



3970 - 3998 MAIN STREET

MIXED-USE

REZONING APPLICATION



YAMAMOTO ARCHITECTURE



## MEET THE DEVELOPER



**The Fraser**  
3833 Fraser Street, Vancouver



**The Grace**  
2468 Balaclava Street, Vancouver

Locarno is a family-owned 4th generation landlord and real estate developer based in Vancouver with roots dating back to the 1920s. Today, Locarno specializes in the acquisition, development, and operation of commercial and mixed-use buildings in established and growing neighbourhoods.

We hold properties for the long-term and we pride ourselves on producing high-quality projects that will maintain their appeal for generations.





# MEET THE PROJECT TEAM

## YAMAMOTO ARCHITECTURE

Yamamoto Architecture was founded in 1991 by Tomizo Yamamoto and has practiced extensively throughout the lower mainland for over thirty years. Yamamoto Architecture is recognized for its multi-family residential work and specialization in wood frame construction. In addition to multi-family residential work, Yamamoto Architecture has experience in a wide range of projects including commercial, mixed use, and single family residential. Yamamoto Architecture works closely with clients to realize buildings that are well-built, efficient, and aesthetically distinctive.



Binnie has delivered quality civil engineering, surveying, and project management services, including transportation engineering, to the public and private sector throughout Western Canada since 1965. They focus on building strong relationships that build and connect communities.

## Prospect & Refuge

LANDSCAPE ARCHITECTS

Prospect & Refuge is a full-service landscape architecture firm based in Vancouver, BC. From multi-family housing to schools, childcare facilities, hospitals and industrial sites, we work closely with clients to create vibrant and memorable places that are cohesive with the community. Building on over 25 years of history as Jonathan Losee Ltd., Prospect & Refuge carries on Jon's legacy of humour, client-oriented service, environmental focus, and technical attention to detail.



Edge Consultants' experience in building engineering services and design provides expert advice empowering clients to make informed decisions. They use detailed software models to optimize building energy and carbon emissions performance balancing capital and operational costs with sustainability goals. They model the big picture for multifamily housing, institutional facilities, and commercial developments.



# SITE CONTEXT

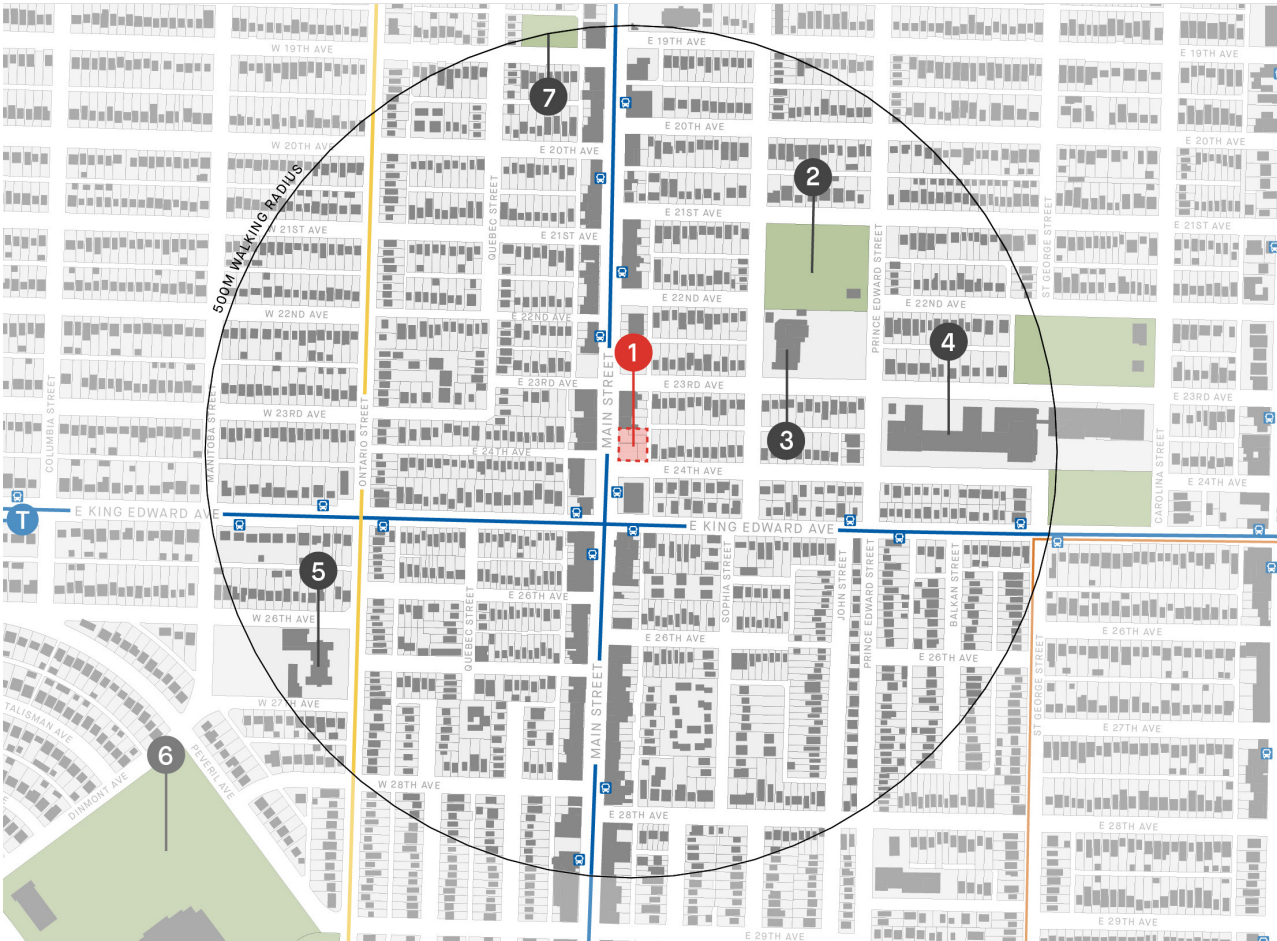
The subject site is located on the east side of Main Street in the Riley Park Little Mountain neighborhood, encompassing approximately 13,274 sq. ft. (1,233 sq. m.) bounded on the south by East 24th Avenue and on the north by adjacent C-2 zoned properties. A laneway along the eastern edge of the site creates a boundary to the RS-7 district composed of single-family dwellings to the east. To the north, a C-2 district extends all the way to East 16th Avenue on both sides of Main Street. This significant shopping district is composed of a mixture of older mixed-use and commercial buildings and newer, four-storey mixed-use developments. To the immediate south across East 24th Avenue, is a four & five-storey mixed-use residential and retail building.

Across Main Street to the west is a single-level commercial building with surface parking, and a three-storey mixed-use building with retail at grade.

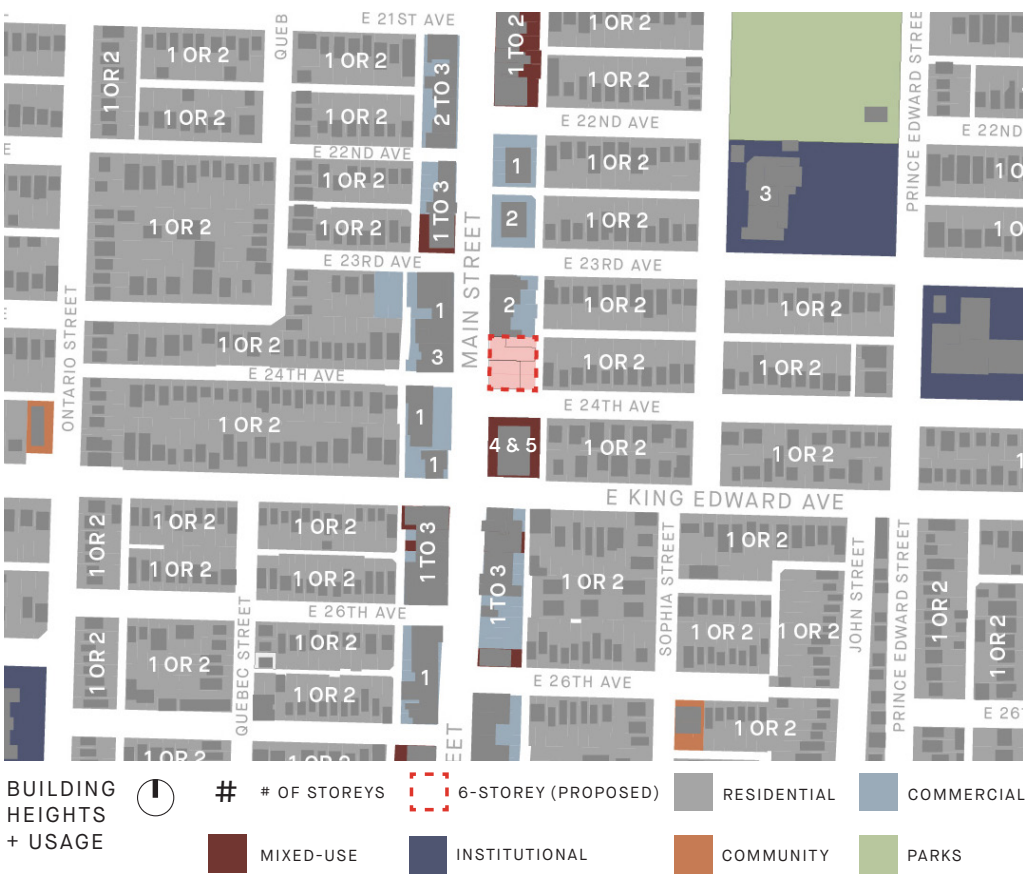
There are existing, under-developed two-level commercial and mixed-use buildings on site currently.

