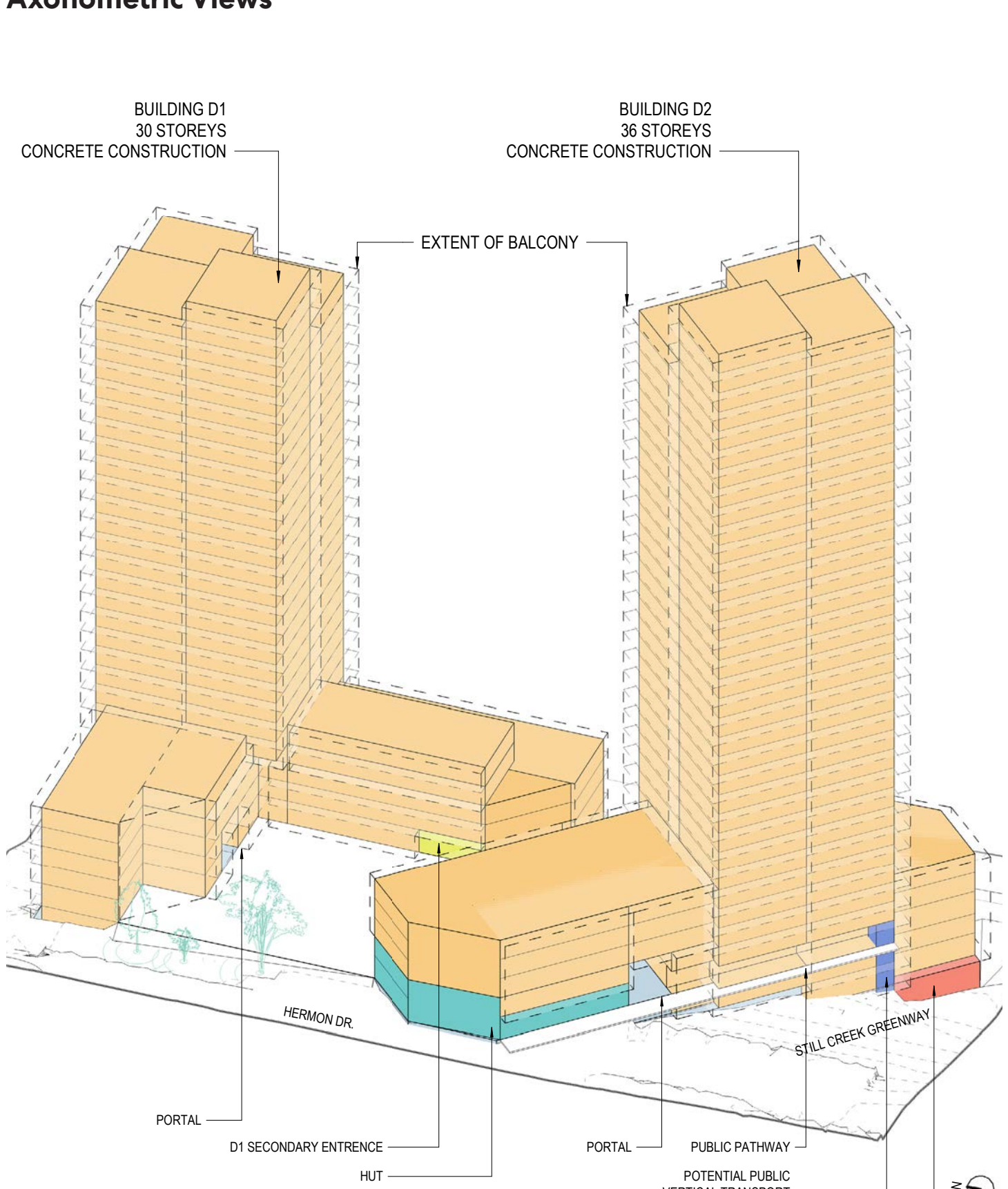


Section 1

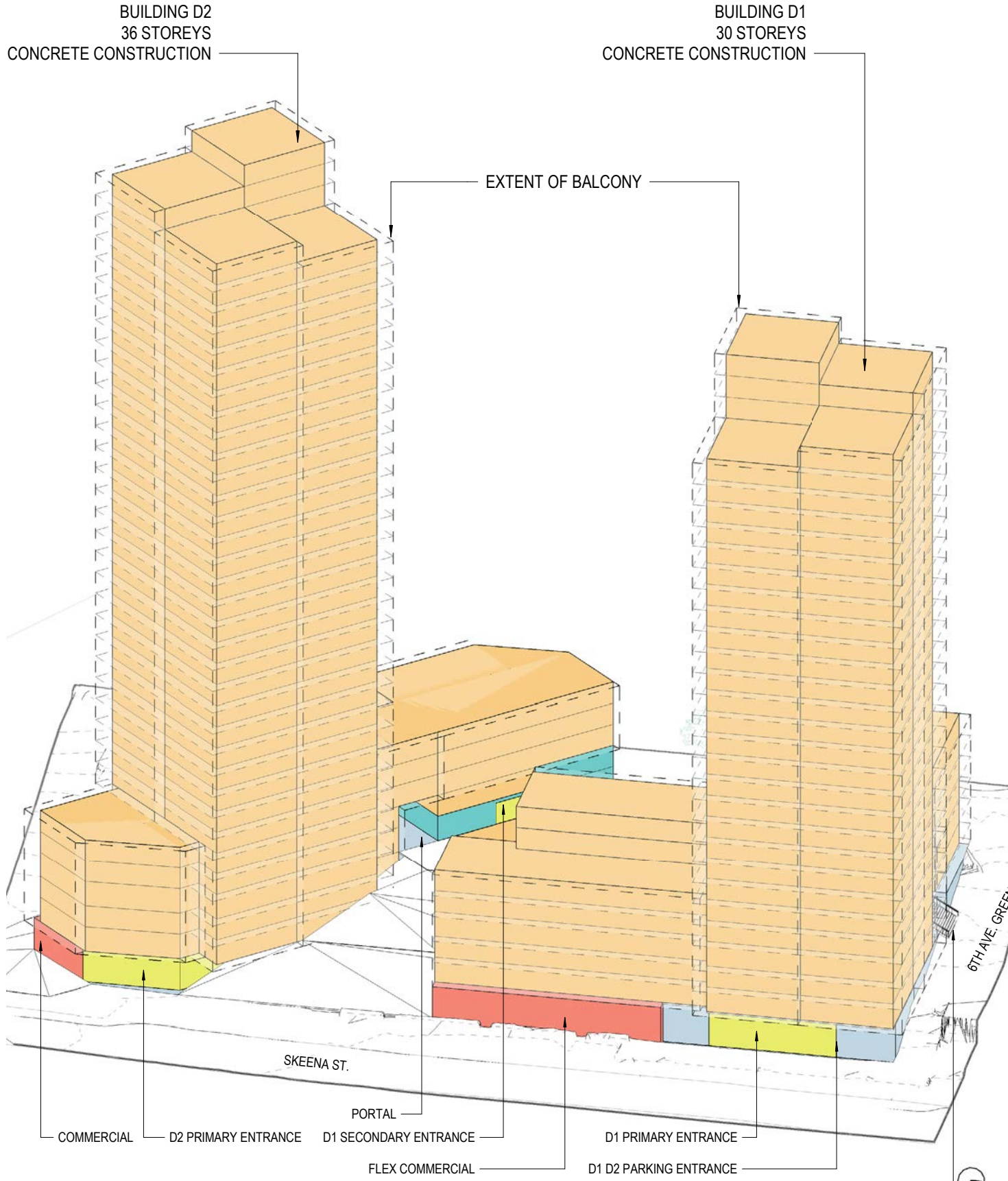


Section 2

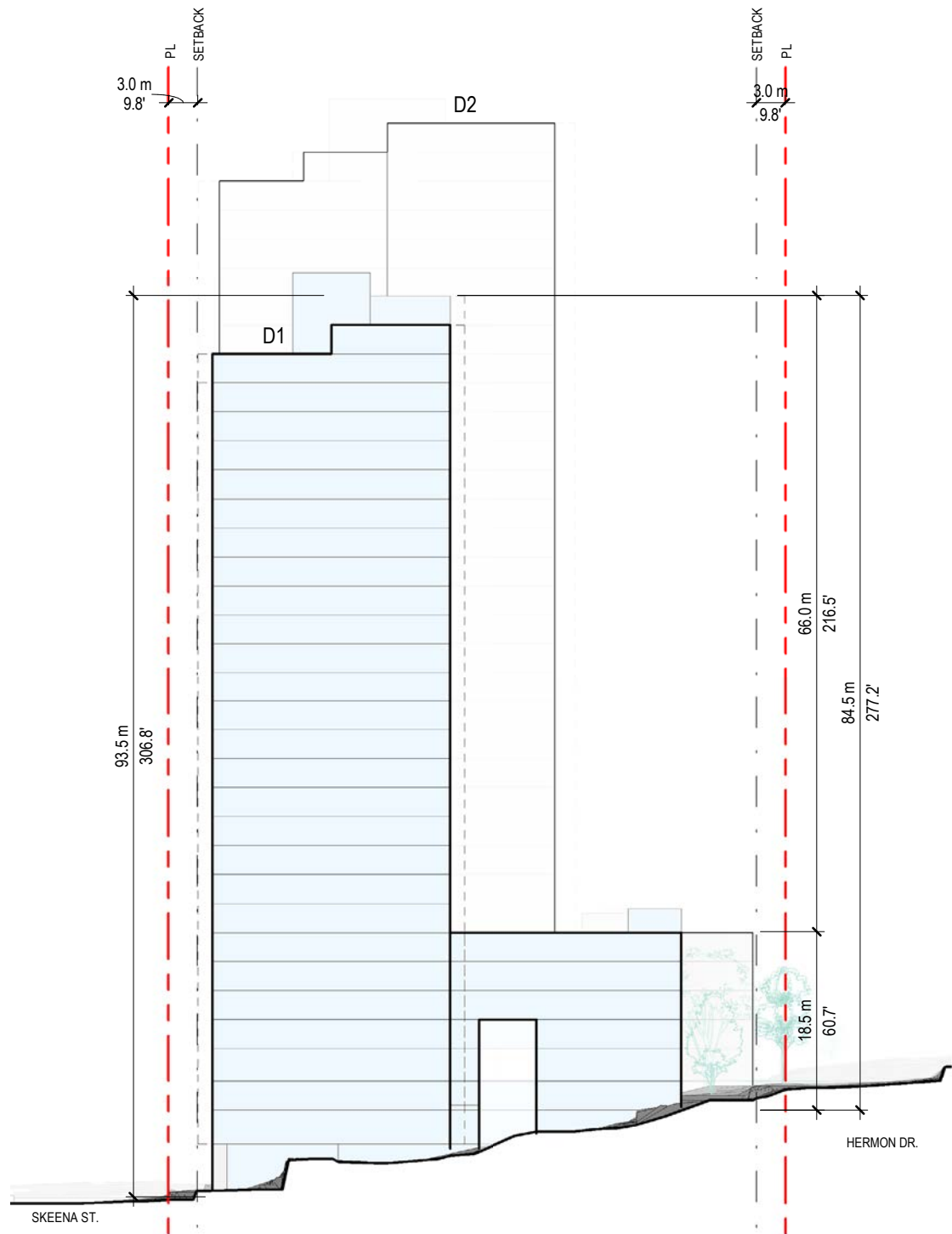
Axonometric Views



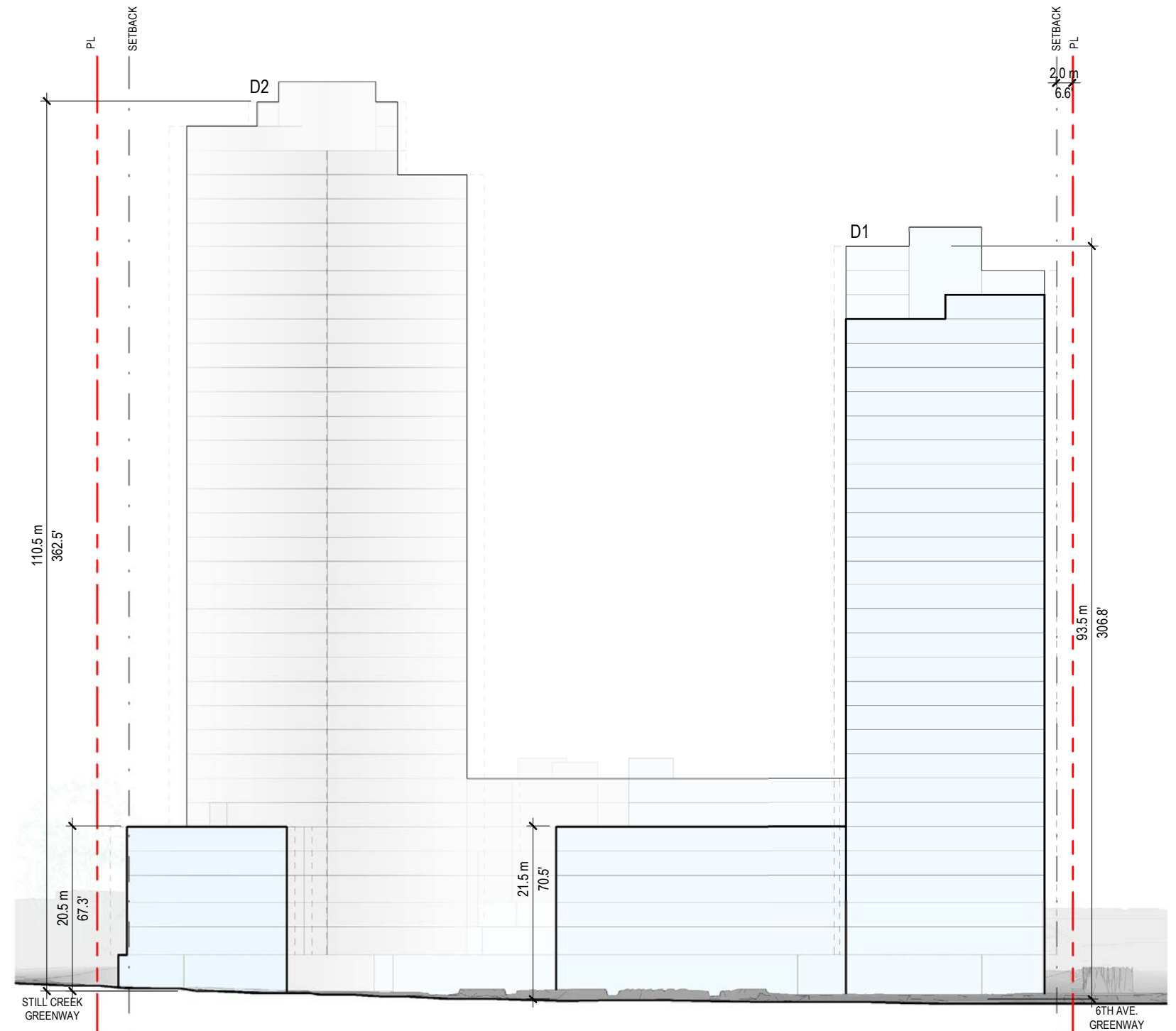
Southwest View



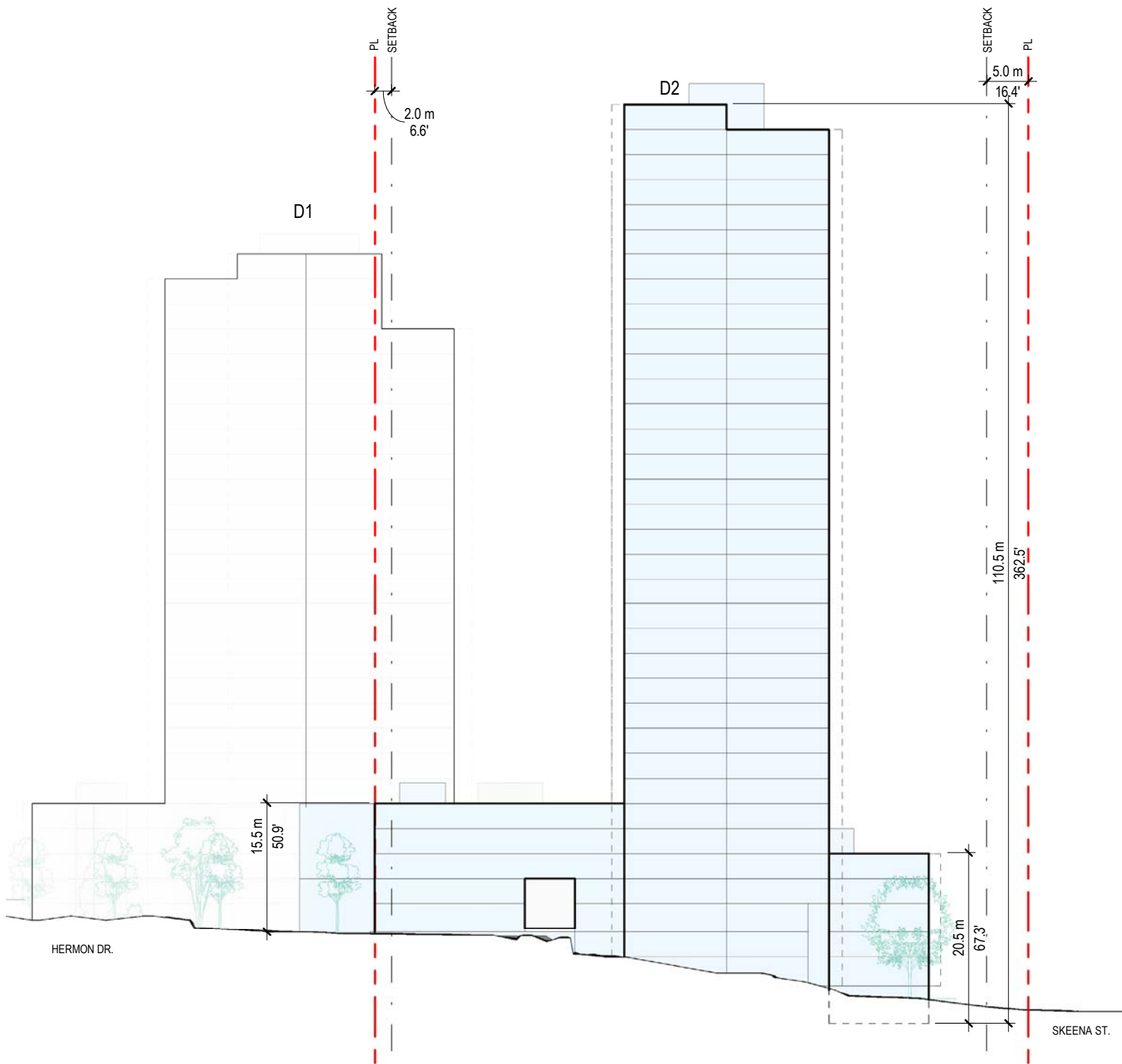
Northeast View



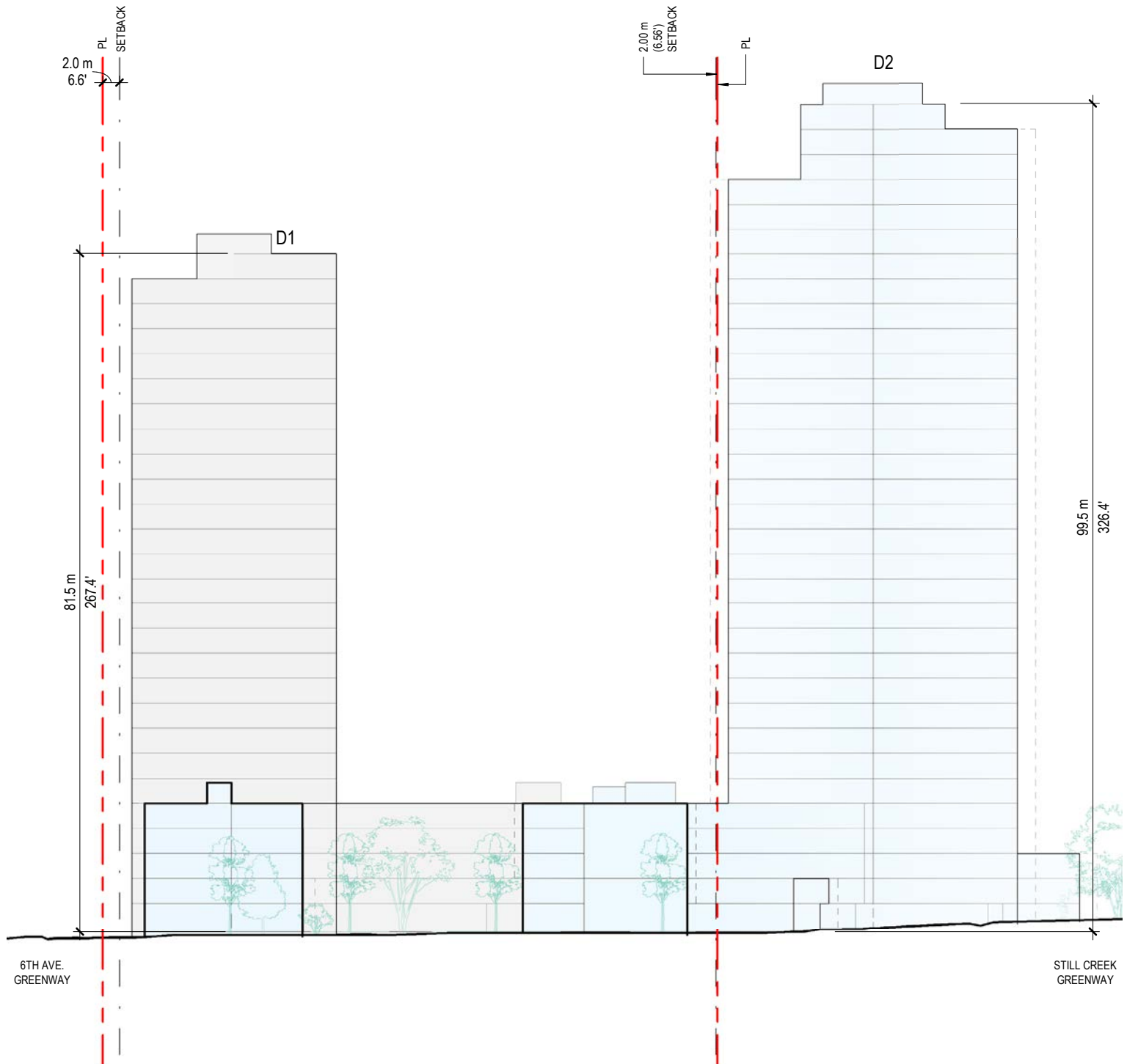
North Elevation



East Elevation



South Elevation



West Elevation

Parcel E

Urban Design Role

Phase 5 of the project, Parcel E, comprises two (2) interconnected buildings: E1 and E2. Parcel E is situated on the western side of Skeena Terrace and is bound by Still Creek Greenway to the north and Hermon Drive to the south.