As per the community feedback expressed in the Riley Park South Cambie Community Vision (Section 18.1), the provision of street-fronting retail uses strengthens the continuity of the shopping area along Main Street.

The site is well served by public transit, with the #3 “Downtown” and #25 “UBC” all immediately accessible. Expo, Canada & Millennium Skytrain lines are easily accessible by a short bus ride, and the site is located within walking distance of the Cambie and King Edward Canada Line Station located at West King Edward and Cambie. The proposal is also connected to the Vancouver Cycling Route network and two blocks away from both the Ontario Street and Prince Edward Street Bike Routes. The site is in close proximity to several parks, libraries, community centres, and shopping districts, making it the ideal location for a mixed-use rental building.



NEIGHBOURHOOD CONTEXT 1 - SUBJECT SITE 2 - PRINCE EDWARD PARK 3 - DAVID LIVINGSTONE ELEMENTARY SCHOOL 4 - SIR CHARLES TUPPER SECONDARY SCHOOL 5 - GENERAL WOLFE ELEMENTARY 6 - HILLCREST PARK 7 - GRIMITT PARK



ZONING 1 - CD-1 PROPOSED C-2 RS-7 RS-1 RM-8BN

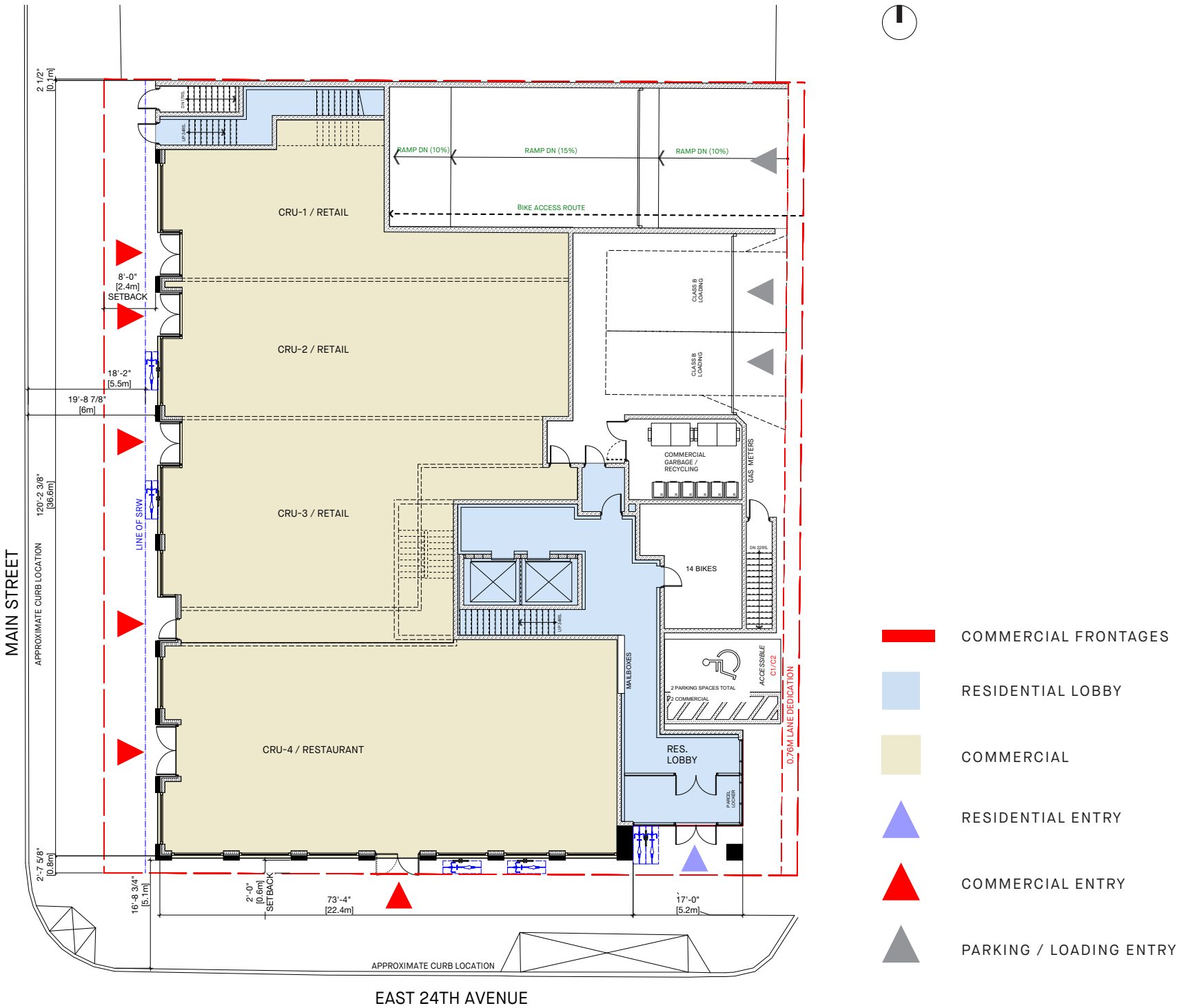


# SITE ORGANIZATION PLAN

The Main Street frontage is set back to provide a generous sidewalk and opportunities for retail to spill out onto the sidewalk in the form of cafe seating, or outdoor displays. Small-scale retail frontages create a fine-grain and contribute to the continuity of the retail along Main Street. Retail wraps the south elevation and provides access to the south-facing sidewalk.

The residential lobby is located at the southeastern corner of the site where it helps identify the transition to residential homes to the east. This location also maximizes the amount of retail facing west and south and provides more flexibility to demise the retail stores.

A laneway dedication is provided to achieve minimum standard lane widths. Loading and parking access is provided off the lane and internal access to loading is provided for all uses. The commercial accessible stall is conveniently located off the lane.