Parcel E, together with Parcels F and G, form the three (3) edges of the "Gateway" Neighbourhood Room, which serves as the primary entrance to the site from the transit station in the southwest.

A barrier-free pedestrian path links the Still Creek Greenway to the "Gateway" neighbourhood room via the portal between E1 and E2.

E1, with its ground-level retail, activates the southern edge of the community plaza.

Character

E1 and E2 are 6-storey wood-frame residential buildings with a retail/cafe corner on the ground floor facing the community plaza.

The building tops are designed with a stepped form, conforming to the slope of the land and slanting towards Hermon Drive.

Both buildings comprise a mixture of HILS and market rental units.

E1 and E2 encompass the "Gateway" neighbourhood from north. E1 and E2 offer separate primary entrances from Cassiar St and the Neighbourhood Room. The ground-level units in E1 benefit from private patios.

Each building measures 19 m wide, with an additional 1.5 m on each side reserved for balconies. To accommodate the steep grade on parcel E, E2 features an amenity space on the lower level in the east corner, facing Hermon Drive and across from the HUT on Parcel D.

To minimize the traffic impact on the Hermon Drive and eliminate the need for an extra driveway, while taking into account the steep grade, Parcel E does not have an underground parkade. Instead, a district parking approach will be employed to serve the tenants of Parcels E and D, with the parkade on Parcel D sized to accommodate both.

For open space and public realm character refer to Chapter 3.



Parcel Statistics

Parcel E Summary

Buildings	E1	E2	TOTAL
Stores	6	6	
Construction	Wood	Wood	
Parcel Area			35,341
Parcel FSR (Gross)			2.59
Total GFA (ft²)	56,043	35,359	91,402
Residential GFA	53,290	35,359	88,649
Commercial GFA	2,753	-	2,753
Childcare GFA	-	-	-
Community GFA	-	-	-
Total NFA (ft²)	46,176	28,994	75,170
Residential NFA @ 80%	43,698	28,994	72,692
Commercial NFA @ 90%	2,478	-	2,478
Childcare NFA @ 100%	-	-	-
Community NFA @ 100%	-	-	-
Unit Mix			
Low Income RGI Units	-	-	-
HILS RGI Units	42	28	69
Market Units	25	17	42
Total Units	67	44	111

Parcel E Amenity Space Requirement

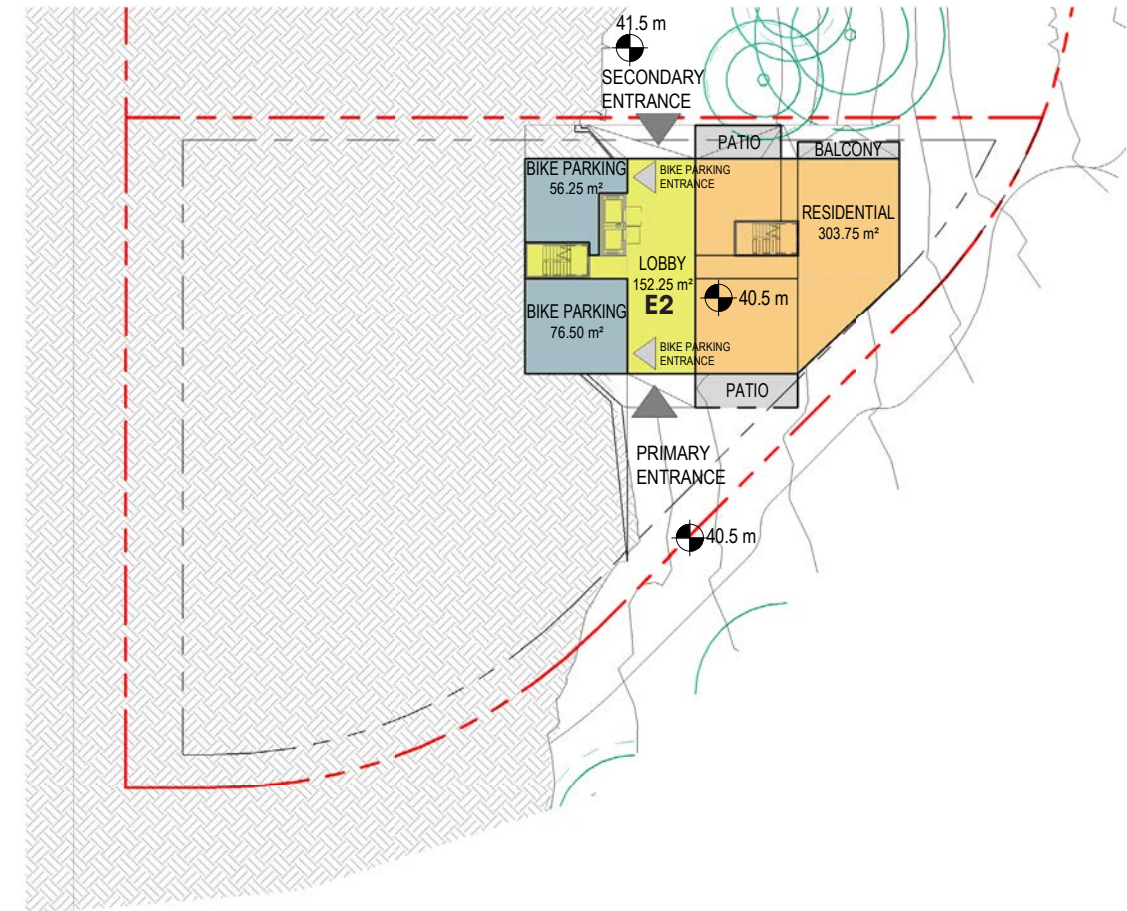
Buildings	E1	E2	TOTAL
Number of Spaces	1	1	2
Total Area (ft²)	1,341	890	2,231

Parcel E Residential Unit Mix

Buildings	E1	E2	TOTAL
Residential GFA (ft²)	53,290	35,359	88,649
Residential NFA @ 80%	43,698	28,994	72,692
Unit Mix			
Low Income RGI Units	-	-	-
HILS RGI Units	42	28	69
Market Units	25	17	42
TOTAL UNITS	67	44	111
NFA Distribution			
Low Income RGI mix	0%	0%	
HILS RGI mix	63%	63%	
Market mix	37%	37%	
RGI Unit Mix	Unit Size (ft²)	Unit Type %	Unit Count
One-Bedroom	525	30%	0
Two-Bedroom	725	30%	0
Three-Bedroom	925	30%	0
Four-Bedroom	1200	8%	0
Five-Bedroom	1300	3%	0
RGI Average Unit Size (ft²)	781		
Total RGI Units	0	0	0
HILS Unit Mix	Unit Size (ft²)	Unit Type %	Unit Count
One-Bedroom	525	40%	17
Two-Bedroom	725	50%	21
Three-Bedroom	925	10%	4
HILS Average Unit Size (ft²)	665		
Total HILS Units	42	28	69
Market Unit Mix	Unit Size (ft²)	Unit Type %	Unit Count
Market Studio	400	5%	1
Market One-Bedroom	500	40%	10
Market Two-Bedroom	725	45%	11
Market Three-Bedroom	850	10%	3
Market Average Unit Size (ft²)	631		
Total Market Units	25	17	42















Elevation +37.5m Plan
 E2 Level Lower (+37.5m)



Elevation +40.5m Plan
 E2 Level 01 (+40.5m)

DESIGN GUIDELINES

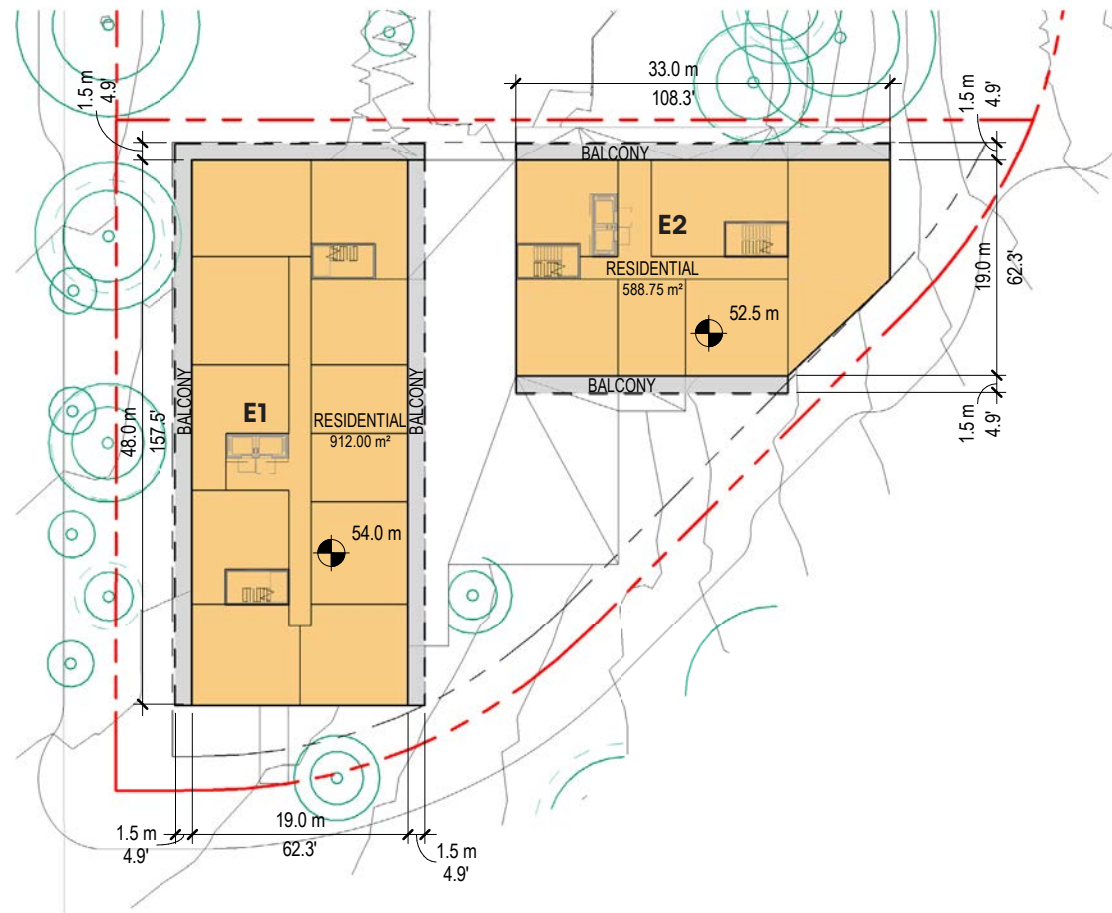
	RESIDENTIAL		OPEN BALCONY
	RESIDENTIAL COMMON AREA		BIKE PARKING
	AMENITY		PARKING
	COMMERCIAL		MECHANICAL
	HUT		POTENTIAL PUBLIC VERTICAL TRANSPORT
	CHILDCARE		EXTENT OF BALCONY



Elevation +43.5m Plan
 E1 Level Lower (+43.5m)
 E2 Level O2 (+43.5m)



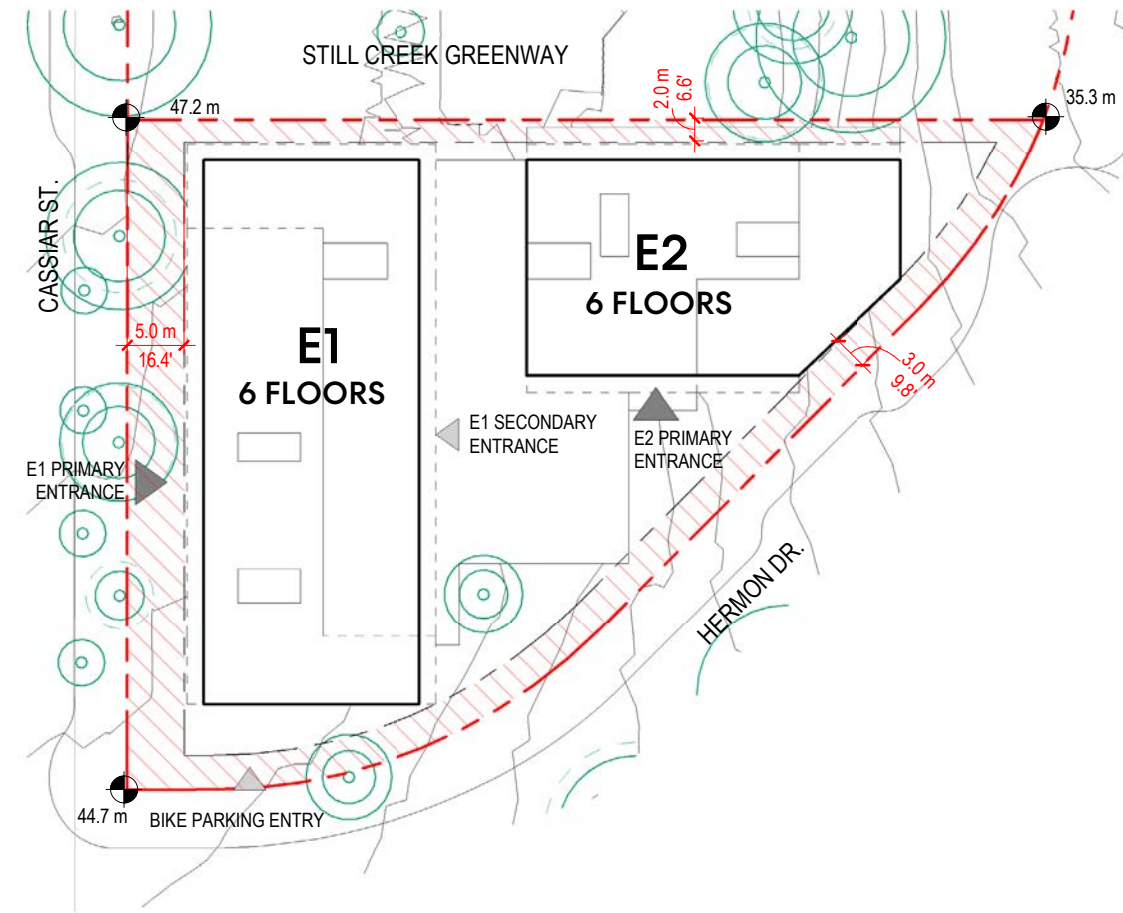
Elevation +46.5m Plan
 E1 Level O1 (+46.5m)
 E2 Level O3 (+46.5m)



Elevation +53.5m Plan

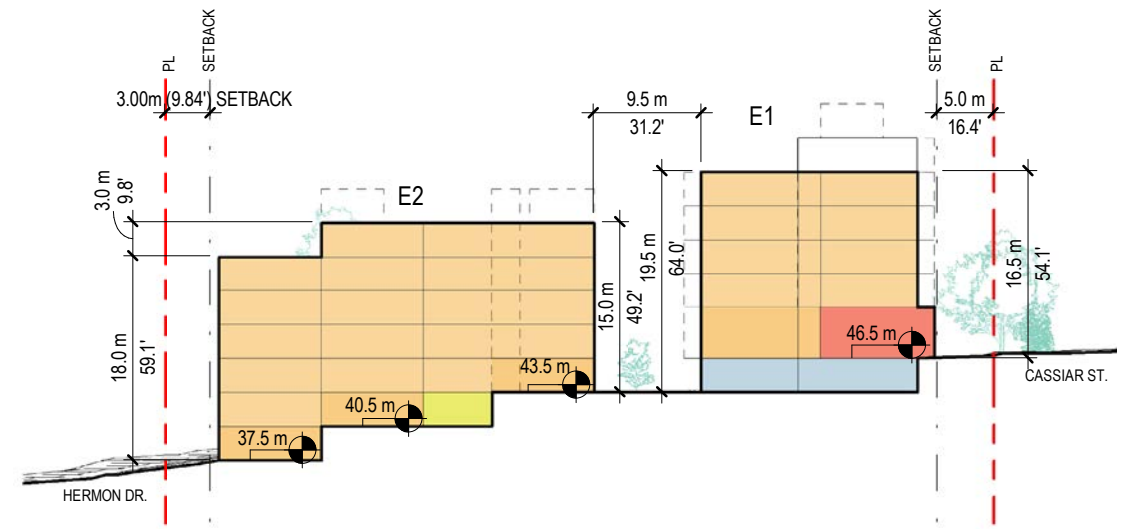
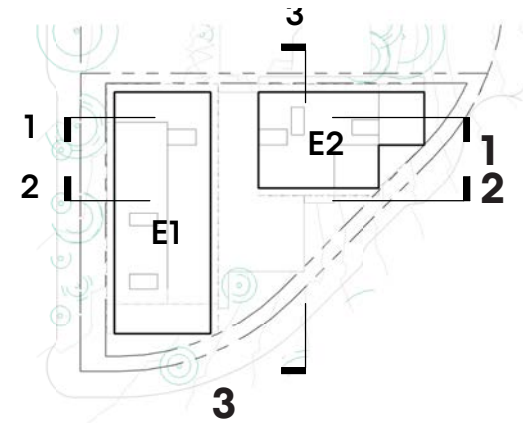
E1 Level 03 (+53.5m)

E2 Level 05 (+53.5m)

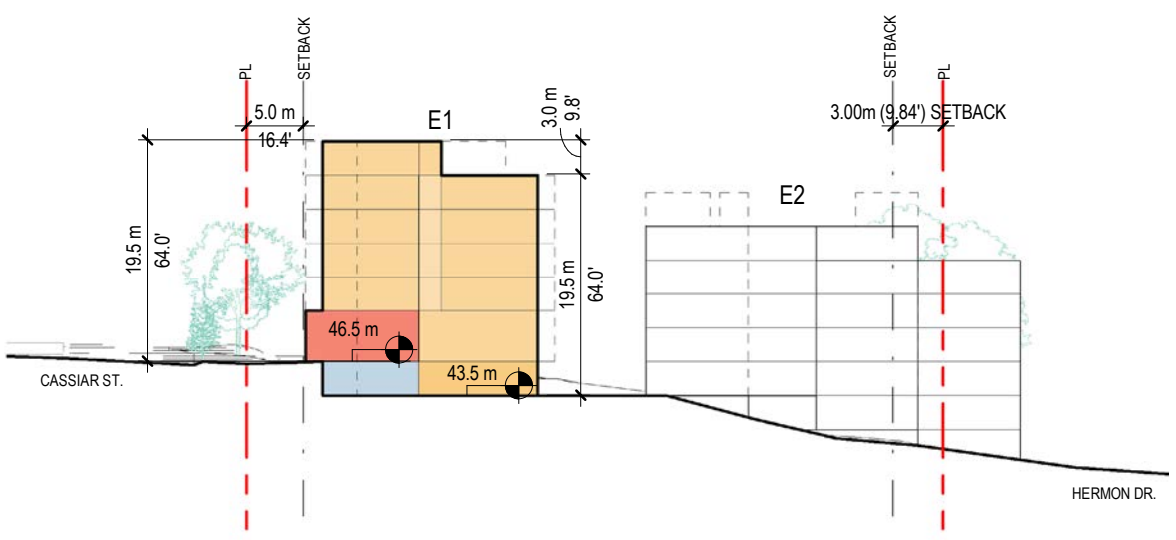


Roof Plan & Setbacks

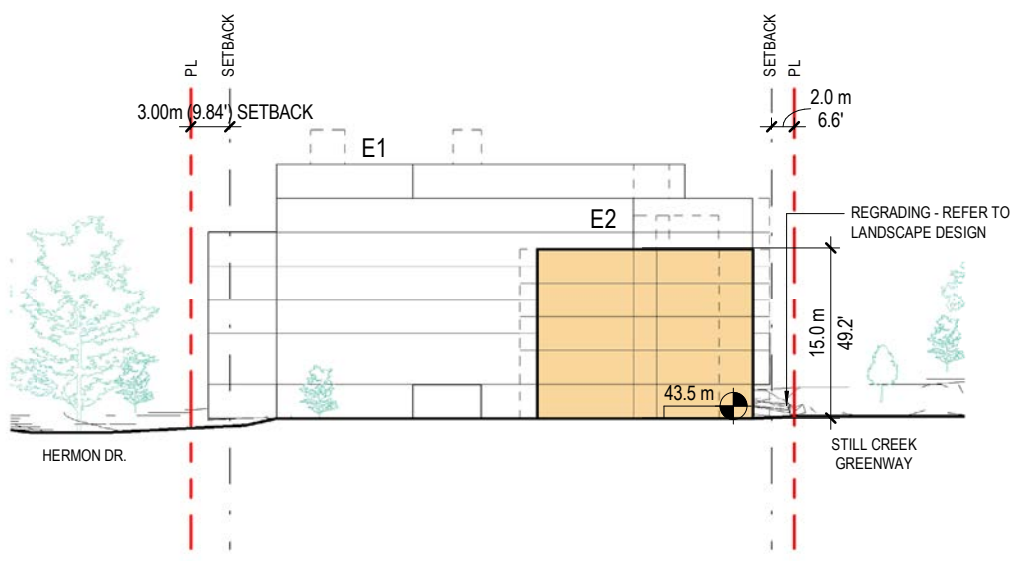
Sections



Section 1

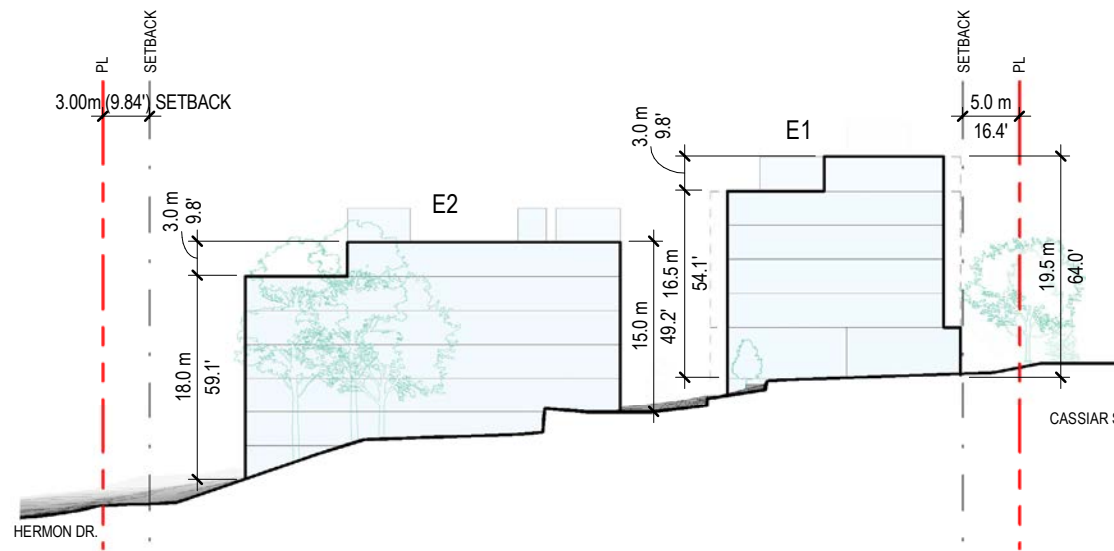


Section 2

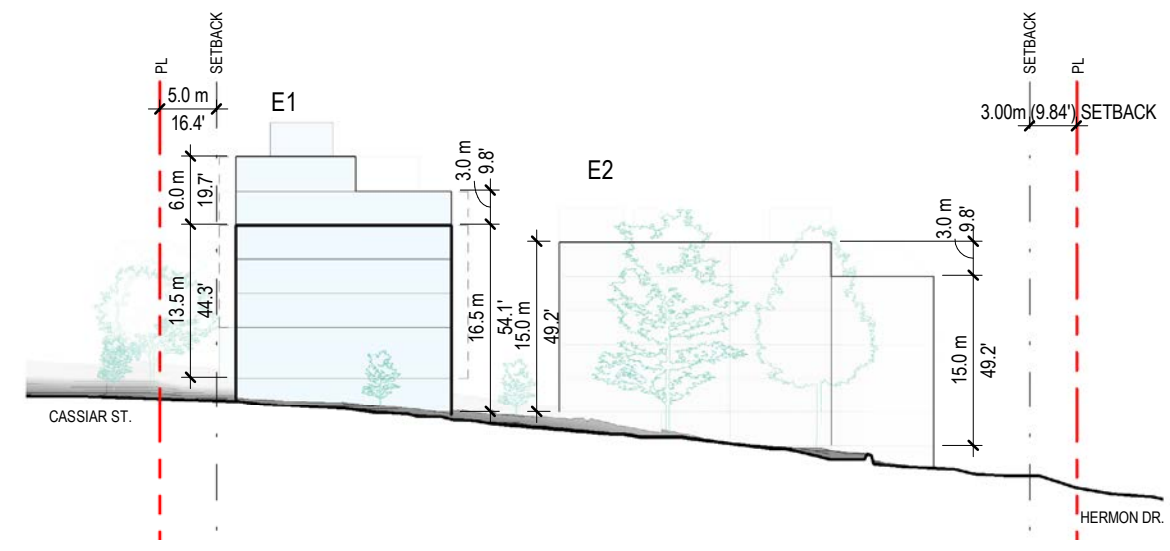


Section 3

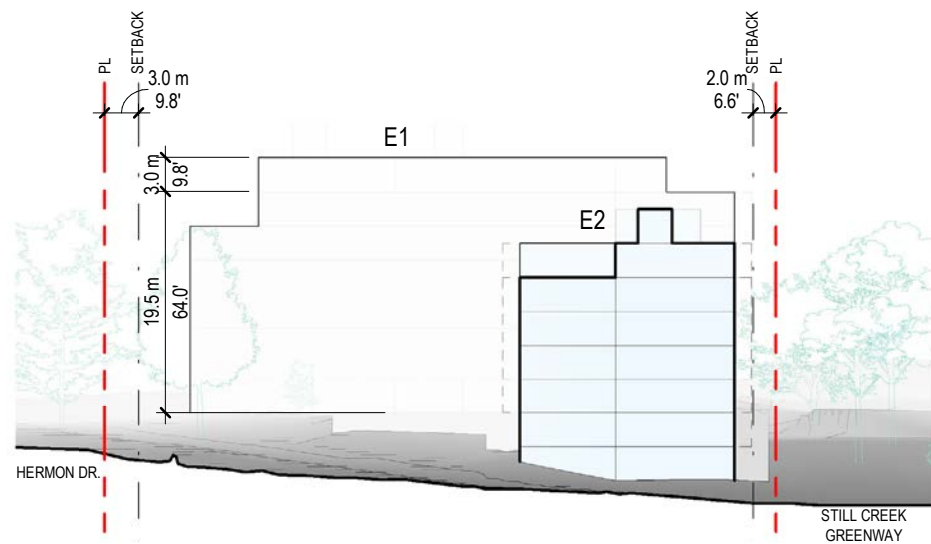
- RESIDENTIAL
- RESIDENTIAL COMMON AREA
- COMMERCIAL
- HUT
- CHILDCARE
- OPEN BALCONY
- MECHANICAL



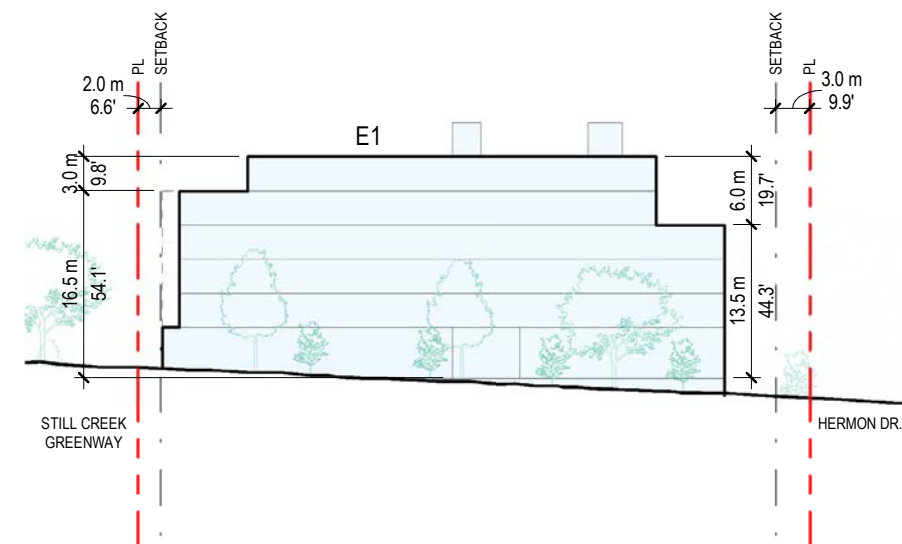
North Elevation



South Elevation

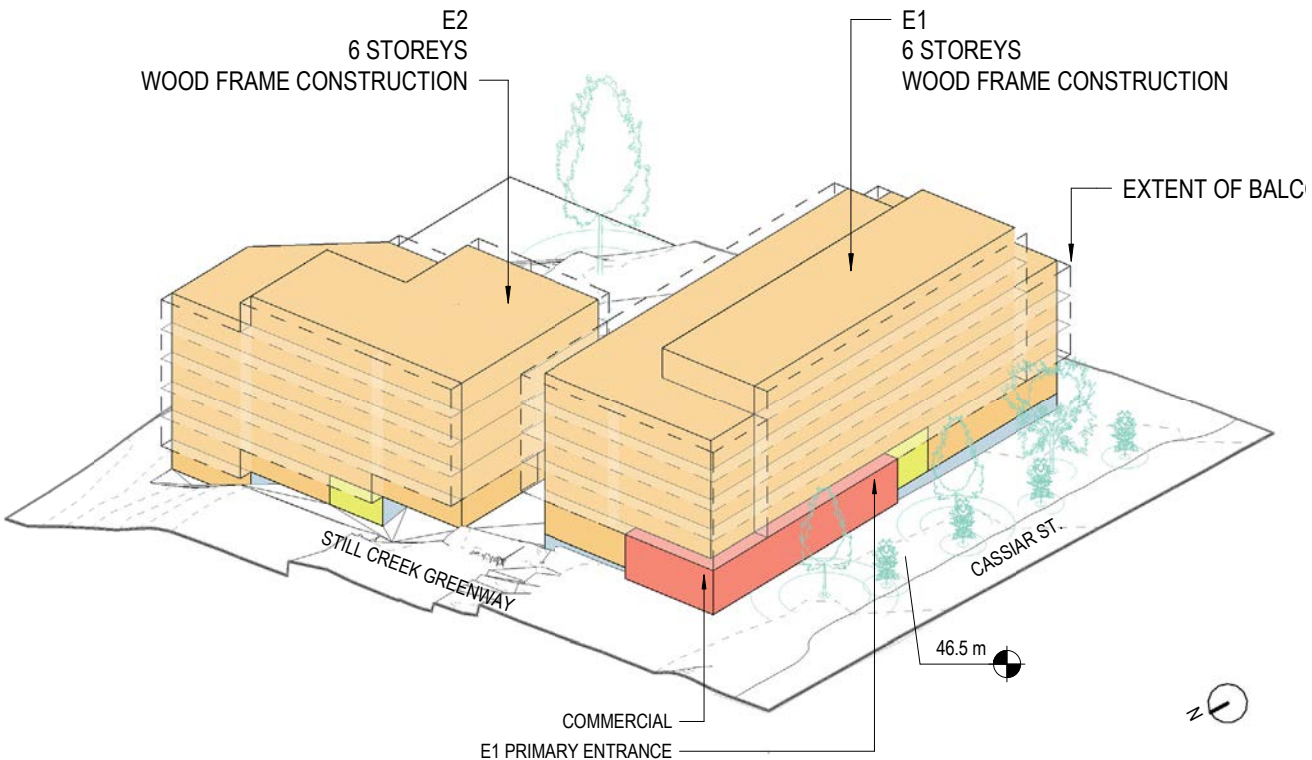


East Elevation

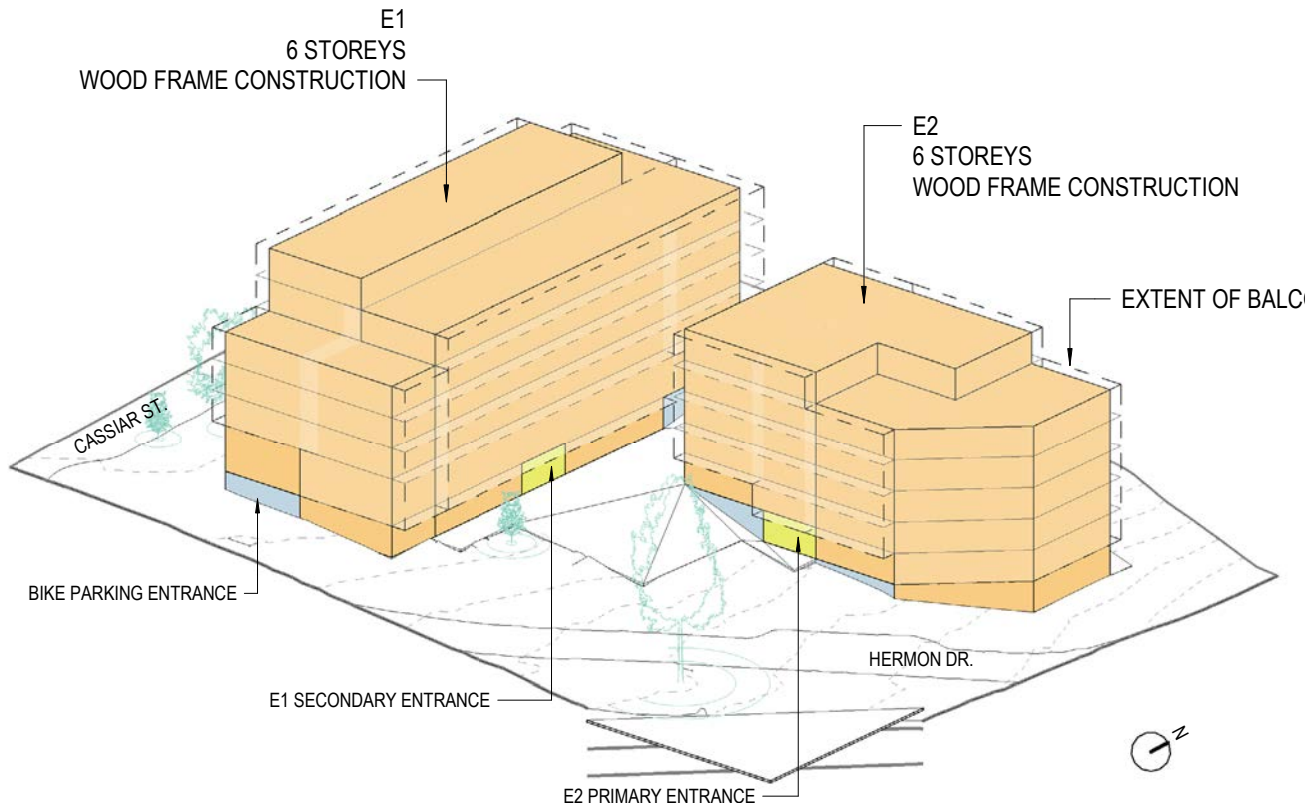


West Elevation

Axonometric Views



Northwest View



Southeast View

Parcel F

Urban Design Role

Phase 6 of the project, Parcel F, consists of two (2) buildings: F1 and F2.

This parcel is located on the south side of Skeena Terrace and is bordered by Hermon Drive to the north and Lougheed Highway to the south.

Parcel F, together with Parcels E and G, form the three (3) edges of the "Gateway" Neighbourhood Room, which serves as the primary entrance to the site from the transit station in the southwest.

F1/F2 podium, with its ground-level live-work units, activates the northern edge of Lougheed Highway.

Character

Building F1 is a 30-storey concrete residential tower and building F2 is a 20-storey concrete residential tower. The two (2) structures are connected by a 4-6 storey podium along Lougheed Highway.

Both buildings consist of a mix of HILS and market rental units.

The building tops are designed with a stepped form, conforming to the slope of the land and slanting towards Lougheed Highway.

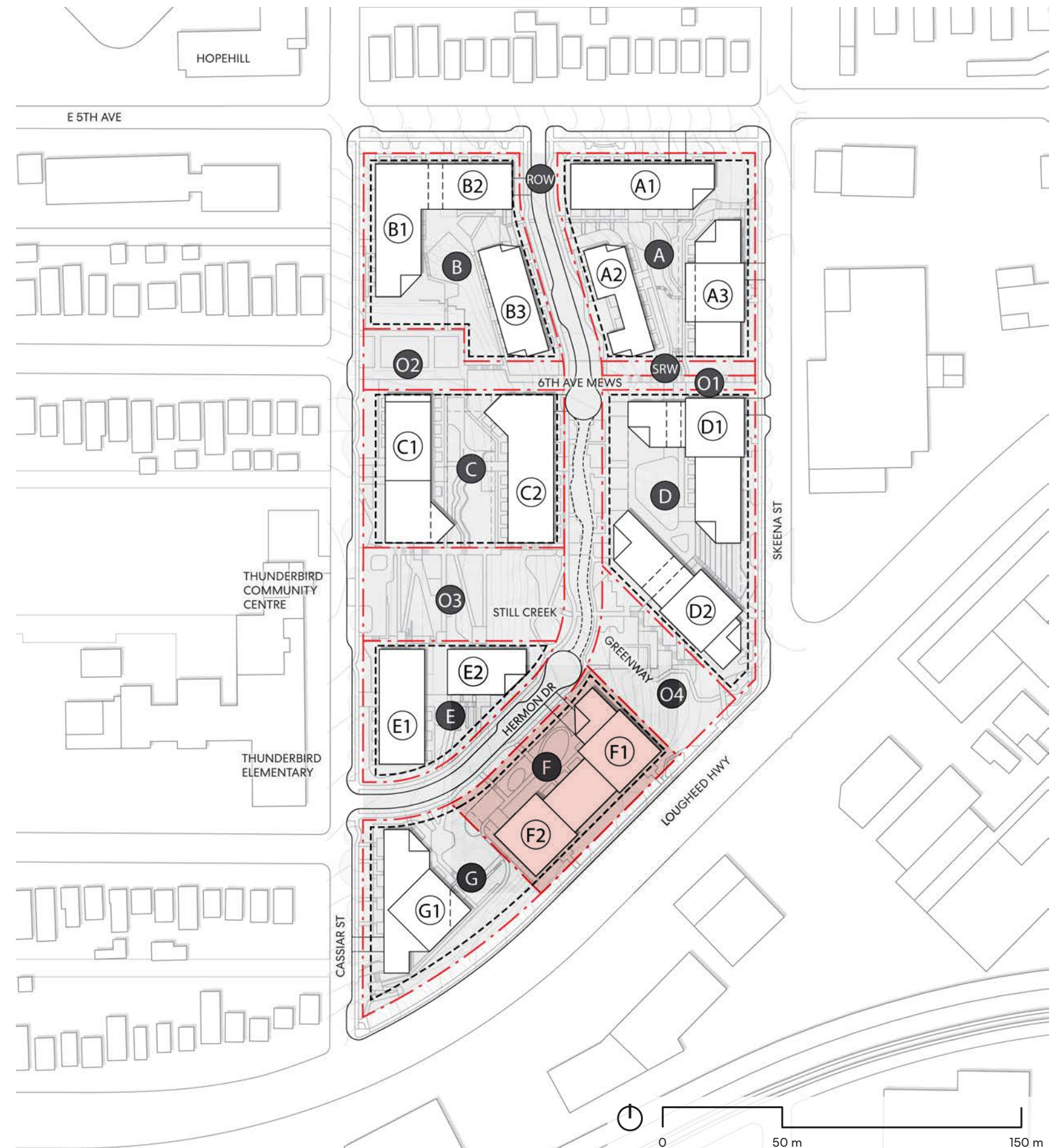
The podium is 19 m wide, with an additional 1.5 m on each side reserved for balconies while the towers are 24.5 by 24.5 m with an additional 1.5 m on each side reserved for balconies.

F1 and F2 encompass the flat section of the "Gateway" neighbourhood from the south and feature separate primary entrances from Hermon Drive and secondary entrances from Lougheed Highway. The ground-level units in Parcel F benefit from private patios.

Besides ground level amenity room on Hermon Drive, each building have private amenity rooms on podium roof levels with access to the roof garden.

F1 and F2 share an underground parking facility that can be accessed from Hermon Drive under F1 and connects to the parking under F2. This parking facility is appropriately sized and uses a district parking approach to serve the tenants of Parcels F and G.

For open space and public realm character refer to Chapter 3.