# SITE PHOTOS



1 | ALONG MAIN STREET TOWARDS NORTH



2 | ALONG E 24TH AVE TOWARDS WEST



3 | E 24TH AVE TOWARDS SUBJECT SITE



4 | E 24TH AVE LOOKING TOWARDS MAIN STREET



5 | MAIN STREET AND E 24TH AVE INTERSECTION



6 | ALONG MAIN STREET TOWARDS SOUTH



7 | ALONG BACK LANEWAY TOWARDS SOUTH



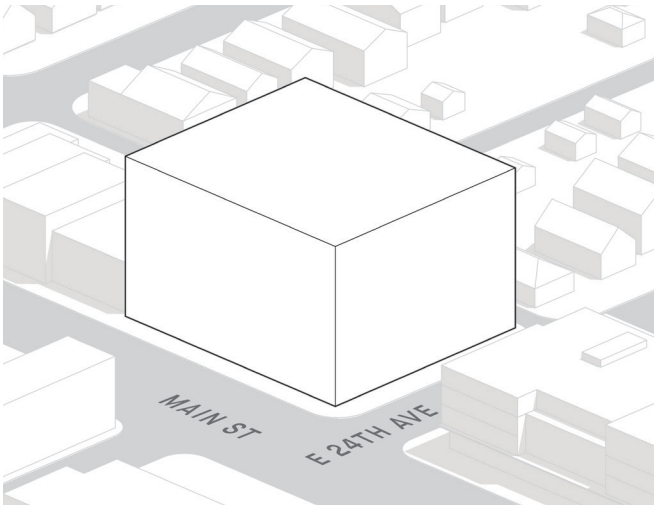
8 | BACK LANEWAY - BEHIND SUBJECT SITE



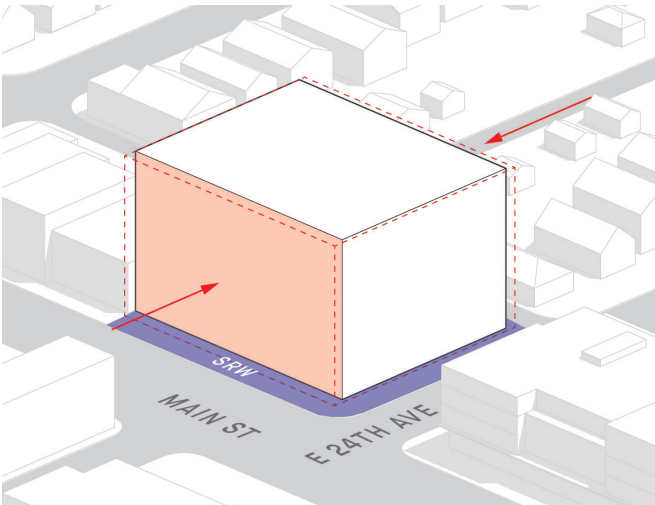
KEY PLAN



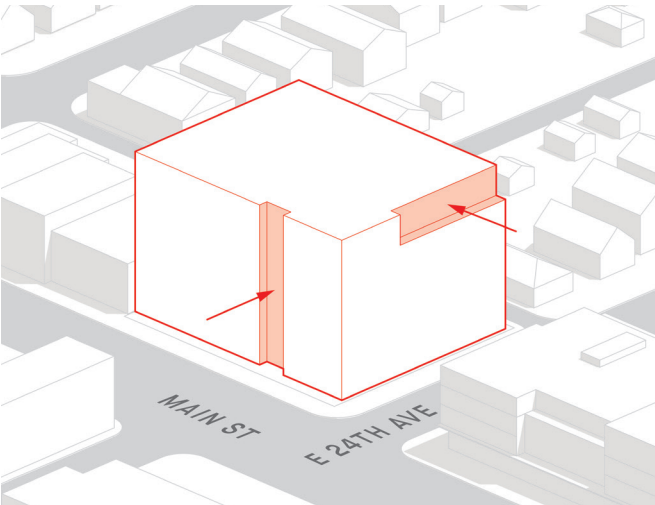
# CONCEPT MASSING



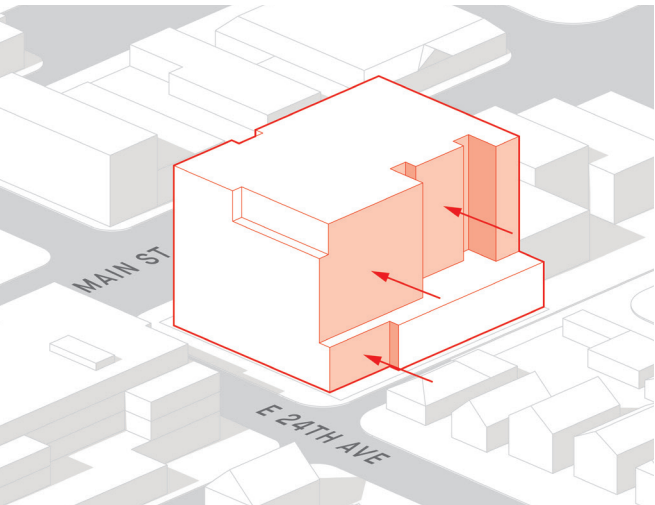
BASIC 6 STOREY VOLUME



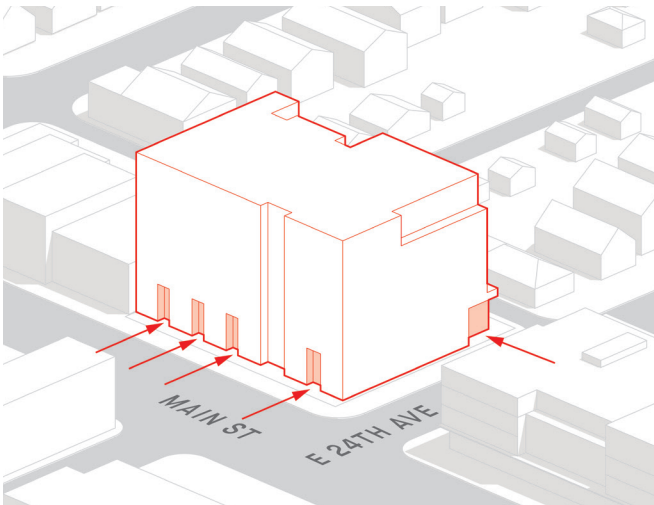
SETBACK TO ACCOMMODATE WIDENED SIDEWALK  
ALONG MAIN ST



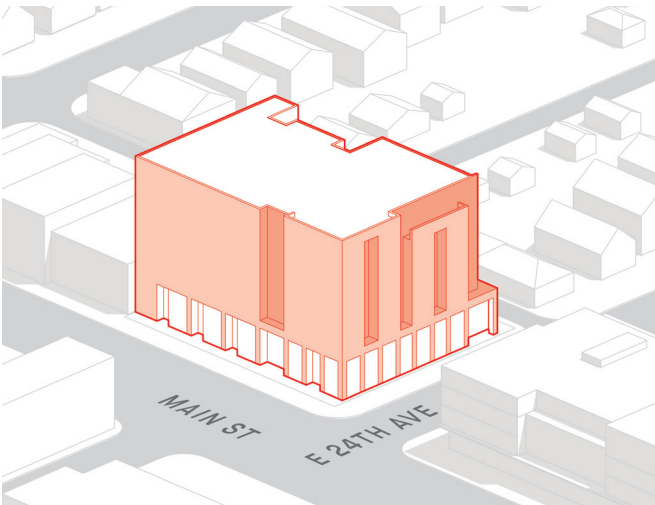
RECESS IN STREET WALL TO BREAK UP MASSING  
STEPPED BACK TOP FLOOR ON 24TH FRONTAGE