Parcel Statistics

Parcel F Summary













Buildings	F1	F2	TOTAL
Storeys	30	20	
Construction	Concrete	Concrete	
Parcel Area			44,281
Parcel FSR (Gross)			7.39
Total GFA (ft²)	163,569	163,569	327,138
Residential GFA	163,569	163,569	327,138
Commercial GFA	-	-	-
Childcare GFA	-	-	-
Community GFA	-	-	-
Total NFA (ft²)	134,127	134,127	268,253
Residential NFA @ 80%	134,127	134,127	268,253
Commercial NFA @ 90%	-	-	-
Childcare NFA @ 100%	-	-	-
Community NFA @ 100%	-	-	-
Unit Mix			
Low Income RGI Units	-	-	-
HILS RGI Units	128	128	255
Market Units	78	78	156
Total Units	206	206	411

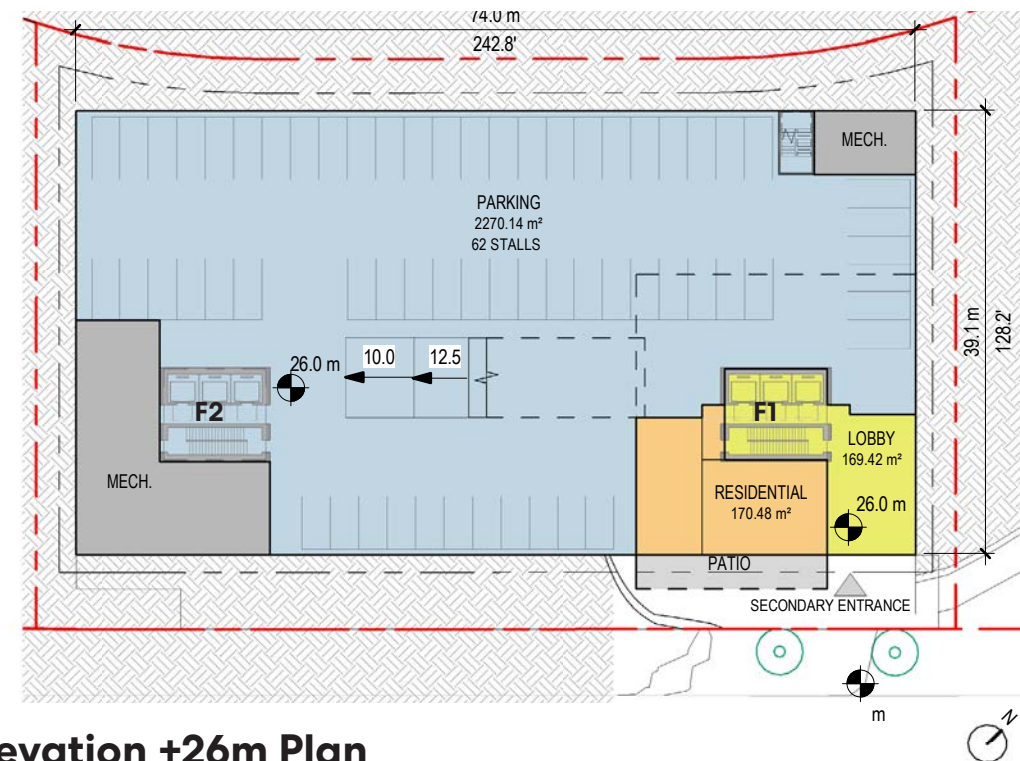
Parcel F Amenity Space Requirement

Buildings	F1	F2	TOTAL
Number of Spaces		2	2
Total Area (ft²)		6,170	6,170

Parcel F Residential Unit Mix

Buildings	F1	F2	TOTAL
Residential GFA (ft²)	163,569	163,569	327,138
Residential NFA @ 80%	134,127	134,127	268,253
Unit Mix			
Low Income RGI Units	-	-	-
HILS RGI Units	128	128	255
Market Units	78	78	156
TOTAL UNITS	206	206	411
NFA Distribution			
Low Income RGI mix	0%	0%	
HILS RGI mix	63%	63%	
Market mix	37%	37%	
RGI Unit Mix	Unit Size (ft²)	Unit Type %	Unit Count
One-Bedroom	525	30%	0
Two-Bedroom	725	30%	0
Three-Bedroom	925	30%	0
Four-Bedroom	1200	8%	0
Five-Bedroom	1300	3%	0
RGI Average Unit Size (ft²)	781		
Total RGI Units	0		0
HILS Unit Mix	Unit Size (ft²)	Unit Type %	Unit Count
One-Bedroom	525	40%	51
Two-Bedroom	725	50%	64
Three-Bedroom	925	10%	13
HILS Average Unit Size (ft²)	665		
Total HILS Units	128		128
Market Unit Mix	Unit Size (ft²)	Unit Type %	Unit Count
Market Studio	400	5%	4
Market One-Bedroom	500	40%	31
Market Two-Bedroom	725	45%	35
Market Three-Bedroom	850	10%	8
Market Average Unit Size (ft²)	631		
Total Market Units	78		78

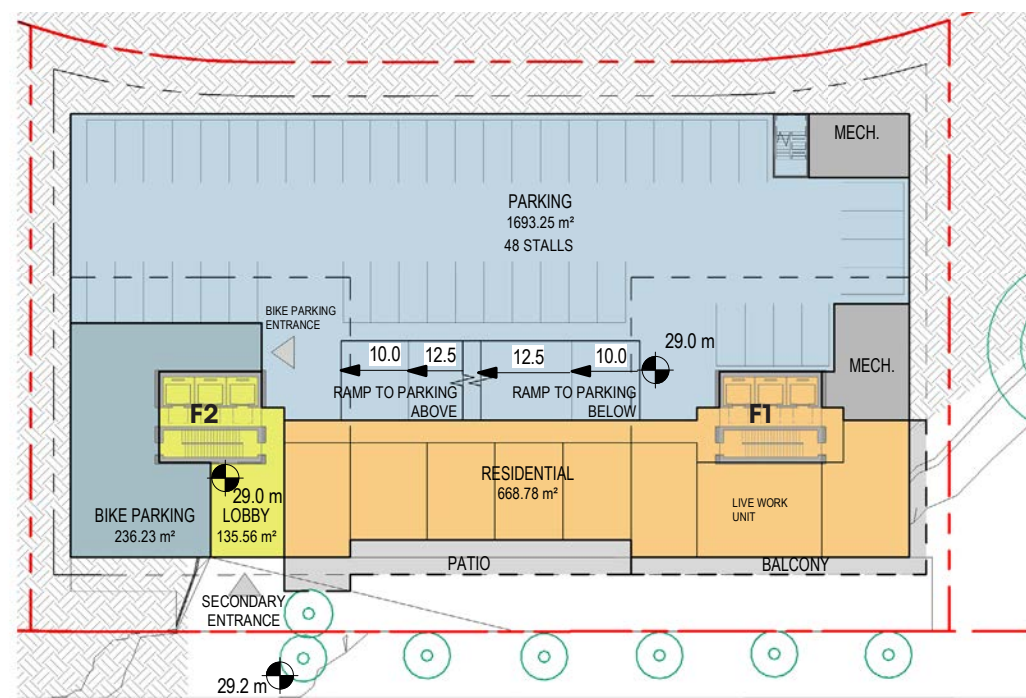
- | | |
|---|---|
|  RESIDENTIAL |  OPEN BALCONY |
|  RESIDENTIAL COMMON AREA |  BIKE PARKING |
|  AMENITY |  PARKING |
|  COMMERCIAL |  MECHANICAL |
|  HUT |  POTENTIAL PUBLIC VERTICAL TRANSPORT |
|  CHILDCARE |  EXTENT OF BALCONY |



Elevation +26m Plan

F1 Level P4 (+26m)

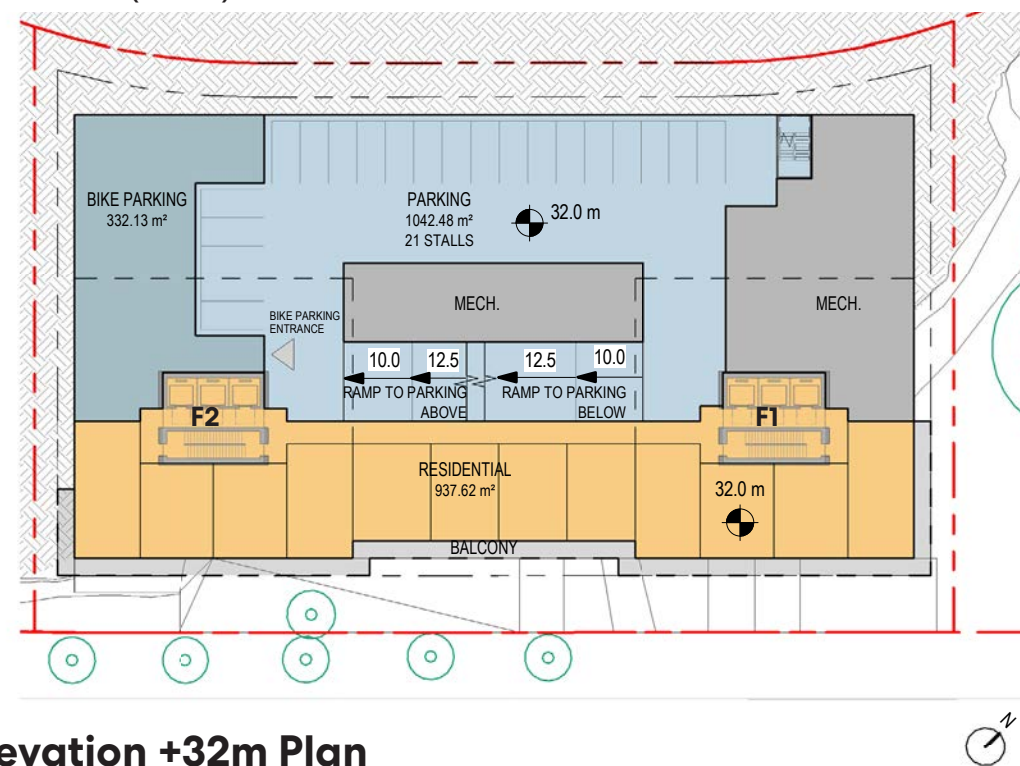
F2 Level P4 (+26m)



Elevation +29m Plan

F1 Level P3 (+29m)

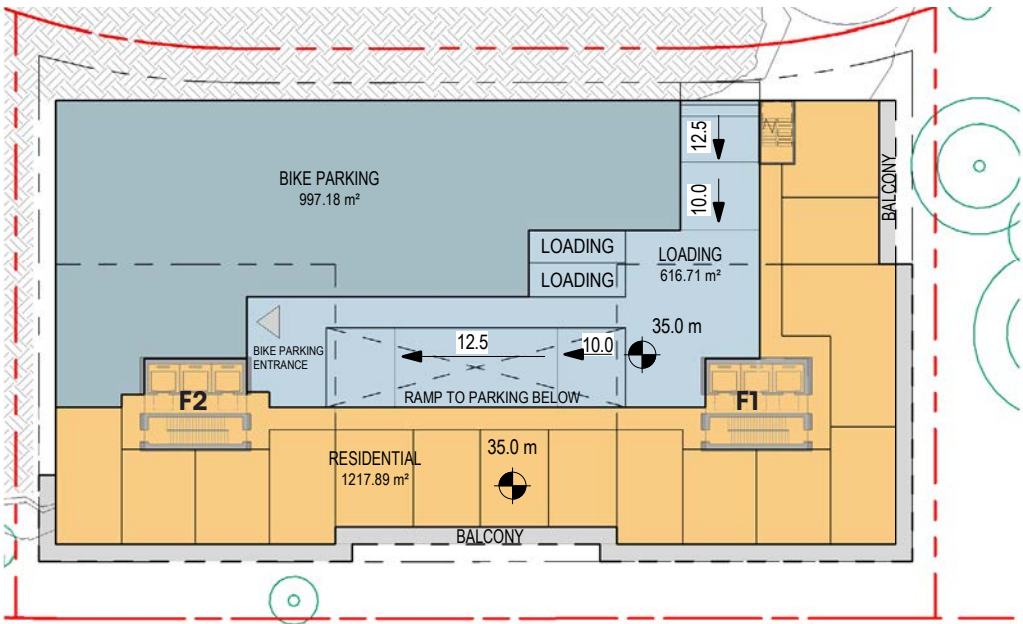
F2 Level P3 (+29m)



Elevation +32m Plan

F1 Level P2 (+32m)

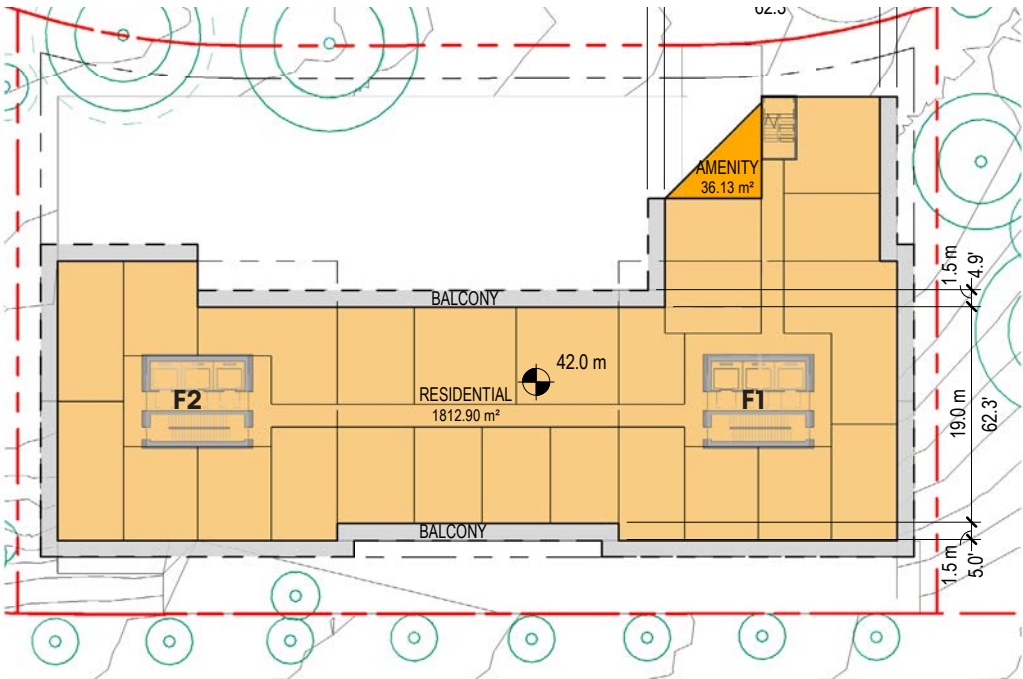
F2 Level P2 (+32m)



Elevation +35m Plan

F1 Level P1 (+35m)

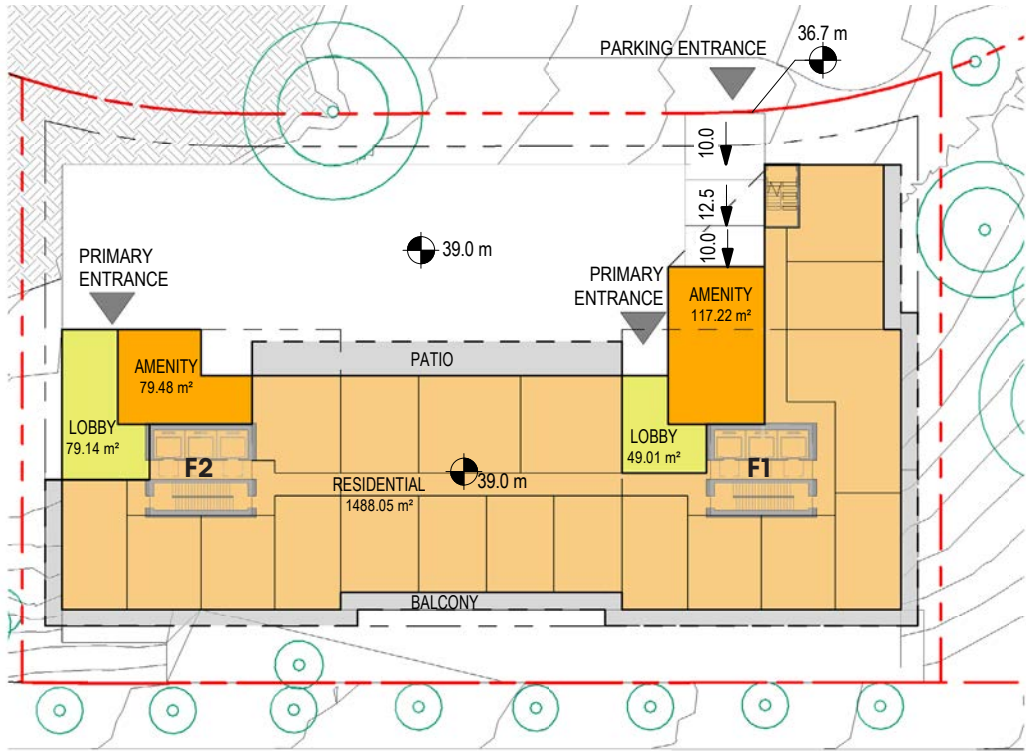
F2 Level P1 (+35m)



Elevation +42m Plan

F1 Level O2 (+42m)

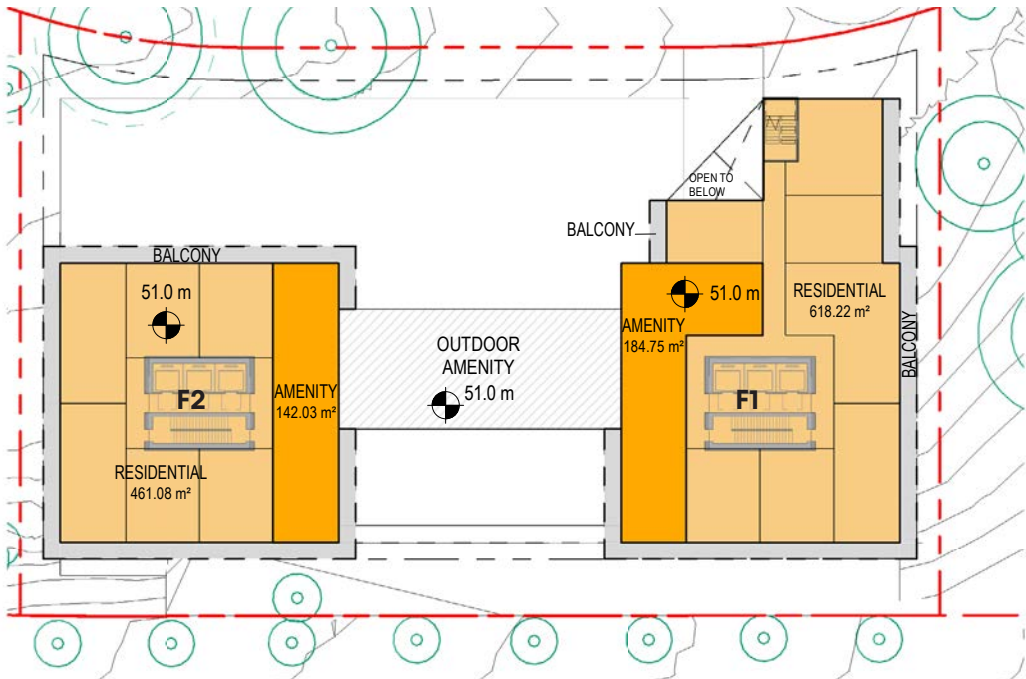
F2 Level O2 (+42m)



Elevation +39m Plan

F1 Level O1 (+39m)

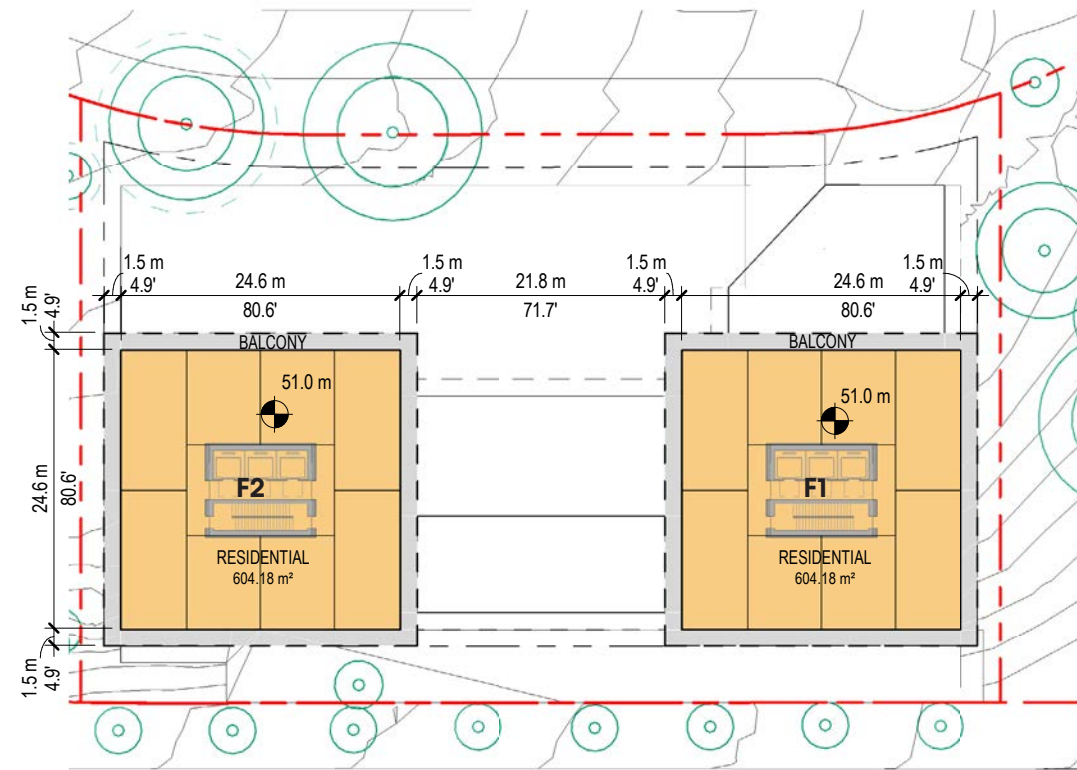
F2 Level O1 (+39m)



Elevation +51m Plan

F1 Level O5 (+51m)

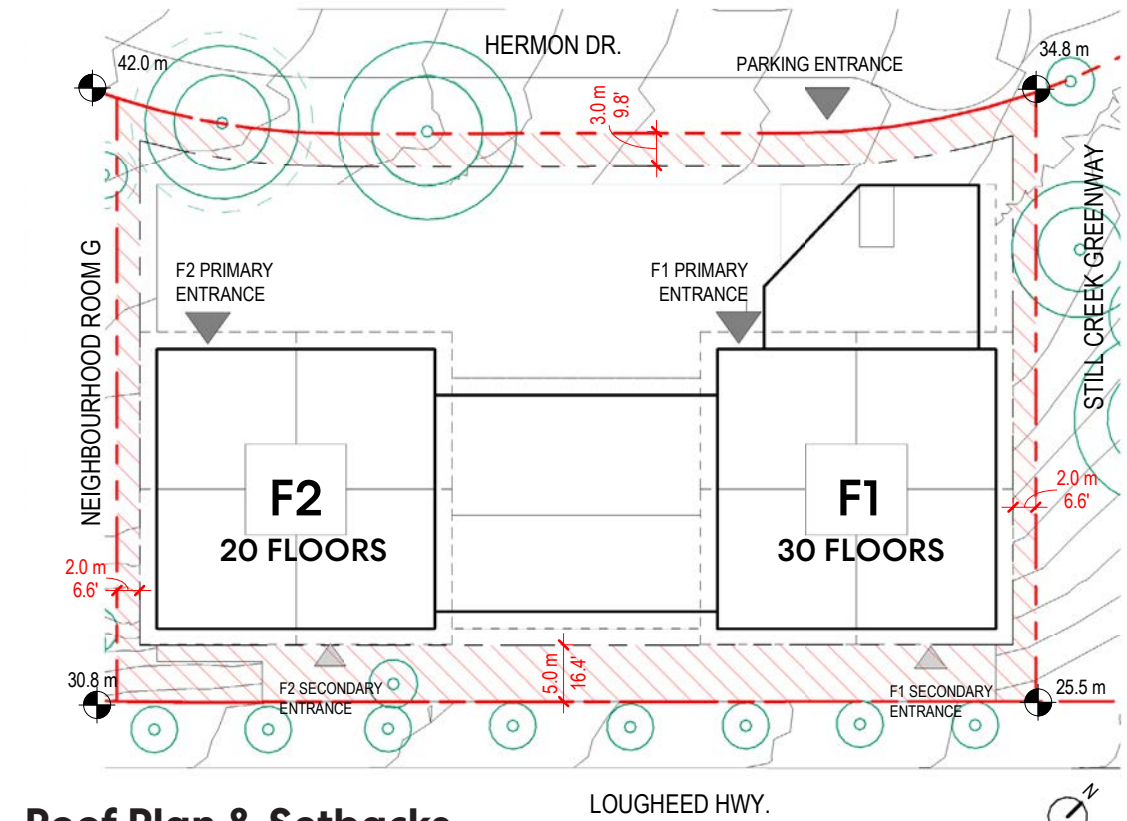
F2 Level O5 (+51m)



Elevation +69m Plan

F1 Level 11 (+69m) - Tower Typical

F2 Level 11 (+69m) - Tower Typical

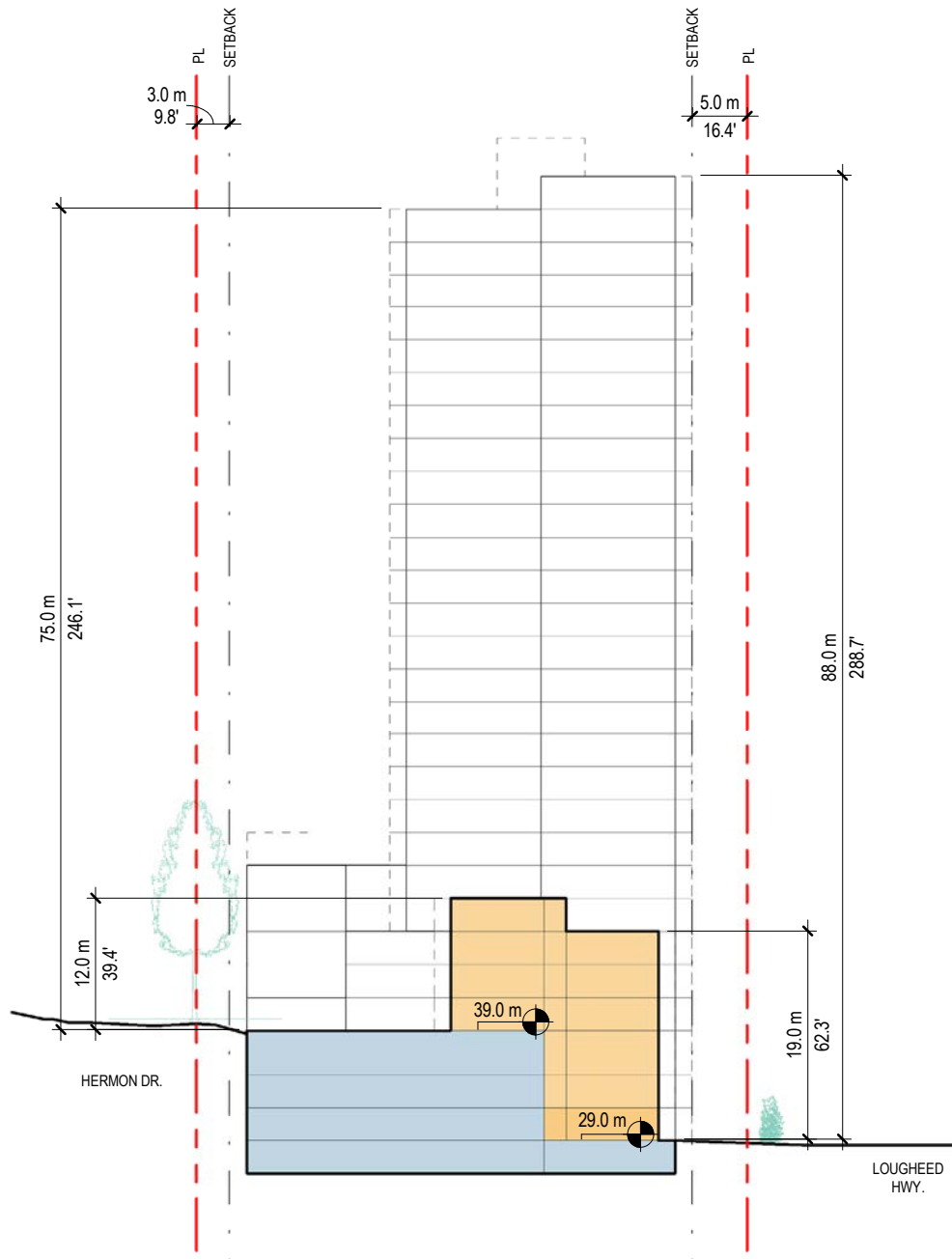
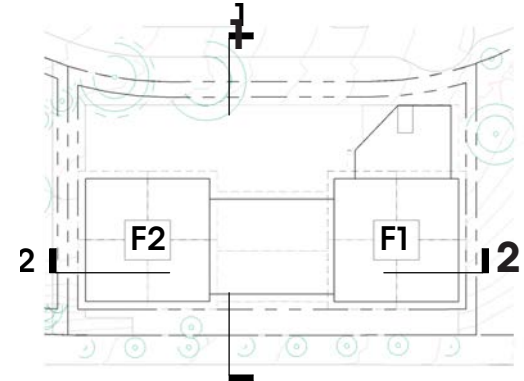


Roof Plan & Setbacks

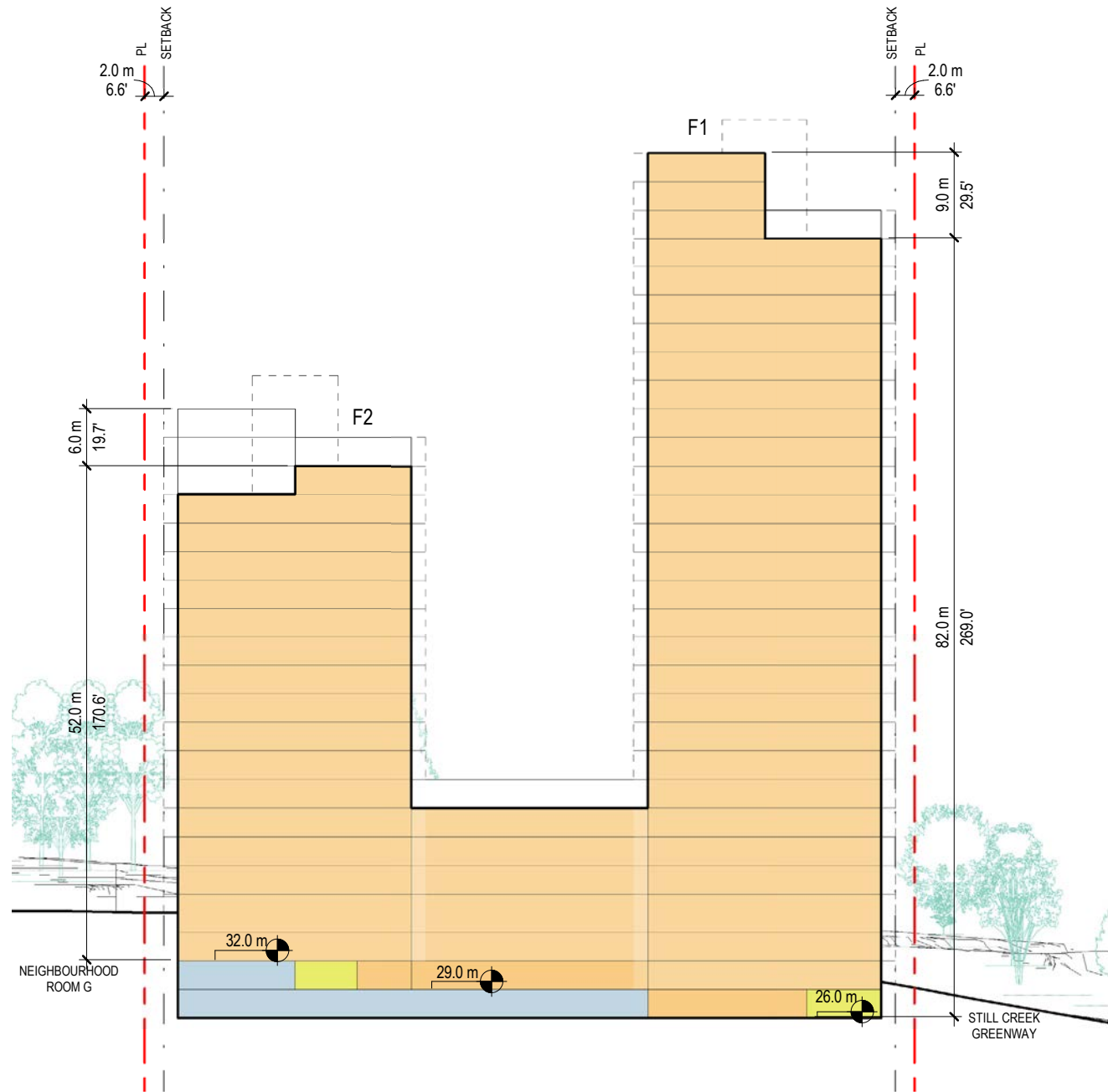
- | | |
|---|---|
| RESIDENTIAL | OPEN BALCONY |
| RESIDENTIAL COMMON AREA | BIKE PARKING |
| AMENITY | PARKING |
| COMMERCIAL | MECHANICAL |
| HUT | POTENTIAL PUBLIC VERTICAL TRANSPORT |
| CHILDCARE | EXTENT OF BALCONY |