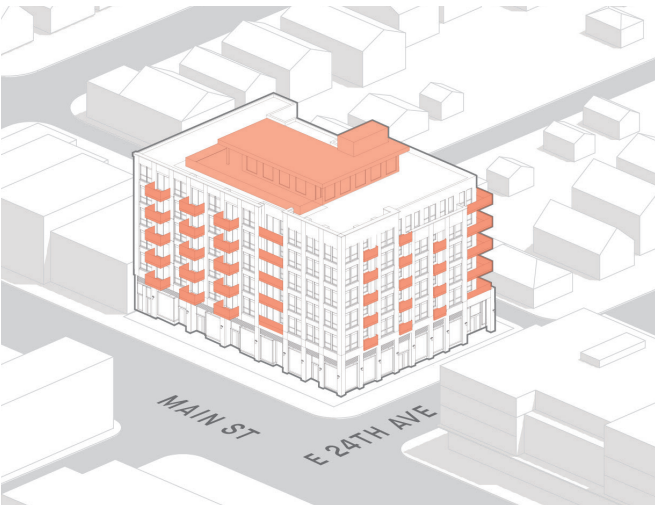
STEPPED BACK MASSING ALONG LANE AND  
ARTICULATION



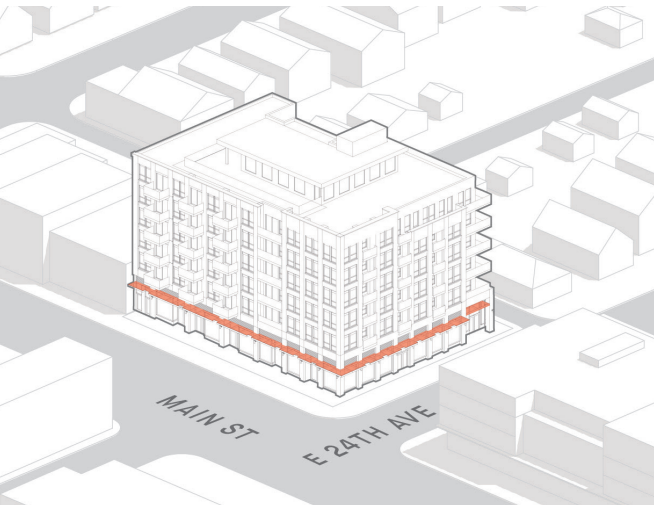
RECESSES FOR COMMERCIAL ENTIRES AND  
RESIDENTIAL LOBBY



BRICK PLANES ALONG BOTH FRONTAGES



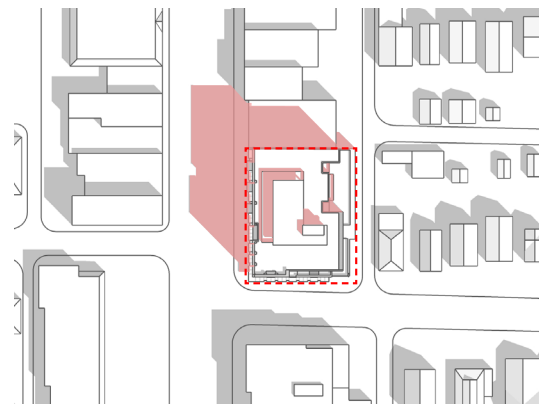
RECESSED AND CANTILEVERED BALCONIES AND  
ADDITION OF SETBACK ROOFTOP AMENITY



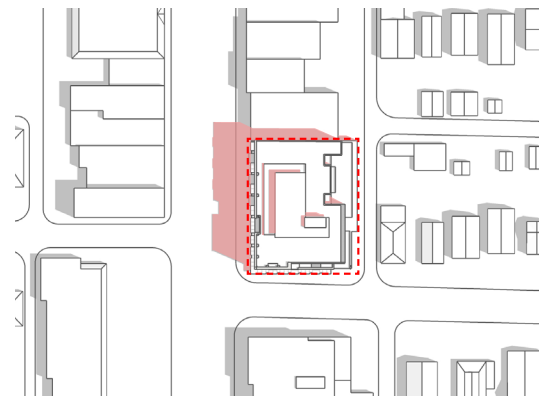
CONTINUOUS CANOPY AND RAISED CANOPY AT  
RESIDENTIAL ENTRY



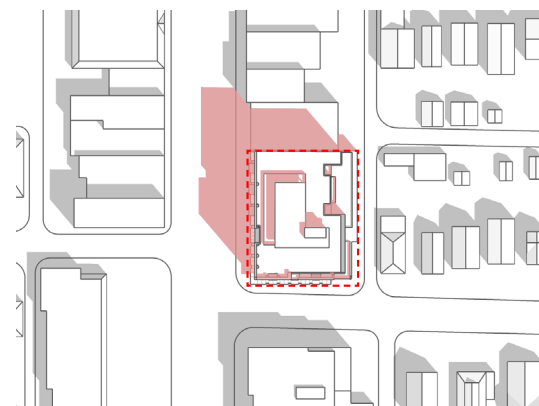




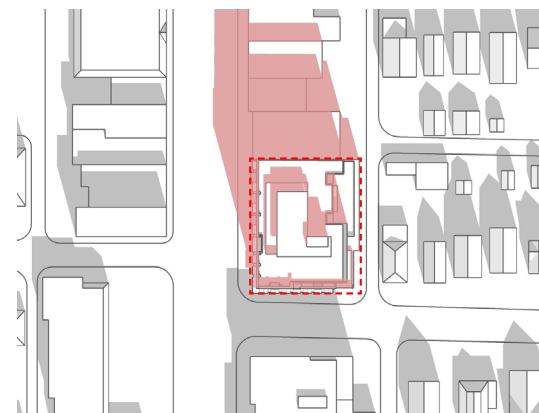
MARCH 21 | 10:00 AM



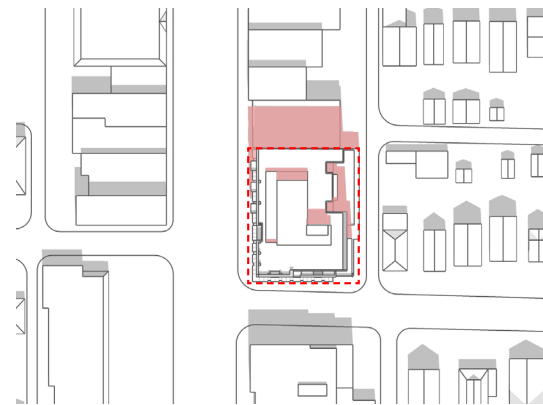
JUNE 21 | 10:00 AM



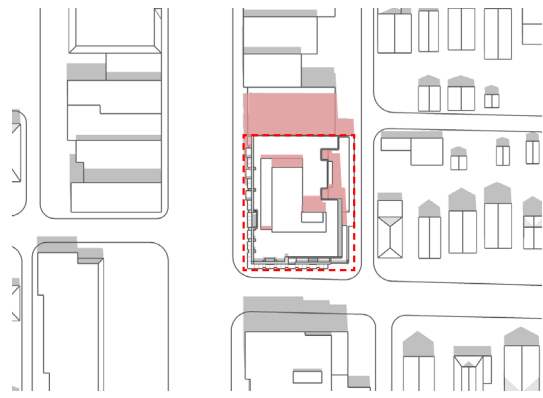
SEPTEMBER 21 | 10:00 AM



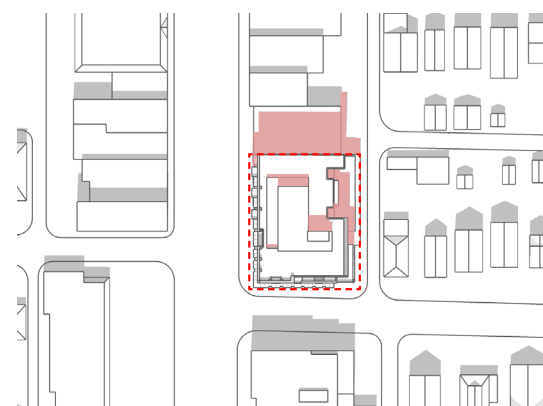
DECEMBER 21 | 10:00 AM



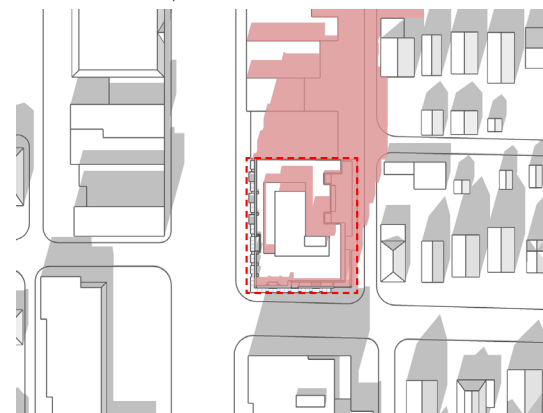
MARCH 21 | 12:00 PM



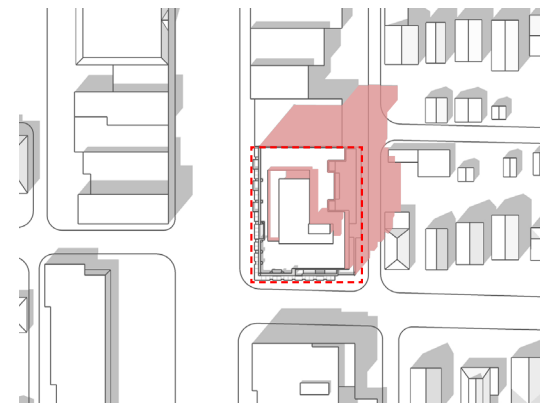
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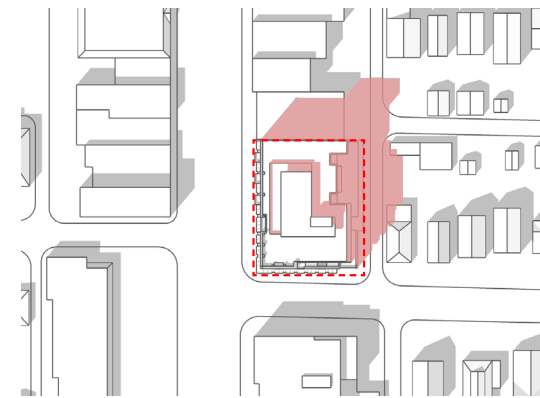
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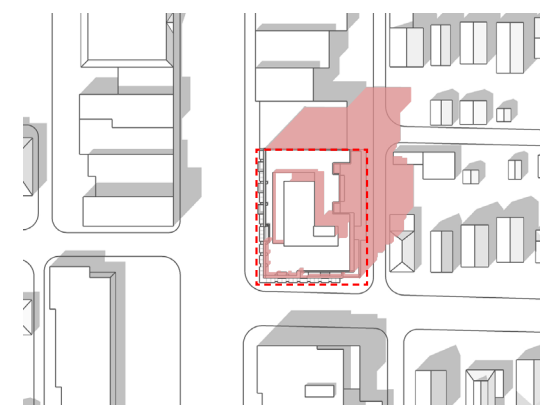
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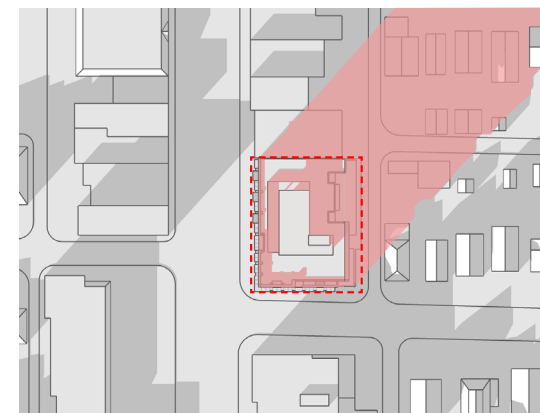
MARCH 21 | 2:00 PM