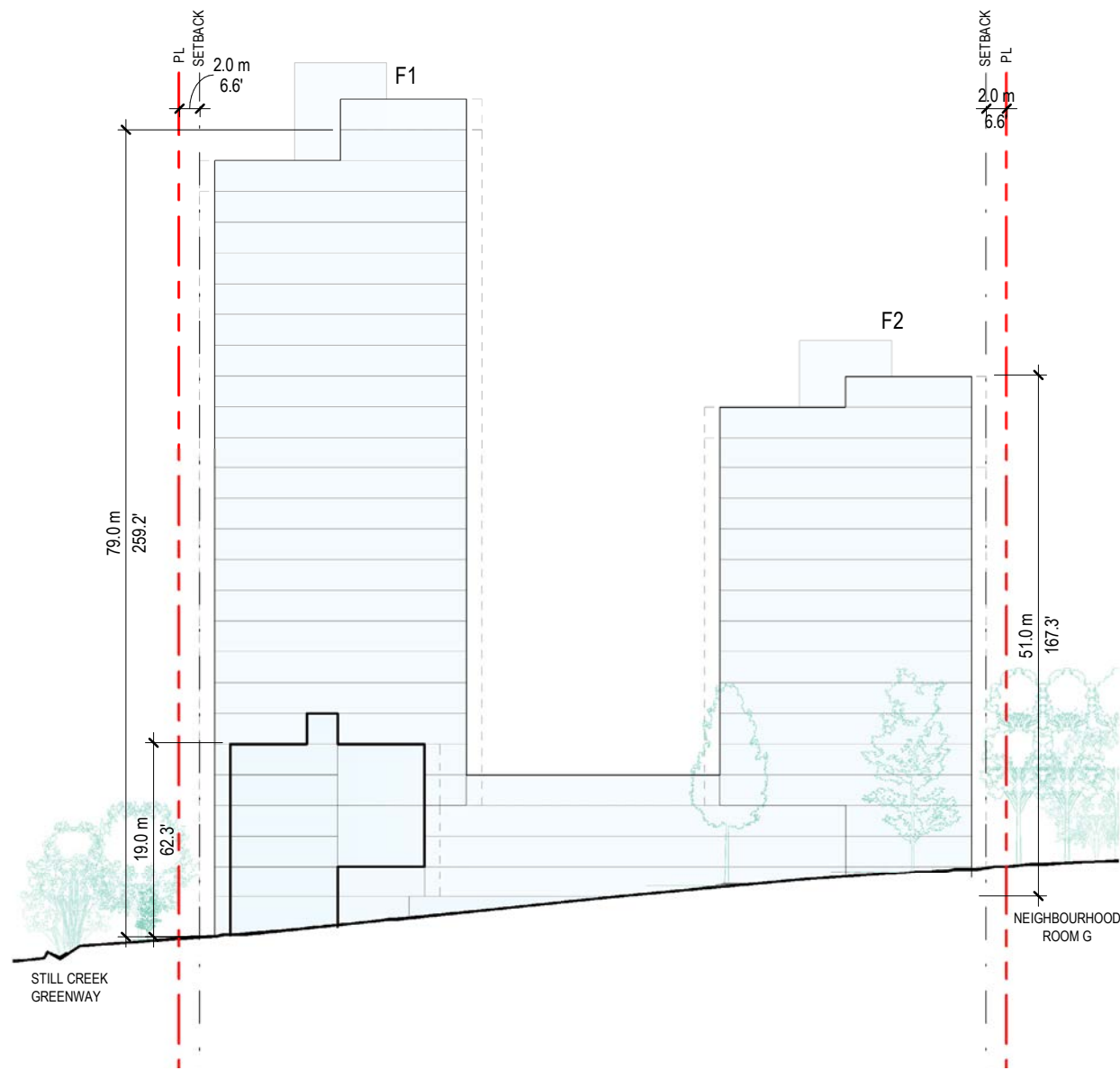
Sections



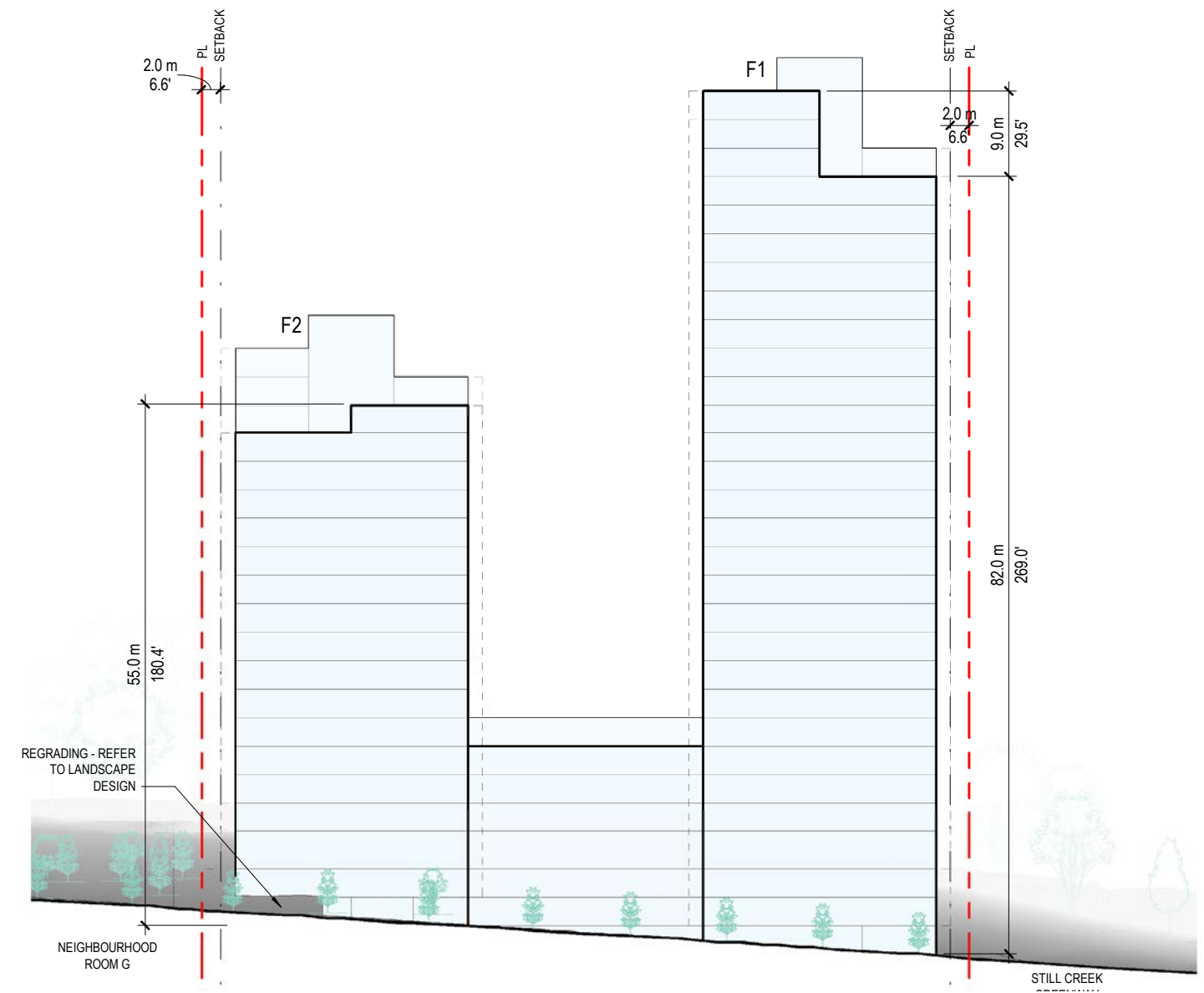
Section 1



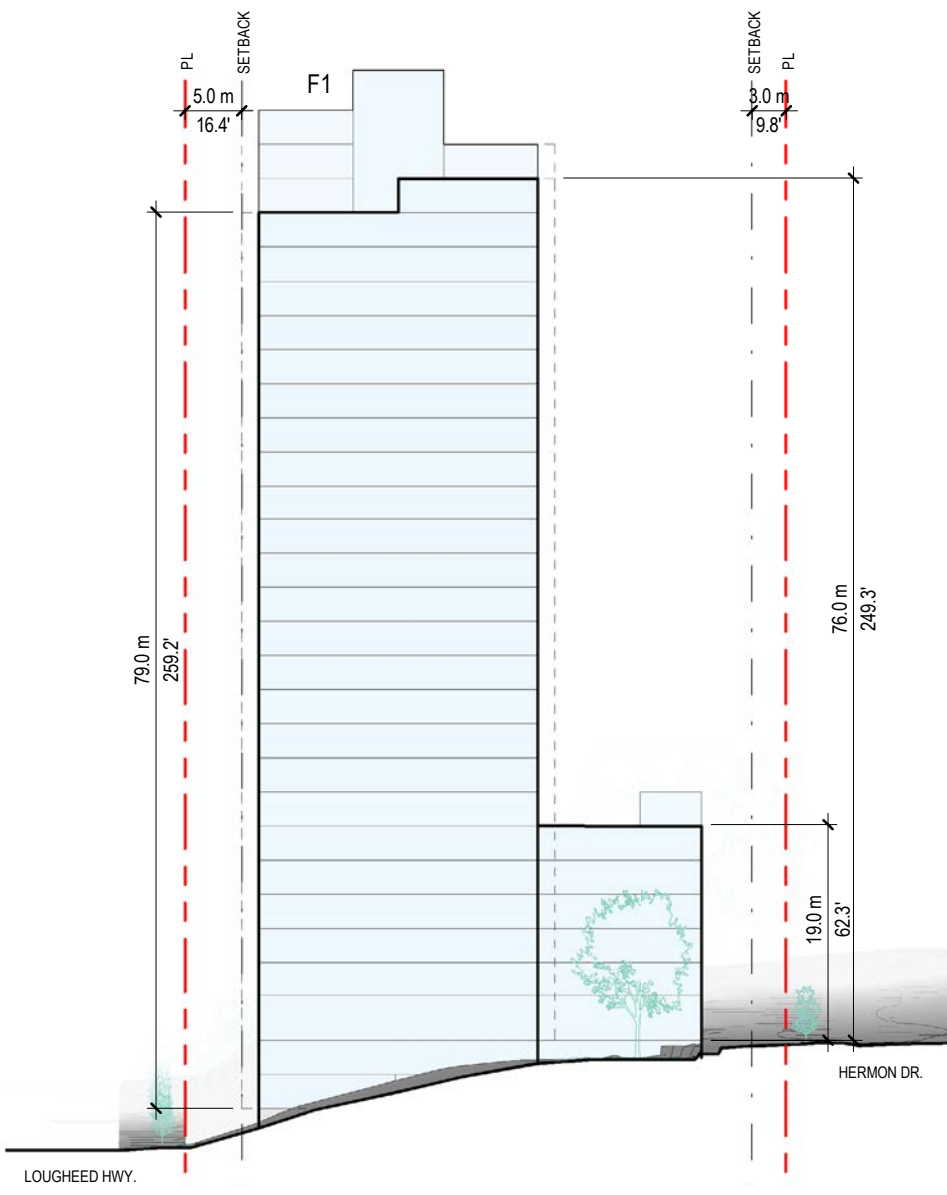
Section 2



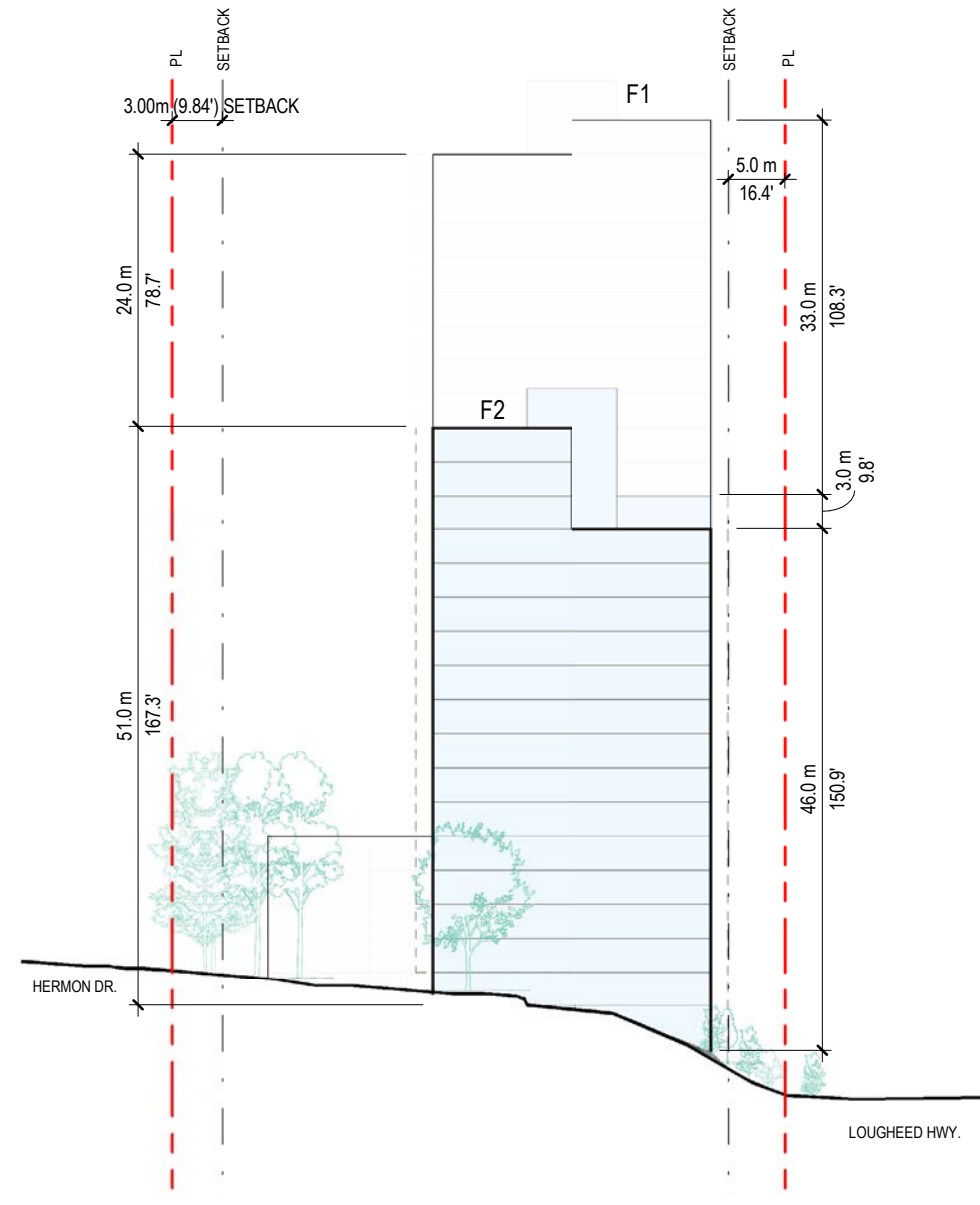
Northwest Elevation



Southeast Elevation

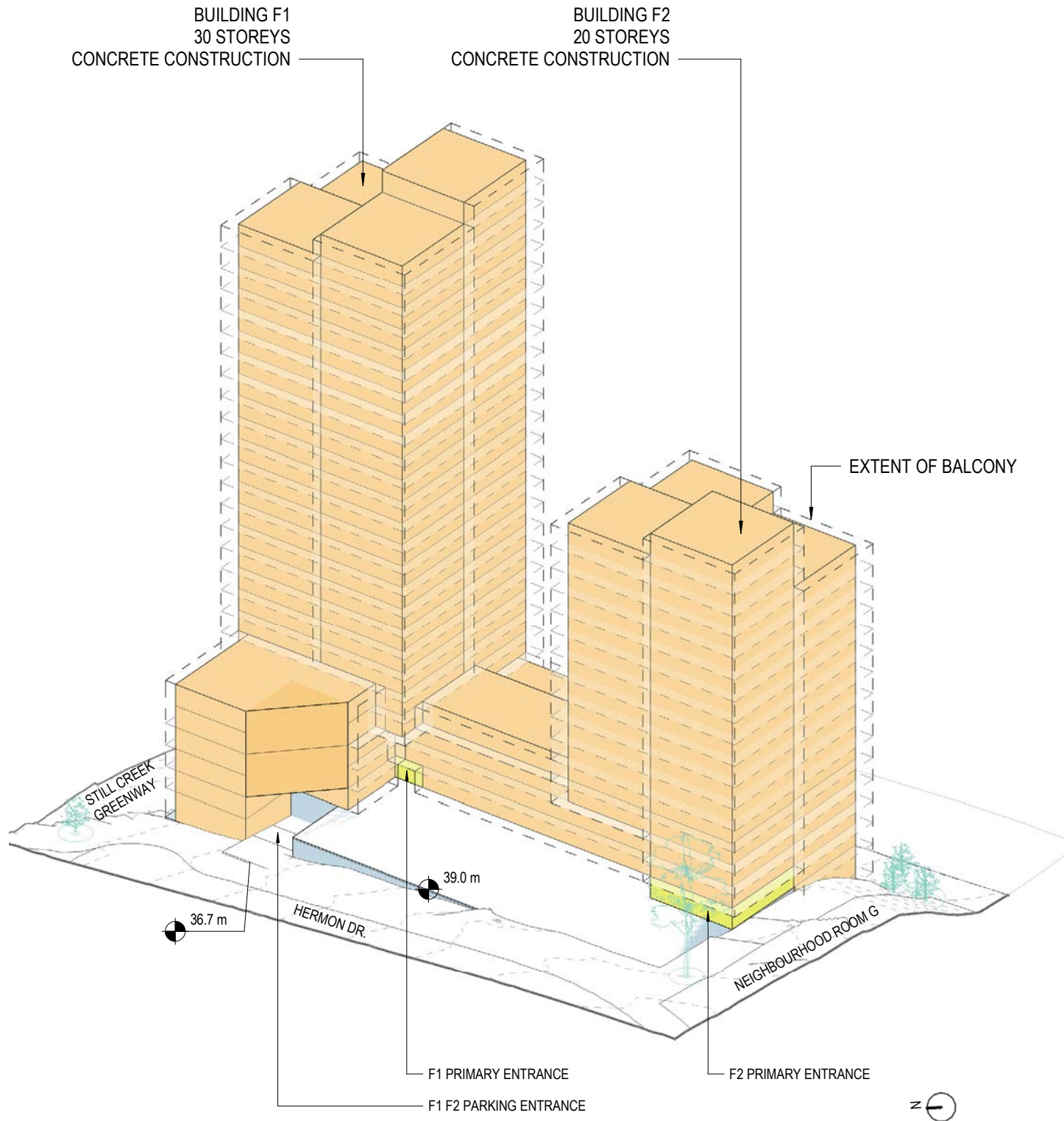


Northeast Elevation

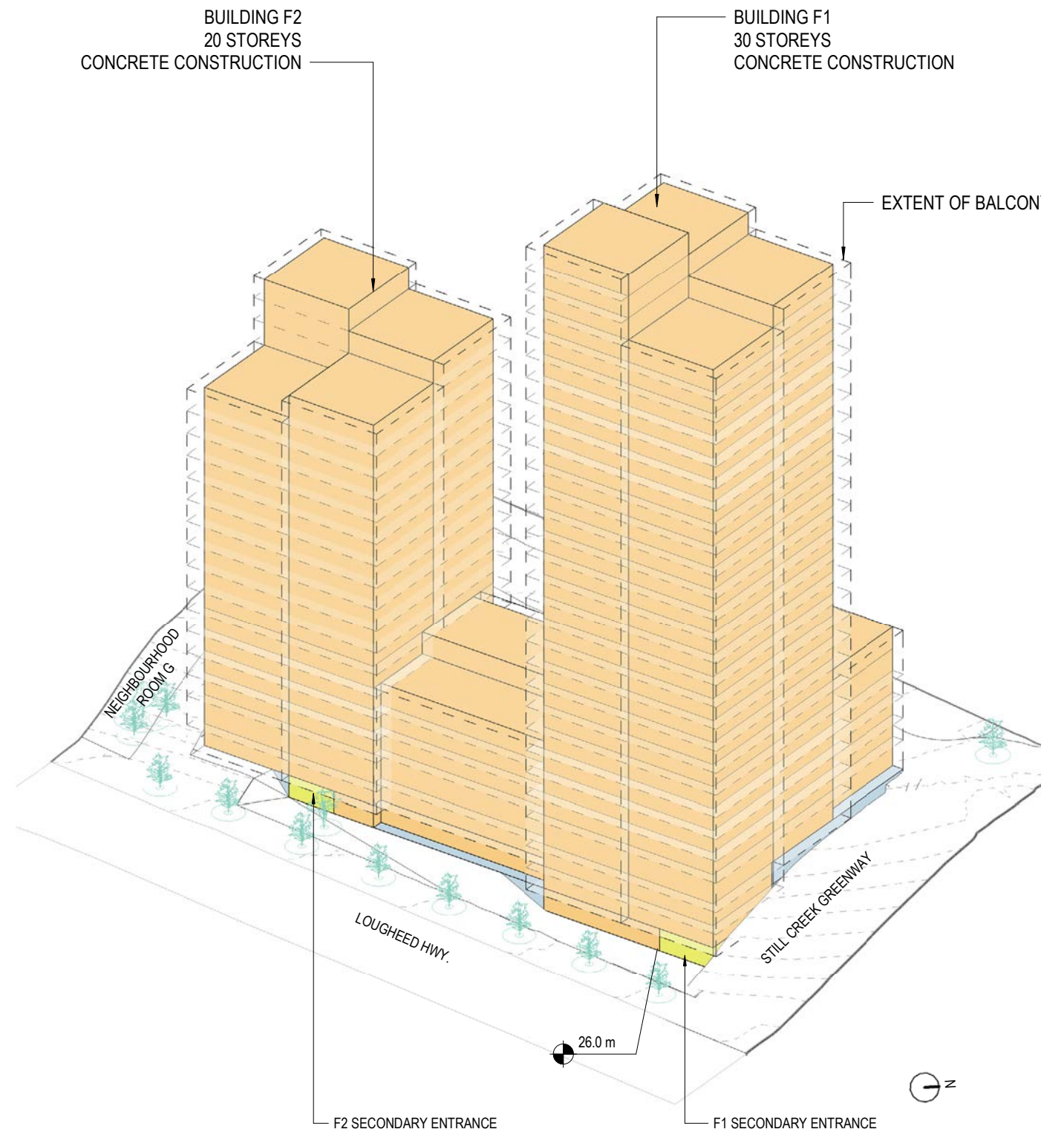


Southwest Elevation

Axonometric Views



Southwest View



Northeast View

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Parcel G

Urban Design Role

Phase 7 of the project, Parcel G, consists of one (1) 14-storey residential building.

This parcel is located on the southwest corner of Skeena Terrace and is bordered by Cassiar St to the west and Lougheed Highway to the south.

Parcel G, together with Parcels E and F, form the three (3) edges of the "Gateway" Neighbourhood Room, which serves as the primary entrance to the site from the transit station in the southwest.

Building G, revitalizes the northern edge of Lougheed Highway with its lively ground-level amenity spaces and bustling lobby area, welcoming tenants and visitors to Skeena Terrace.

Character

Building G is a 14-storey concrete residential building with a 5-6 storey podium and consist of a mix of HILS and market rental units.

The podium tops are designed with a stepped form, conforming to the slope of the land and slanting towards Lougheed Highway.

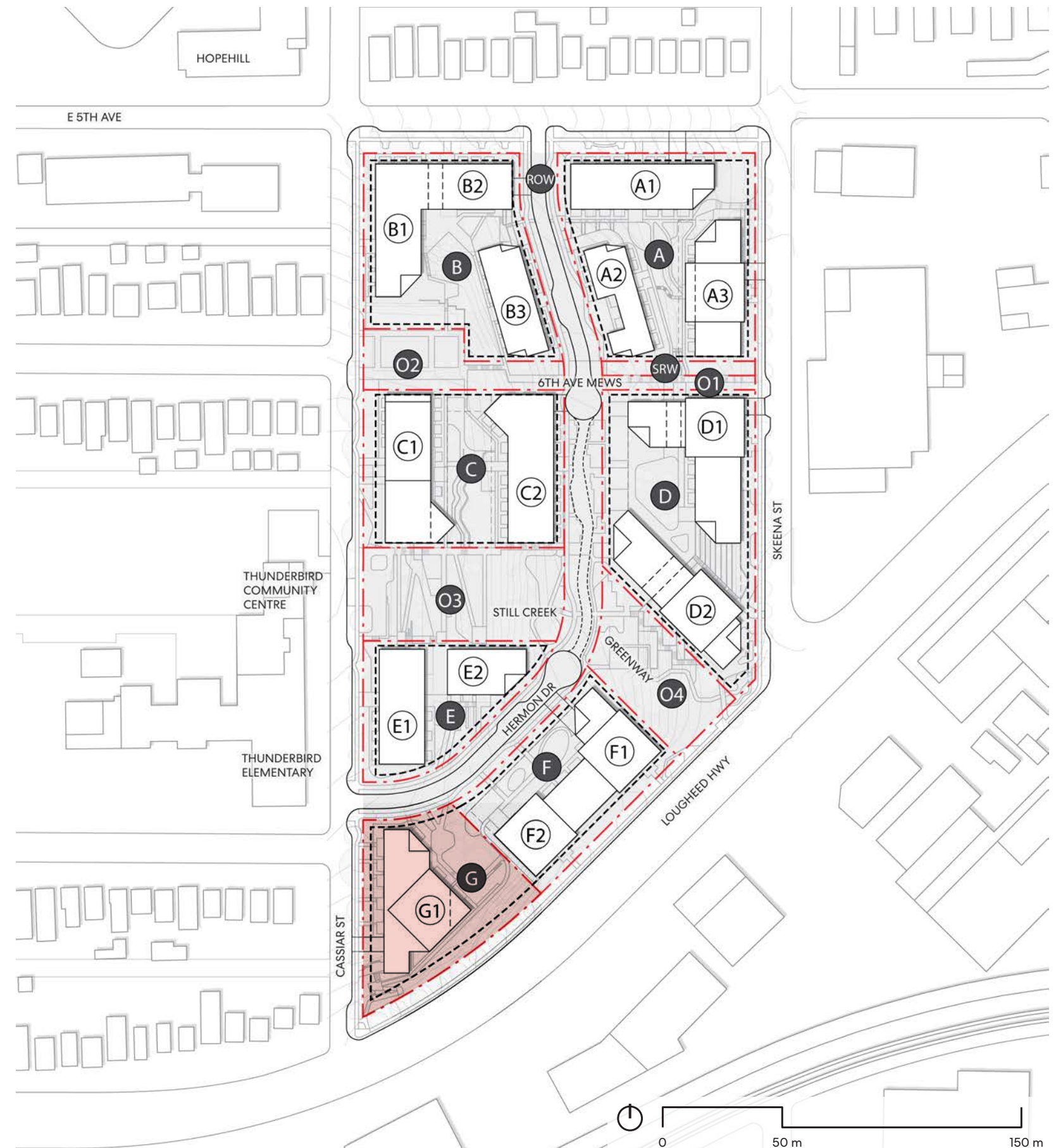
The podium is 19 m wide, with an additional 1.5 m on each side reserved for balconies while the tower is 24.5 m by 24.5 m with an additional 1.5 m on each side reserved for balconies.

G building encompass the steepest section of the "Gateway" neighbourhood from south and west. The primary entrance to the building is from Cassiar St while the secondary entrance is from the Neighbourhood Room close to Lougheed Highway.

Besides ground level amenity room on south facing Lougheed Highway, this building benefits from a private amenity room on podium roof level with access to the roof garden.

To minimize the traffic impact on the Hermon Drive and Cassiar St, and taking into account the steep grade, Parcel G does not have an underground parkade. Instead, a district parking approach will be employed to serve the tenants of Parcels G and F, with the parkade on Parcel F sized to accommodate both. Building G will only have an underground residential loading space.

For open space and public realm character refer to Chapter 3.



Parcel Statistics

Parcel G Summary

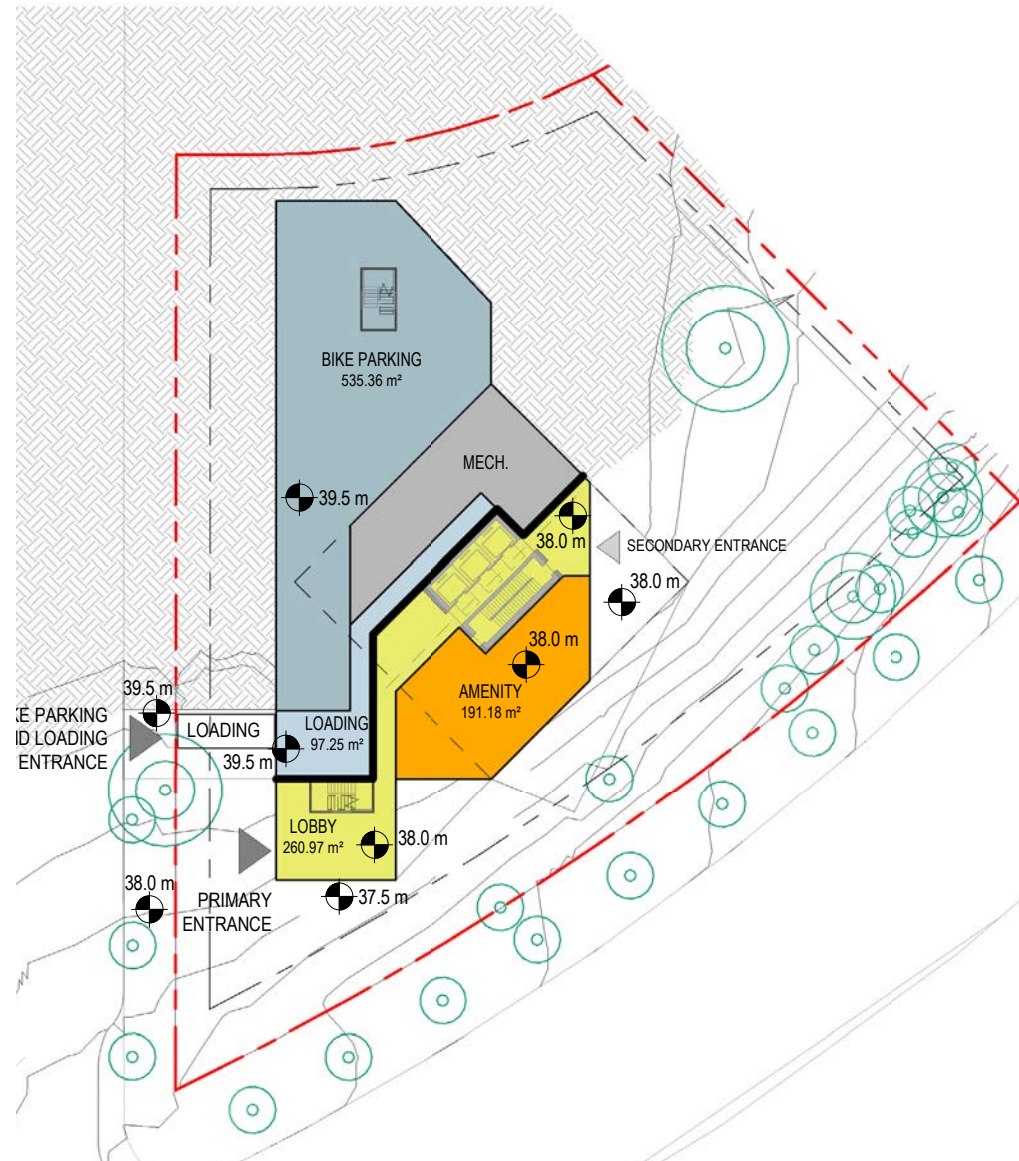
Buildings	G1	TOTAL
Storeys	14	
Construction	Concrete	
Parcel Area		43,563
Parcel FSR (Gross)		2.68
Total GFA (ft²)	116,632	116,632
Residential GFA	116,632	116,632
Commercial GFA	-	-
Childcare GFA	-	-
Community GFA	-	-
Total NFA (ft²)	95,638	95,638
Residential NFA @ 80%	95,638	95,638
Commercial NFA @ 90%	-	-
Childcare NFA @ 100%	-	-
Community NFA @ 100%	-	-
Unit Mix		
Low Income RGI Units	-	-
HILS RGI Units	91	91
Market Units	56	56
Total Units	147	147

Parcel G Amenity Space Requirement

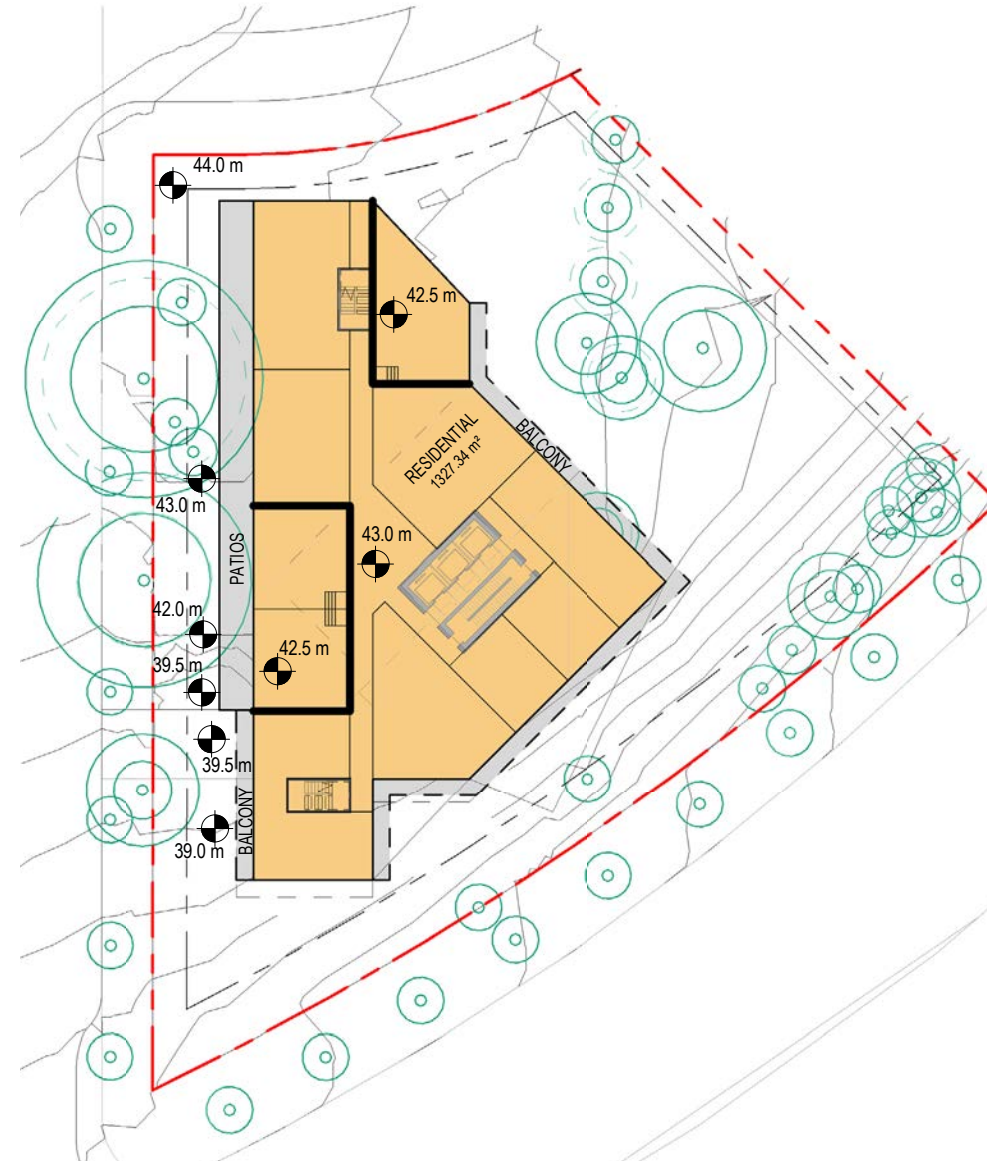
Buildings	G1	TOTAL
Number of Spaces	2	2
Total Area (ft²)	2,200	2,200

Parcel G Residential Unit Mix

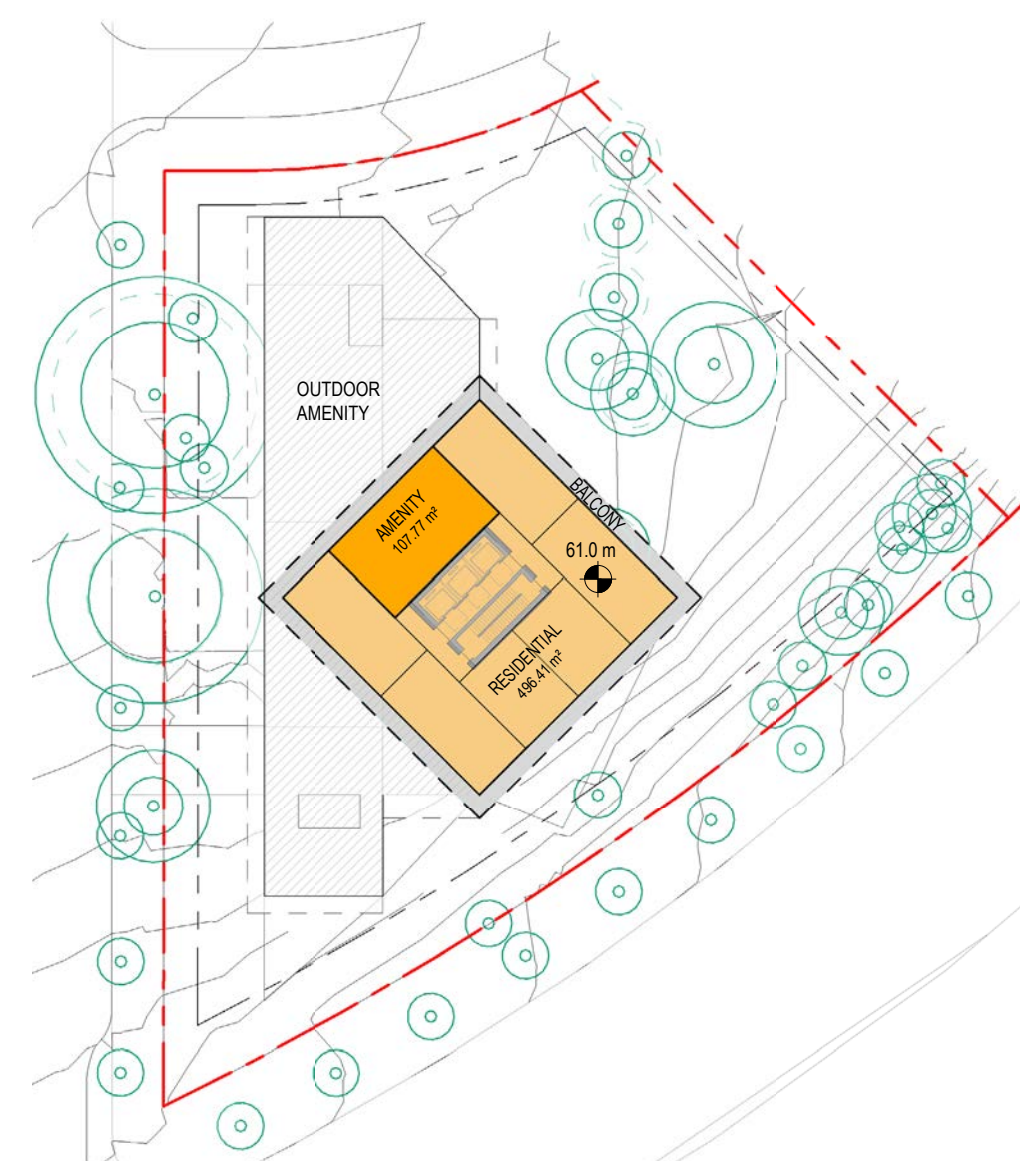
Buildings	G1	TOTAL	
Residential GFA (ft²)	116,632	116,632	
Residential NFA @ 80%	95,638	95,638	
Unit Mix			
Low Income RGI Units	-	-	
HILS RGI Units	91	91	
Market Units	56	56	
TOTAL UNITS	147	147	
NFA Distribution			
Low Income RGI mix	0%		
HILS RGI mix	63%		
Market mix	37%		
RGI Unit Mix	Unit Size (ft²)	Unit Type %	Unit Count
One-Bedroom	525	30%	0
Two-Bedroom	725	30%	0
Three-Bedroom	925	30%	0
Four-Bedroom	1200	8%	0
Five-Bedroom	1300	3%	0
RGI Average Unit Size (ft²)	781		
Total RGI Units			0
HILS Unit Mix	Unit Size (ft²)	Unit Type %	Unit Count
One-Bedroom	525	40%	36
Two-Bedroom	725	50%	46
Three-Bedroom	925	10%	9
HILS Average Unit Size (ft²)	665		
Total HILS Units			91
Market Unit Mix	Unit Size (ft²)	Unit Type %	Unit Count
Market Studio	400	5%	3
Market One-Bedroom	500	40%	22
Market Two-Bedroom	725	45%	25
Market Three-Bedroom	850	10%	6
Market Average Unit Size (ft²)	631		
Total Market Units			56



Elevation +39m Plan
G1 Level 01 (+39m)














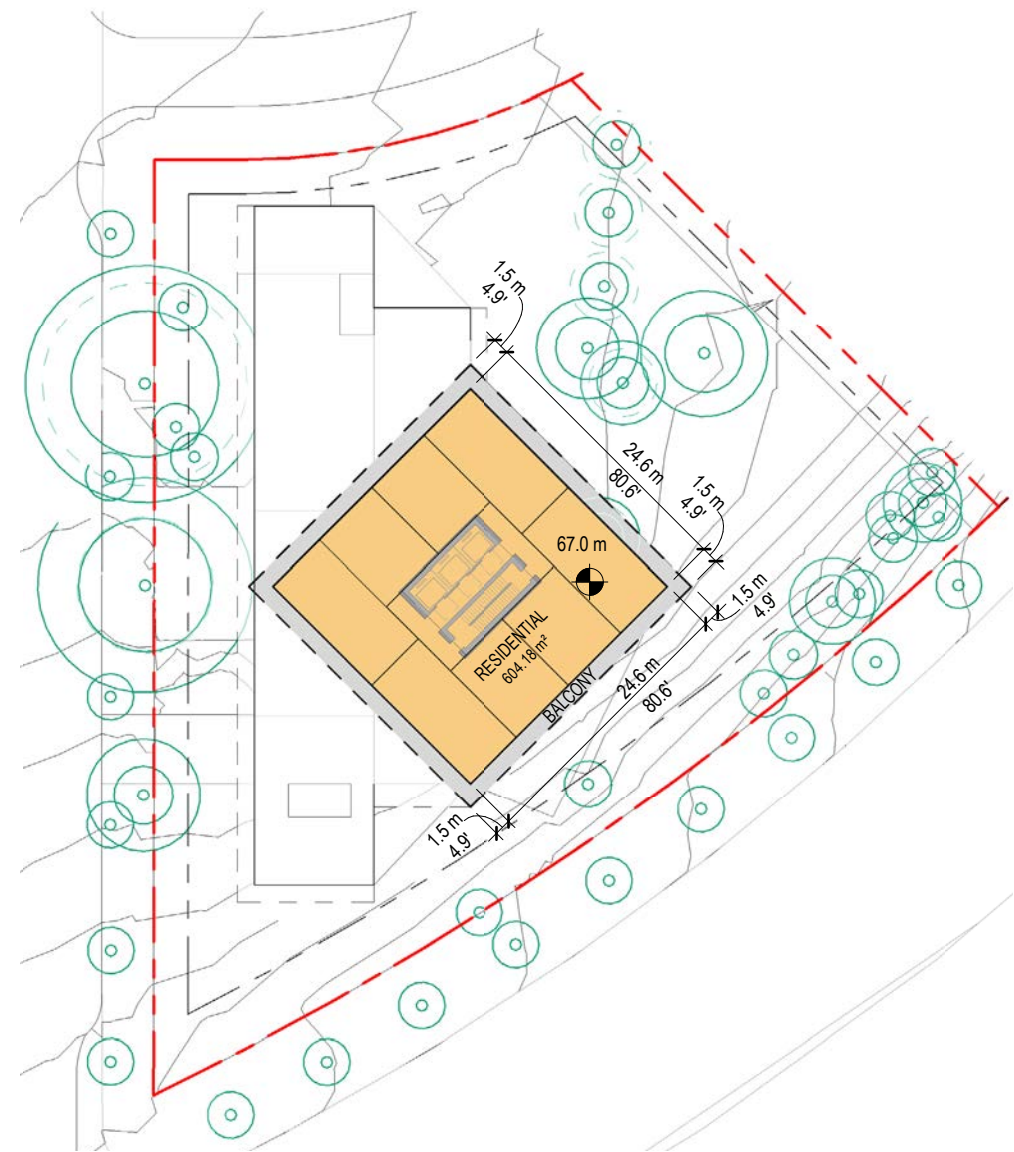
Elevation +43m Plan
G1 Level 02 (+43m)



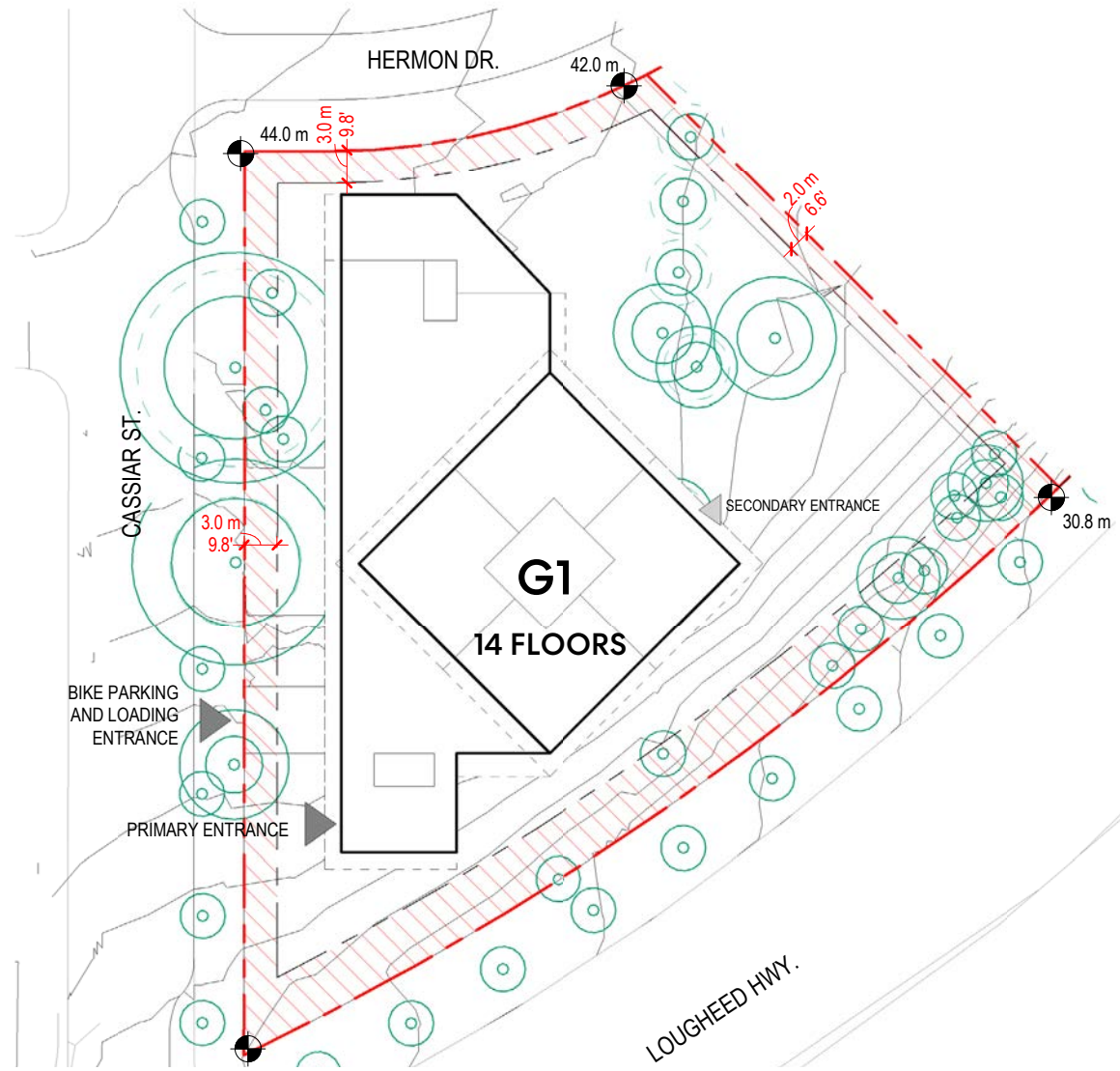
Elevation +61m Plan
G1 Level 08 (+61m)

DESIGN GUIDELINES

- | | | | |
|---|-------------------------|---|-------------------------------------|
|  | RESIDENTIAL |  | OPEN BALCONY |
|  | RESIDENTIAL COMMON AREA |  | BIKE PARKING |
|  | AMENITY |  | PARKING |
|  | COMMERCIAL |  | MECHANICAL |
|  | HUT |  | POTENTIAL PUBLIC VERTICAL TRANSPORT |
|  | CHILDCARE |  | EXTENT OF BALCONY |

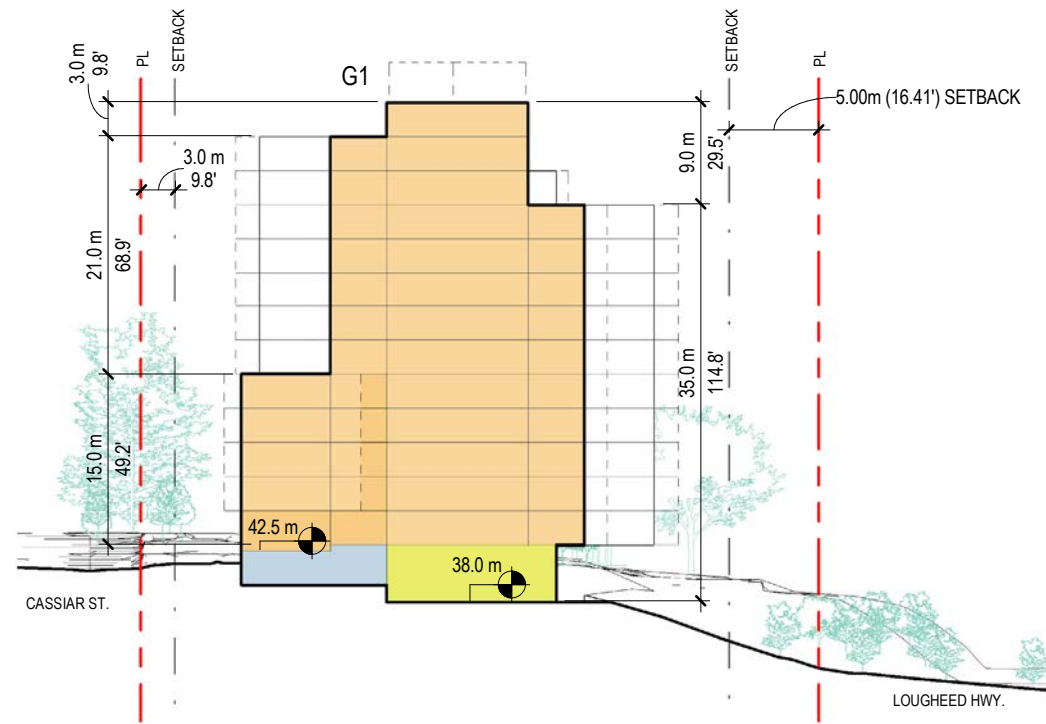
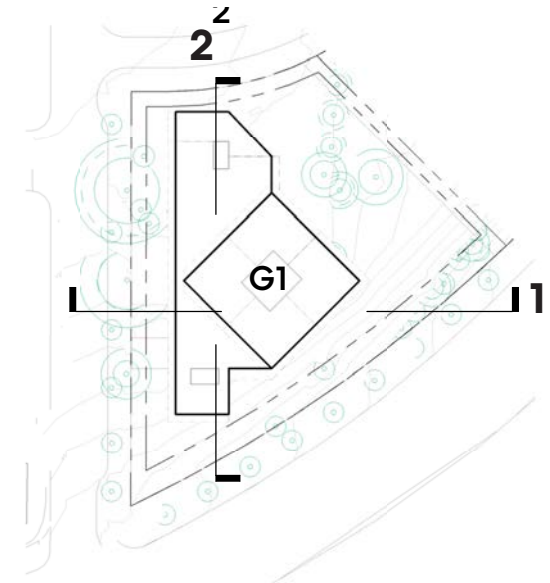