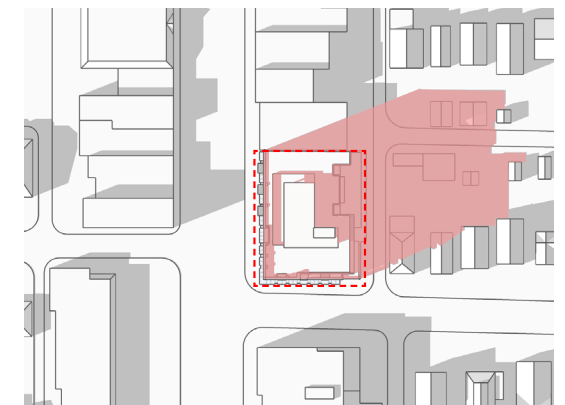
MARCH 21 | 2:00 PM



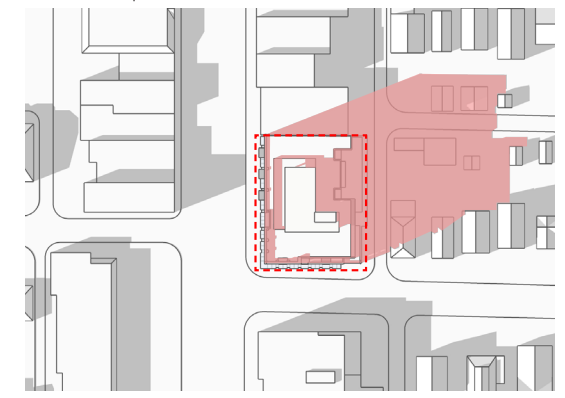
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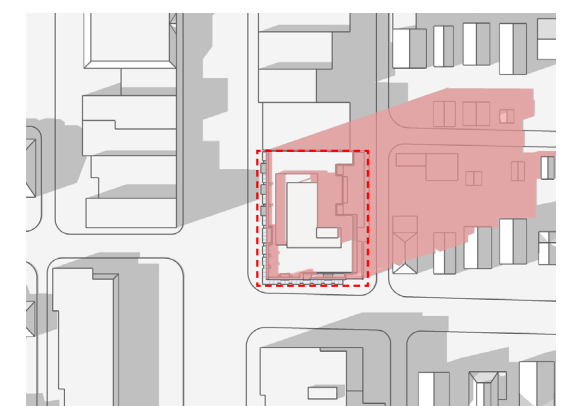
DECEMBER 21 | 2:00 PM



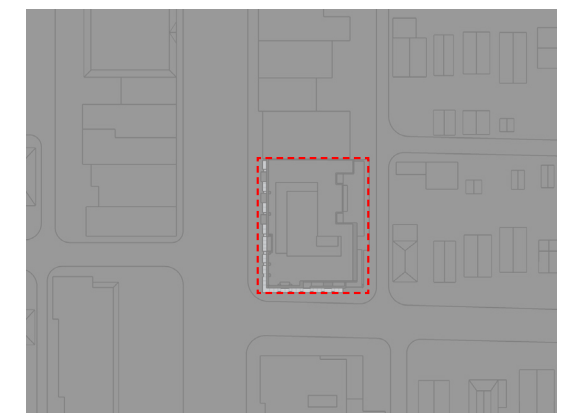
MARCH 21 | 4:00 PM



MARCH 21 | 4:00 PM



SEPTEMBER 21 | 4:00 PM



DECEMBER 21 | 4:00 PM



# MATERIAL PALETTE



LIGHT GREY BRICK



GUARDRAILS  
DARK GREY UPRIGHTS WITH GLASS  
GUARDS



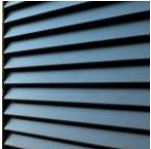
CLADDING  
CEMENTITIOUS PANELS



SOFFIT  
WOOD GRAIN



WINDOWS  
VINYL WINDOWS - CHARCOAL



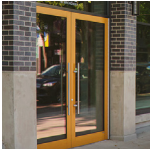
LOUVERS  
CHARCOAL HORIZONTAL METAL  
LOUVERS



CANOPY  
CHARCOAL METAL FRAME



STOREFRONT WINDOWS  
ALUMINIUM FRAMED



STOREFRONT DOORS  
WOOD



# AERIAL PERSPECTIVES



SOUTHWEST



SOUTHEAST



NORTHEAST



NORTHWEST



# RENDERING



PROPOSED BUILDING | MAIN & 24TH



# RENDERING



PROPOSED BUILDING | MAIN & 24TH



# RENDERING



PROPOSED BUILDING | MAIN & 24TH



STATISTICS:

CIVIC ADDRESS:	3970 - 3998 MAIN STREET, VANCOUVER BC			
LEGAL DESCRIPTION:	LOTS A, 7 & 8, BLK 1, D.L. 301, PLAN VAP5112			
ZONING:	CD			
TOTAL SITE AREA:	1,233.2 SQ.M.	=	(13,274.0 SQ.FT.)	(0.305 ACRES) (PRE DEDICATION)
<u>BUILDING HEIGHT</u>	EXISTING ZONING / ALLOWABLE	PROPOSED		
		6 STOREYS	(82.67')	(25.20 M)
<u>SETBACKS</u>	REQUIRED	PROVIDED		
FRONT (WEST)	-	8'		
SIDE (SOUTH)	-	2'		
SIDE (NORTH)	-	0'		
REAR YARD (EAST)	-	5'		
<u>FLOOR SPACE RATIO</u>	EXISTING ZONING / ALLOWABLE	PROPOSED		
	2.50 FSR	52,724.0 SQ.FT.		
		3.97 FSR		
<u>PROPOSED FLOOR AREA:</u>		<u>NET AREA:</u>		<u>GROSS AREA:</u>
1ST FLOOR COM.	610.1 SQ.M.	(6,567.0 SQ.FT.) +		6,567.0 SQ.FT.
1ST FLOOR RES.	119.9 SQ.M.	(1,291.0 SQ.FT.) +		1,291.0 SQ.FT.
2ND FLOOR :	823.7 SQ.M.	(8,866.0 SQ.FT.) +	311.0 SQ.FT. (STORAGE)	9,177.0 SQ.FT.
3RD FLOOR :	823.7 SQ.M.	(8,866.0 SQ.FT.) +	311.0 SQ.FT. (STORAGE)	9,177.0 SQ.FT.
4TH FLOOR :	823.7 SQ.M.	(8,866.0 SQ.FT.) +	311.0 SQ.FT. (STORAGE)	9,177.0 SQ.FT.
5TH FLOOR :	823.7 SQ.M.	(8,866.0 SQ.FT.) +	311.0 SQ.FT. (STORAGE)	9,177.0 SQ.FT.
6TH FLOOR :	812.7 SQ.M.	(8,748.0 SQ.FT.) +	311.0 SQ.FT. (STORAGE)	9,059.0 SQ.FT.
ROOF :	60.8 SQ.M.	(654.0 SQ.FT.) +	900.0 SQ.FT. (AMENITY)	1,554.0 SQ.FT.
TOTAL :	4,898.2 SQ.M.	(52,724.0 SQ.FT.) +	2,455.0 SQ.FT.	55,179.0 SQ.FT.
				20 UNITS WITHOUT STORAGE
GFA:	5,126 SQ.M.	(55,179.0 SQ.FT.)	* INCLUDING 900 SF AMENITY	
LEASABLE RESIDENTIAL:	3,683.1 SQ.M.	(39,645.0 SQ.FT.)	81.55% RESIDENTIAL EFFICIENCY	

APARTMENT UNIT BREAKDOWN:		TARGET	ACTUAL	AVERAGE
15 STUDIO UNITS	15 TO 25 %	25% OF UNITS	394 SQ.FT.	
20 ONE BEDROOM UNITS	40 TO 45 %	33% OF UNITS	517 SQ.FT.	
21 TWO BEDROOM UNITS	30 TO 35 %	35% OF UNITS	729 SQ.FT.	
4 THREE BEDROOM UNITS	< 5 %	7% OF UNITS	859 SQ.FT.	
60 UNITS TOTAL				

BICYCLE PARKING:

RESIDENTIAL		REQUIRED	PROVIDED
CLASS A AS PER 6.2.1.2	1.5 SPACES PER UNIT < 65 SQ.M. 2.5 SPACES PER UNIT > 65 SQ.M. < 105 SQ.M. 3 SPACES PER UNIT > 105 SQ.M.	= 53 SPACES 63 SPACES 0 SPACES	
		116 SPACES	
CLASS A AS PER 6.3.13	BIKE SPACE IN STORAGE LOCKER (HORIZ.) (MIN 10%)	= 12 OF TOTAL	18 SPACES
	HORIZONTAL SPACES IN BIKE ROOMS	=	15 SPACES
	(TOTAL HORIZONTAL SPACES)	=	33 SPACES
	STACKED SPACES (UP TO 60% OF TOTAL)	= 70	70 SPACES
	OVERSIZED SPACES (MIN 5%)	= 6	6 SPACES
	VERTICAL SPACES IN BIKE ROOMS (MAX 30%)	= 35 OF TOTAL	19 SPACES
	TOTAL:	=	128 SPACES
	TOTAL W/ ELECTRICAL OUTLET (50%)	=	OF TOTAL 64 SPACES OF TOTAL
CLASS B AS PER 6.2.1.2	2 FOR 1ST 20 UNITS, 1 PER ADDITIONAL 20	= 4 SPACES	4 SPACES (BIKE RACKS AT GRADE)
COMMERCIAL			
CLASS A AS PER 6.2.5.1:	1 SPACE PER 340 SQ.M.	= 2 SPACES	2 SPACES
CLASS B AS PER 6.2.5.1:	6 SPACES PER DEVELOPMENT	= 6 SPACES	6 SPACES COMBINED WITH RESIDENTIAL (BIKE RACKS AT GRADE)
END OF TRIP FACILITIES			
TABLE 6.5A PER 6.5.4	REQ'D # CLASS A BICYCLE SPACES	MIN. NUMBER OF FIXTURES REQ'D	SHOWERS
OFFICE AND RETAIL AND SERVICES:	0-4	WATER CLOSETS 0	WASH BASINS 0

VEHICLE PARKING:

SECURED MARKET RENTAL HOUSING - RESIDENTIAL, PARKING BYLAW 4.5.B1		60 UNITS 4288 SQ.M	
4288 SQ. M			
RESIDENTIAL STALLS REQUIRED (MINIMUM)			
1 SPACE FOR EACH 125 SQ.M. OF GFA	RESIDENTIAL SPACES	=	34 SPACES
WITHIN 2 BLOCK OF TRANSIT - 20% REDUCTION		-	7 SPACES
CAR SHARE SUBSTITUTION	1 CARS @ 1:5 RATIO	-	0 SPACES
	TOTAL RESIDENT PARKING :		27 SPACES
	VISITOR SPACES	+	3 SPACES
.05 SPACES PER UNIT	TOTAL RESIDENT + VISITOR PARKING :	=	30 SPACES (MINIMUM)
RESIDENTIAL STALLS REQUIRED (MAXIMUM)			
TOTAL ALLOWED +.5 SPACES PER UNIT	RESIDENTIAL SPACES	=	64 SPACES
15% OF TOTAL NUMBER OF UNITS	VISITOR SPACES	=	10 SPACES
	TOTAL RESIDENT + VISITOR PARKING :		74 SPACES (MAXIMUM)
RESIDENTIAL PASSENGER DROP OFF			
1 FOR 50-150 UNITS			1 SPACE
388 SQ.M.			
RETAIL STALLS REQUIRED			
RETAIL AS PER 4.2.5.1: 3 SPACES FOR 1ST 300 SQ.M. + 1 SPACE / 50 SM ADDITIONAL		=	5 SPACES
WITHIN 2 BLOCK OF TRANSIT - 10% REDUCTION		=	1 SPACE
	TOTAL RETAIL REQUIRED :		4 SPACES
222 SQ.M.			
(222 SQ.M. + SQ.M. PROPORTIONAL CORRIDOR SPACE)			
RESTAURANT STALLS REQUIRED			
REST. AS PER 4.2.5.11: 2 SPACES FOR 1ST 100 SQ.M. + 1 SPACE / 10 SM ADDITIONAL		=	15 SPACES
WITHIN 2 BLOCK OF TRANSIT - 10% REDUCTION		=	2 SPACES
	TOTAL RESTAURANT REQUIRED :		13 SPACES
ACCESSIBLE STALLS REQUIRED			
RESIDENTIAL AS PER 4.8.4(a): 1 FOR FIRST 7 UNITS + 0.034 SPACES / EACH ADDITIONAL UNIT:		=	3 SPACES
COMMERCIAL AS PER 4.8.4(b): 1 + 0.4 SPACES/1000 SM:		=	1 SPACE
	TOTAL ACCESSIBLE REQUIRED :		4 SPACES
	TOTAL PARKING (MINIMUM):	=	47 SPACES
	TOTAL PARKING (MAXIMUM):	=	91 SPACES
RESIDENT. SMALL PARK'G SPACES ALLOWED AS PER 4.1.8: 25% OF TOTAL RESIDENT. PROVIDED:		=	8 SPACES OF TOTAL (MAXIMUM)
COMM. SMALL PARK'G SPACES ALLOWED AS PER 4.1.8: 25% OF TOTAL COMM. PROVIDED:		=	4 SPACES OF TOTAL (MAXIMUM)
MIN. ELECTRIC VEHICLE CHARGING STALLS	2% OF PROVIDED SPACES	=	2 SPACES OF TOTAL (MINIMUM)
PARKING PROVIDED			
RESIDENTIAL STALLS			33 SPACES
VISITOR STALLS			3 SPACES
COMMERCIAL STALLS			17 SPACES
	TOTAL PARKING PROVIDED:		53 SPACES
	RESIDENTIAL SMALL PARKING SPACES PROVIDED:	=	3 SPACES 9 % OF ALLOWED
	COMMERCIAL SMALL PARKING SPACES PROVIDED:	=	2 SPACES 12 % OF ALLOWED
	ELECTRIC VEHICLE SPACES PROVIDED:	=	33 SPACES 100 % OF RESID. SPACES
	AS PER 4.14.1(b), (c)	=	11 SPACES 1 FOR EVERY 10 + 1 FOR ANY ADD. SPACE < 10
	RESIDENTIAL ACCESSIBLE SPACES PROVIDED:	=	3 SPACES
	COMMERICAL ACCESSIBLE SPACES PROVIDED:	=	1 SPACES

LOADING:

	REQUIRED	PROVIDED
DWELLING USE		
CLASS A AS PER 5.2.1:	1 FOR EVERY 50 TO 125 UNITS	= 1 SPACE 1 SPACE
CLASS B AS PER 5.2.1:	NONE FOR LESS THAN 100 UNITS	= 0 SPACES 0 SPACES
CLASS C AS PER 5.2.1:	NO REQUIREMENT	= 0 SPACES 0 SPACES
	TOTAL:	1 SPACE 1 SPACE
1270 SQ.M.		
COMMERCIAL (RETAIL)		
CLASS A AS PER 5.2.5:	NO REQUIREMENT	= 0 SPACES 0 SPACES
CLASS B AS PER 5.2.5:	1 SPACE FOR FIRST 465 SQ.M.	= 2 SPACES 2 SPACES
	+ 1 SPACE FOR PORTION OF NEXT 1,860 SQ.M.	
CLASS C AS PER 5.2.5:	1 SPACE FOR 2,000 - 5,000 SQ.M.	= 0 SPACES 0 SPACES
	TOTAL:	2 SPACES 2 SPACES

3970 - 3998 MAIN STREET, VANCOUVER BC : FLOOR AREA SUMMARY								
NAME	GROUND FLOOR	2ND FLOOR	3RD FLOOR	4TH FLOOR	5TH FLOOR	6TH FLOOR	ROOF FLOOR	TOTAL
Commercial Area sq ft	6567 sq ft							6567 sq ft
Residential Area	1291 sq ft	9177 sq ft	9177 sq ft	9177 sq ft	9177 sq ft	9059 sq ft	1554 sq ft	48612 sq ft
Amenity area exclusion(max 10% FSR)							900 sq ft	900 sq ft
Storage area exclusion(resi.)		311 sq ft	311 sq ft	311 sq ft	311 sq ft	311 sq ft		1555 sq ft
Wall thick. exclusion (resi.)								
Net area	7858 sq ft	8866 sq ft	8866 sq ft	8866 sq ft	8866 sq ft	8748 sq ft	654 sq ft	52724 sq ft
Balcony area		282 sq ft	893 sq ft	893 sq ft	893 sq ft	889 sq ft		3,850 sq ft