Elevation +67m Plan
G1 Level 10 (+67m) - Tower Typical

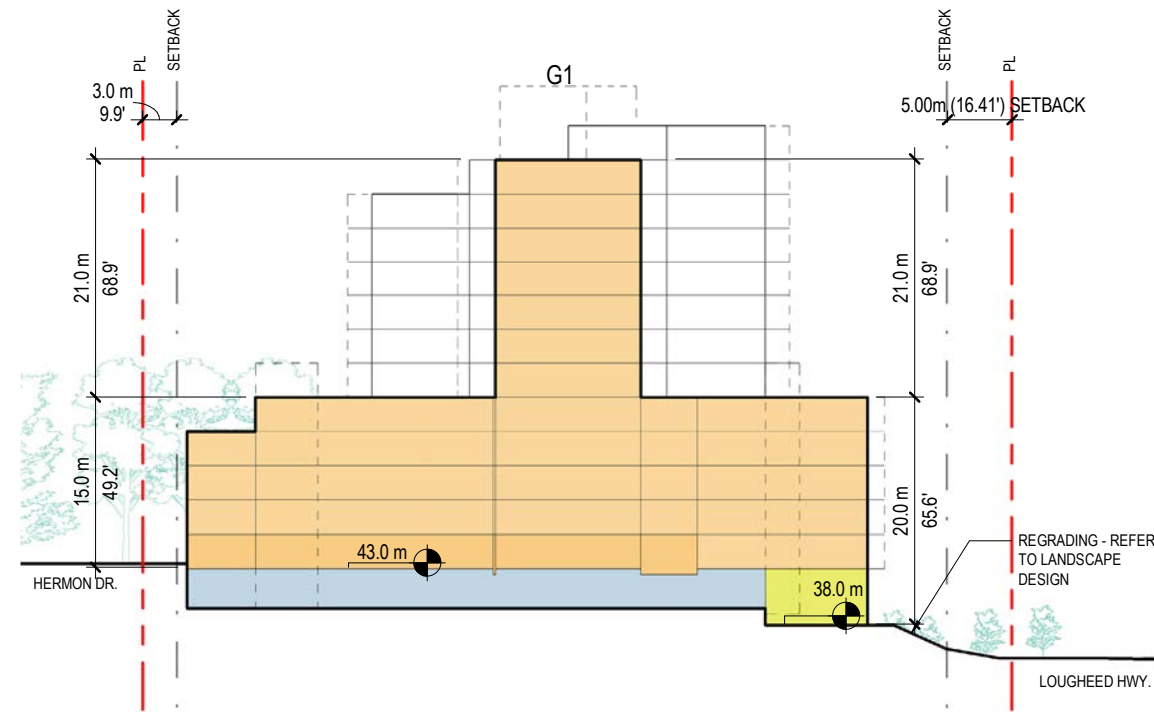


Roof Plan & Setbacks

Sections



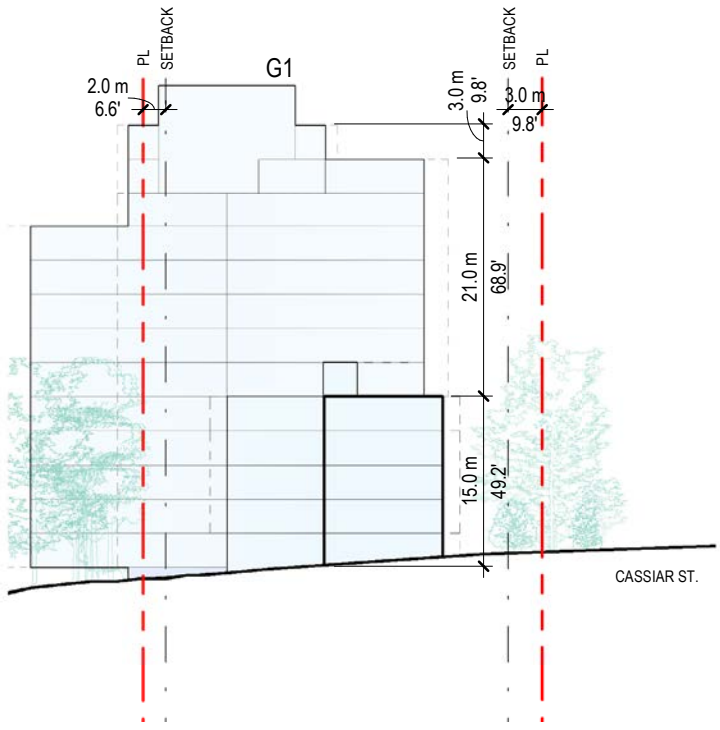
Section 1



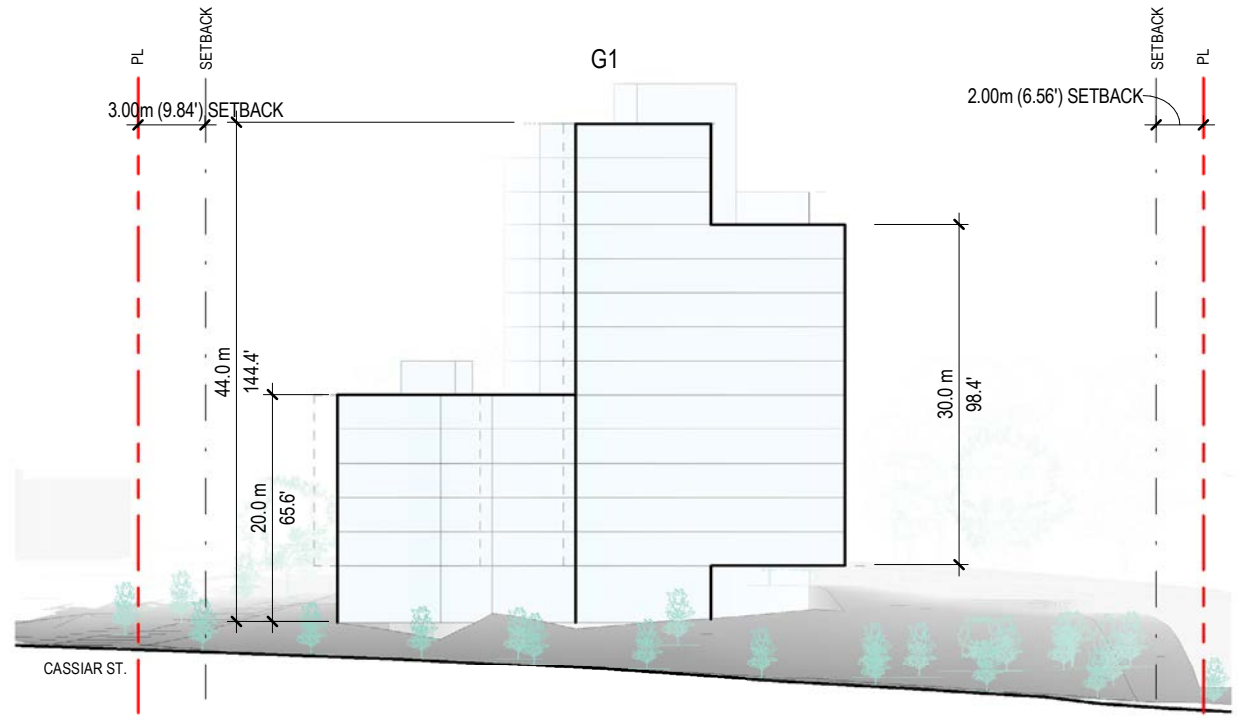
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- RESIDENTIAL
- RESIDENTIAL COMMON AREA
- COMMERCIAL
- HUT
- CHILDCARE
- GENERAL CONY
- MECHANICAL

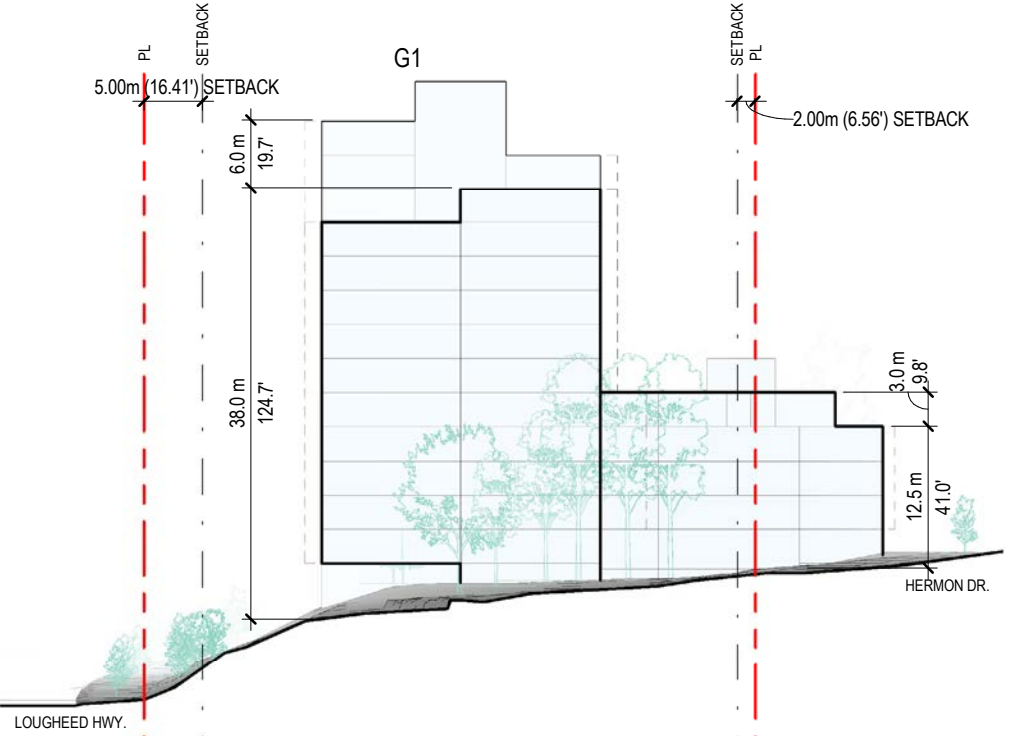
Elevations



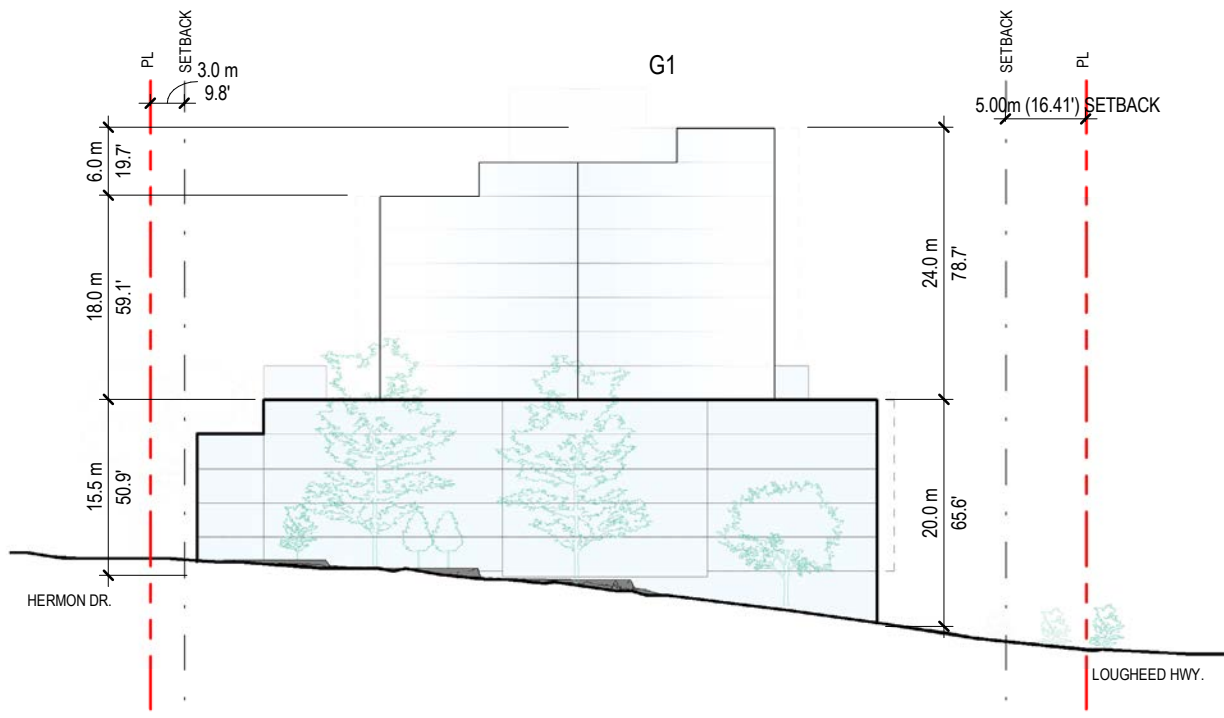
North Elevation



South Elevation

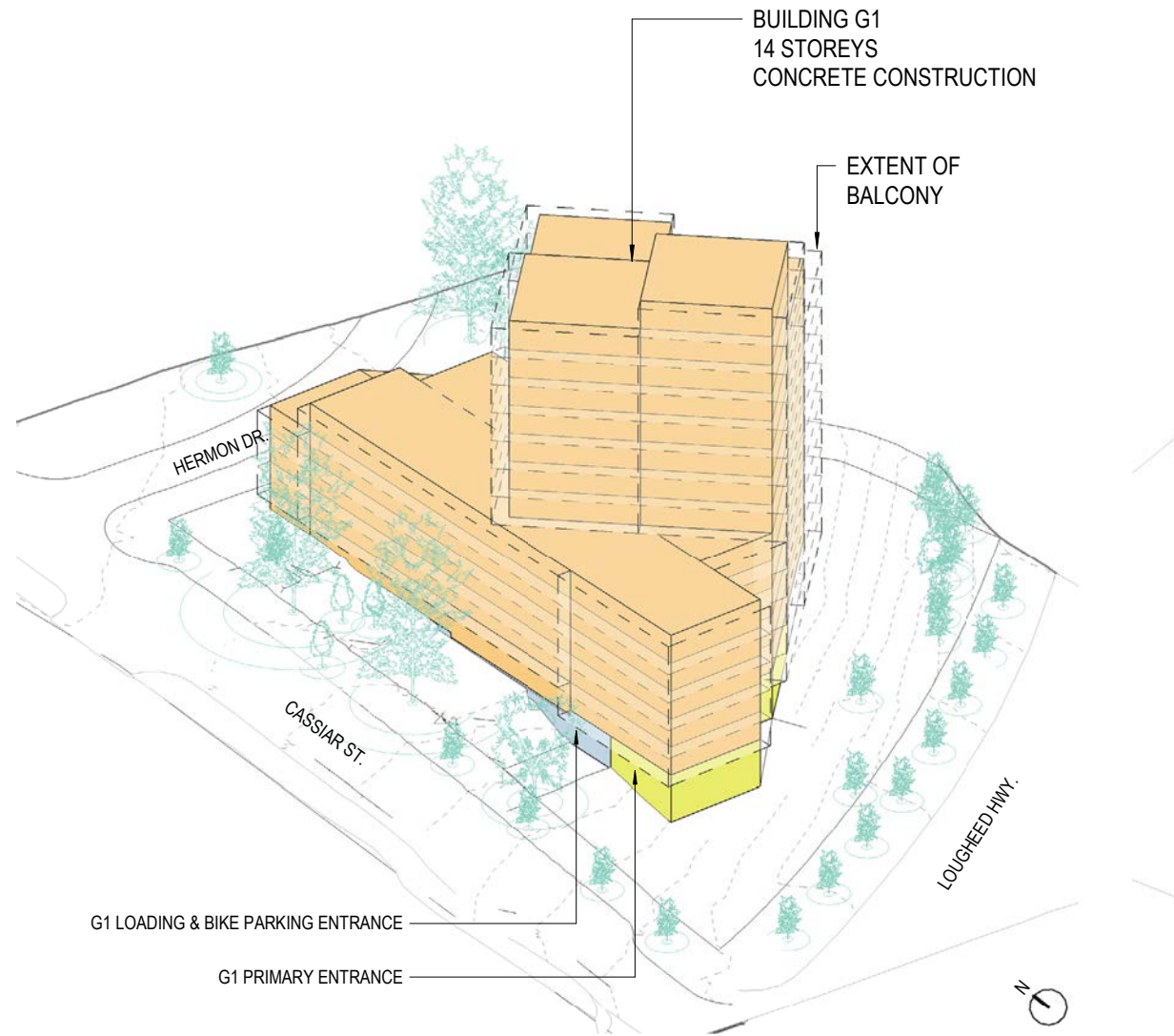


East Elevation

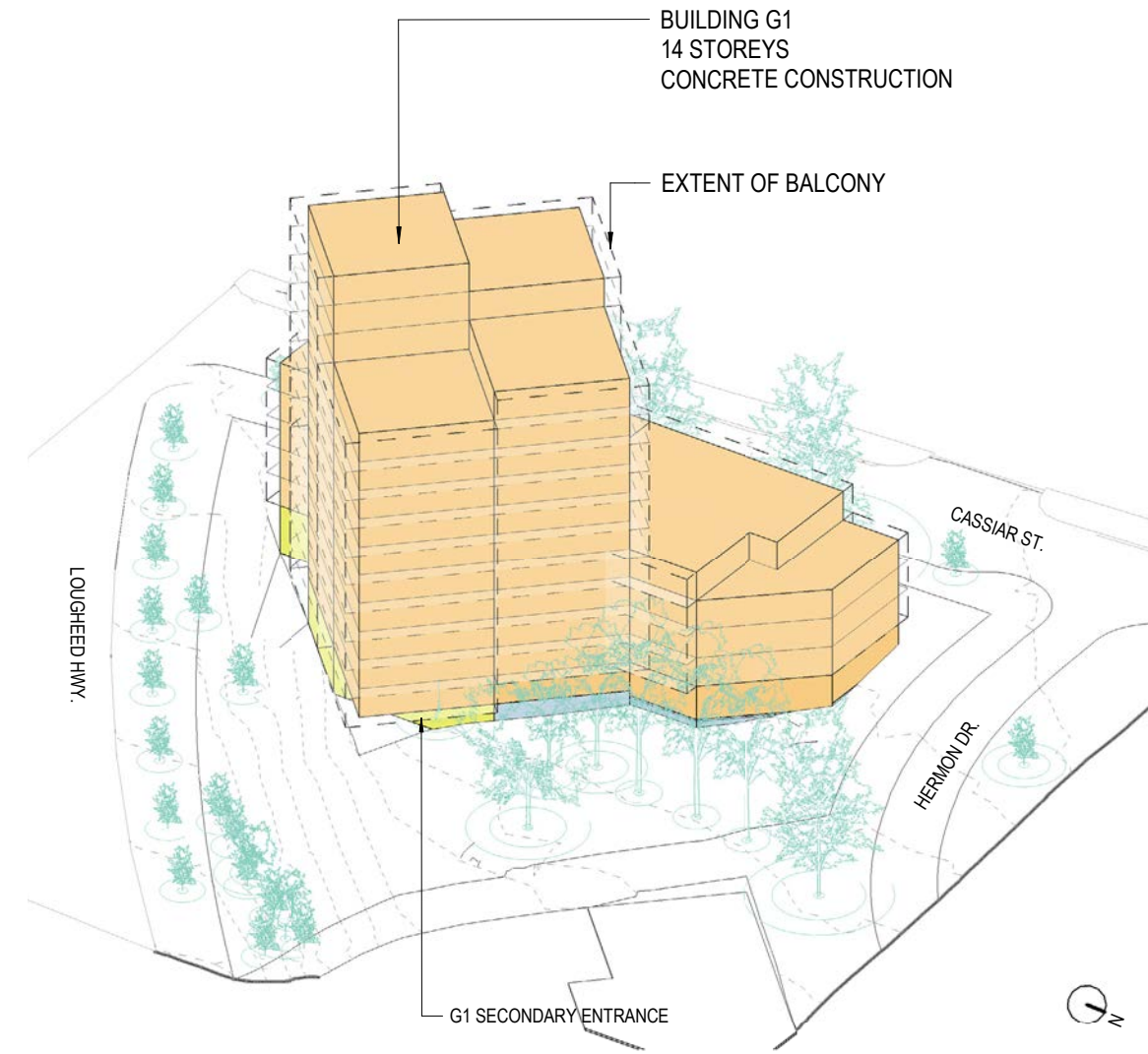


West Elevation

Axonometric Views



Southwest View



Northeast View