NO --

DATE --

ISSUE --

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YAMAMOTO  
ARCHITECTURE

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PROJECT --

MIXED-USE

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3970-3998 MAIN STREET  
VANCOUVER, BC

DRAWING TITLE --

STATISTICS

SCALE -- NTS

DATE --

DRAWN -- TY

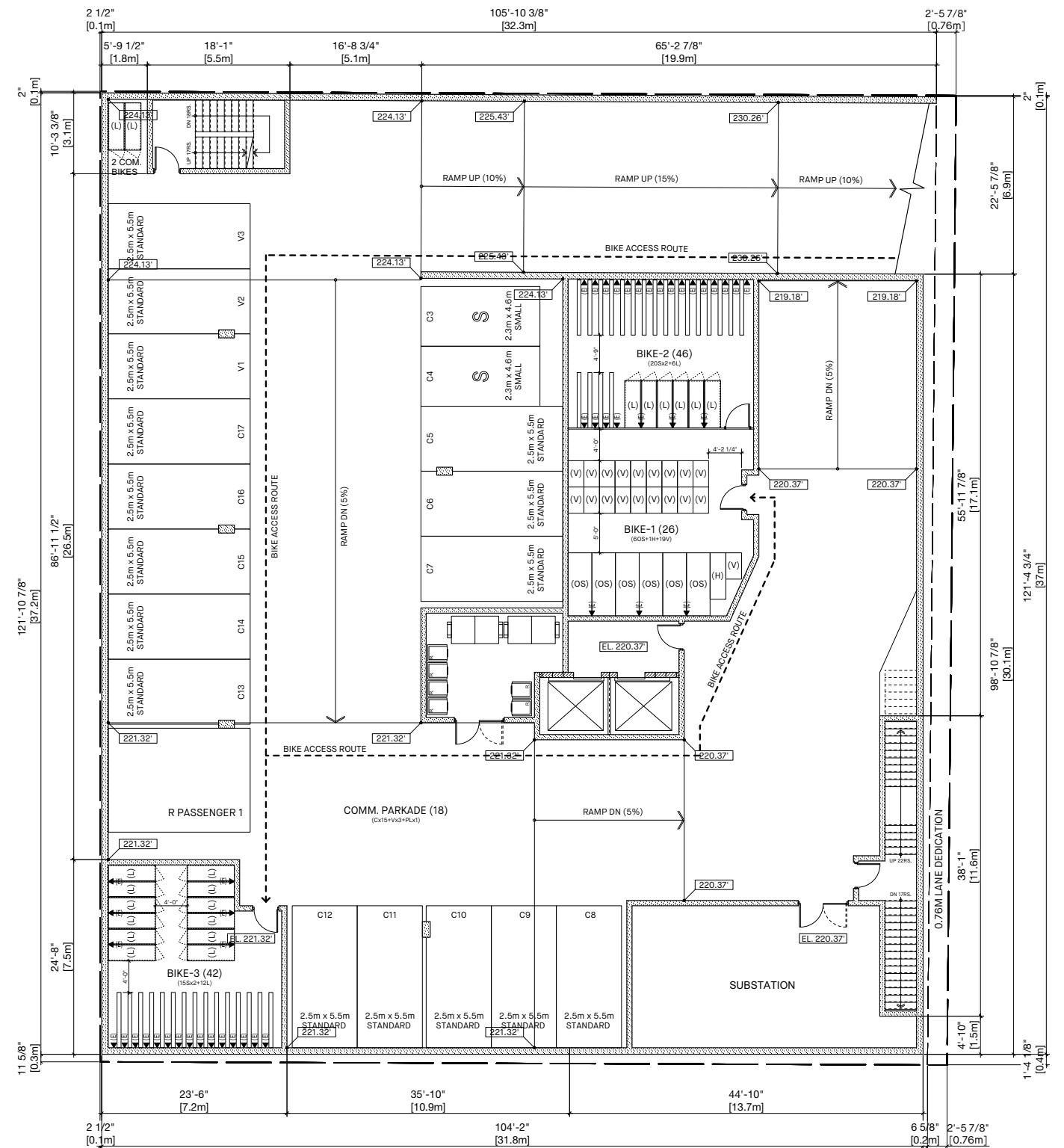
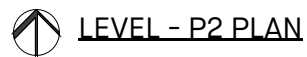
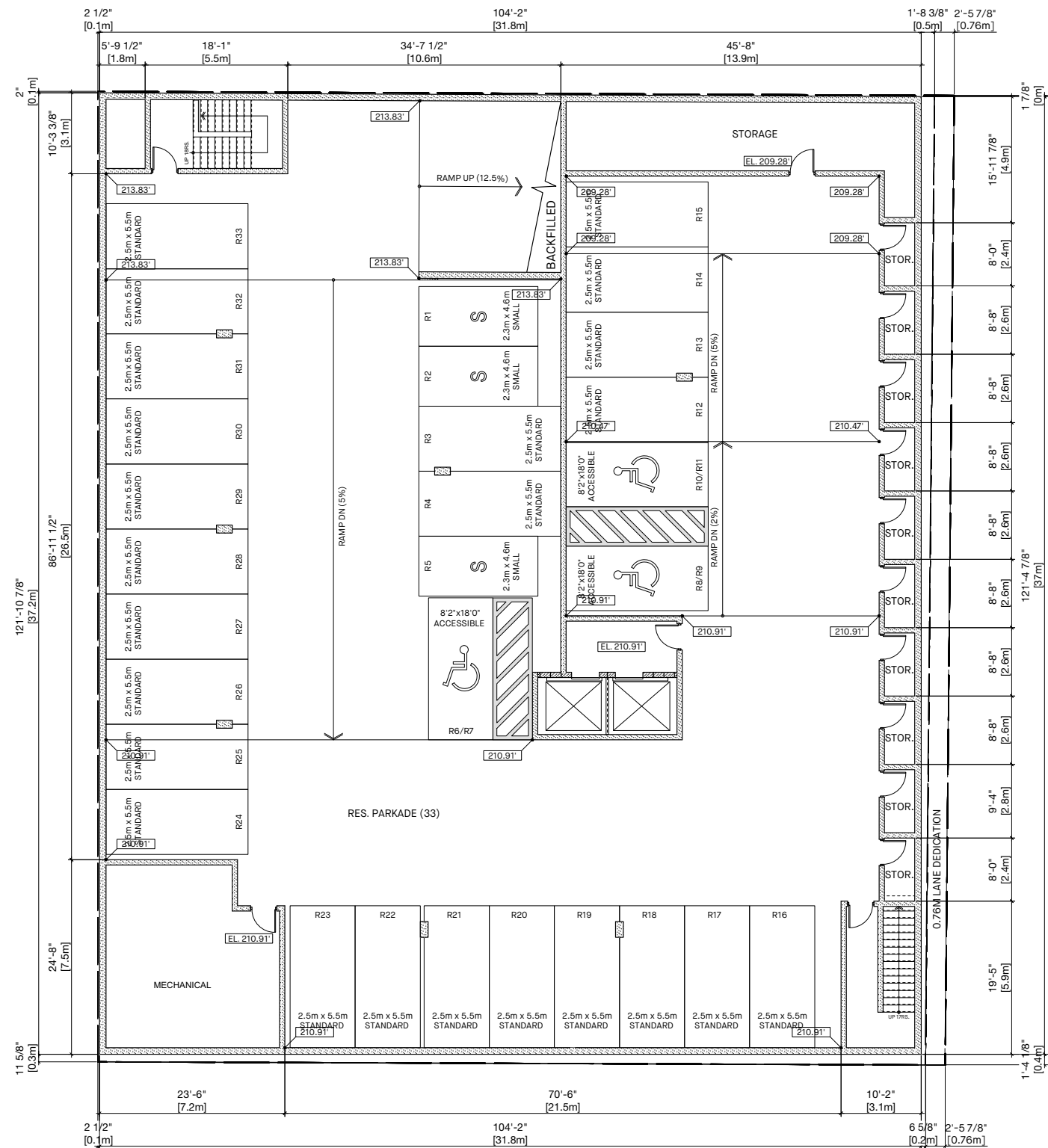
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SHEET NO. --

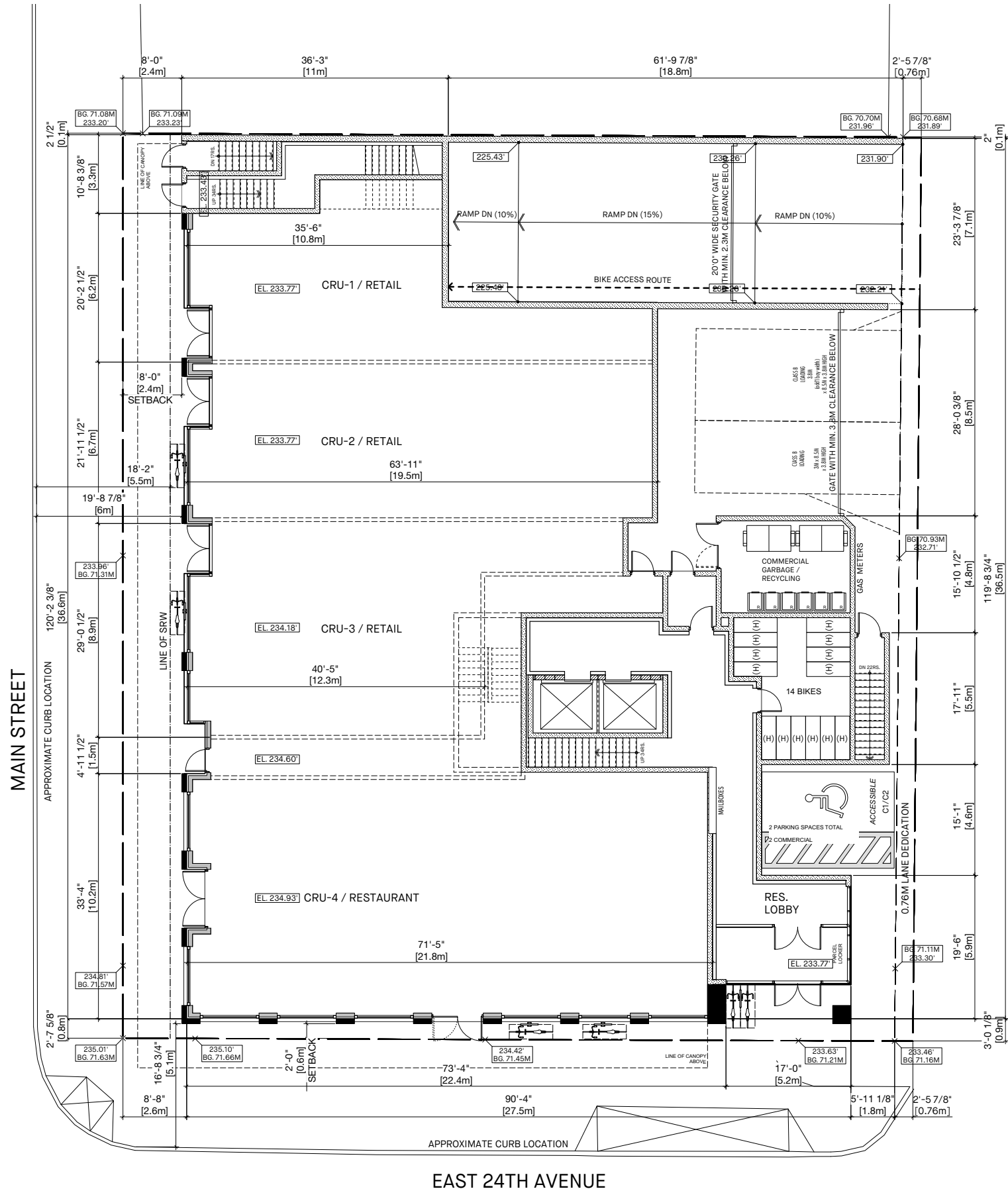
A0.1

PROJ NO -- 2118



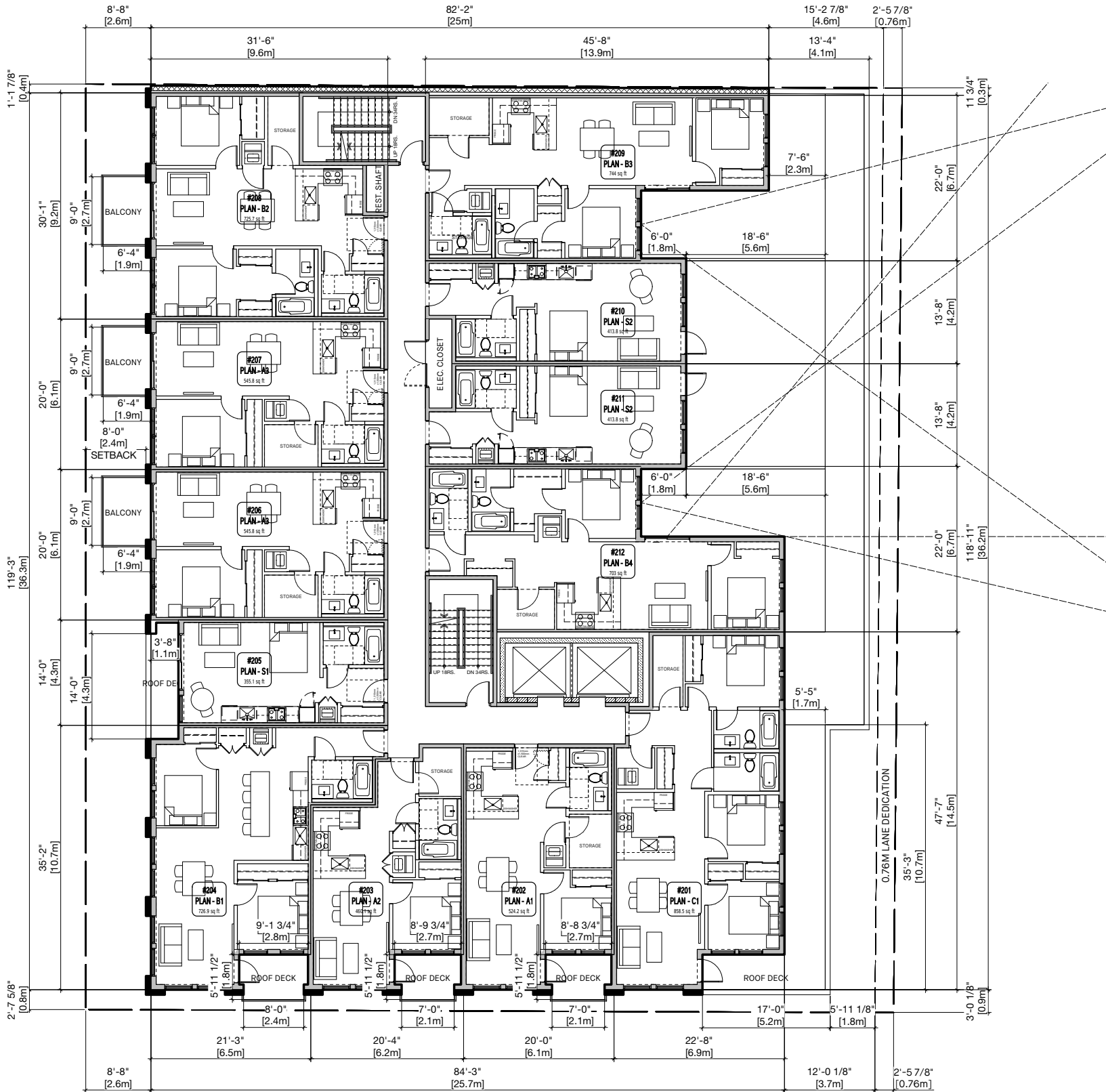






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<b>YAMAMOTO ARCHITECTURE</b>		
202 - 33 East 8th Avenue Vancouver, BC V5T 1R5 T - 604 731 1127 F - 604 731 1327		
PROJECT -		
MIXED-USE		
3970-3998 MAIN STREET VANCOUVER, BC		
DRAWING TITLE - LEVEL - 1 PLAN		
SCALE - 1/8" = 1'-0"	SHEET NO. -	
DATE -	A2.1	
DRAWN - TY		
CHECKED -	PROJ NO - 2118	





LEVEL - 2 UNIT TYPES		
Type	Unit Area (w/o storage)	Count
STUDIO		
S1	355 SF	1
S2	414 SF	2
Total	1183 SF	3
1 BED UNITS		
A1	524 SF	1
A2	460 SF	1
A3	546 SF	2
Total	2076 SF	4
2 BED UNITS		
B1	727 SF	1
B2	726 SF	1
B3	744 SF	1
B4	703 SF	1
Total	2900 SF	4
3 BED UNITS		
C1	859 SF	1
Total	7017 SF	12
*UNIT AREAS ARE TAKEN FROM INSIDE OF WALLS		
*UNIT CALCULATIONS = UNIT SIZE - (STORAGE)		

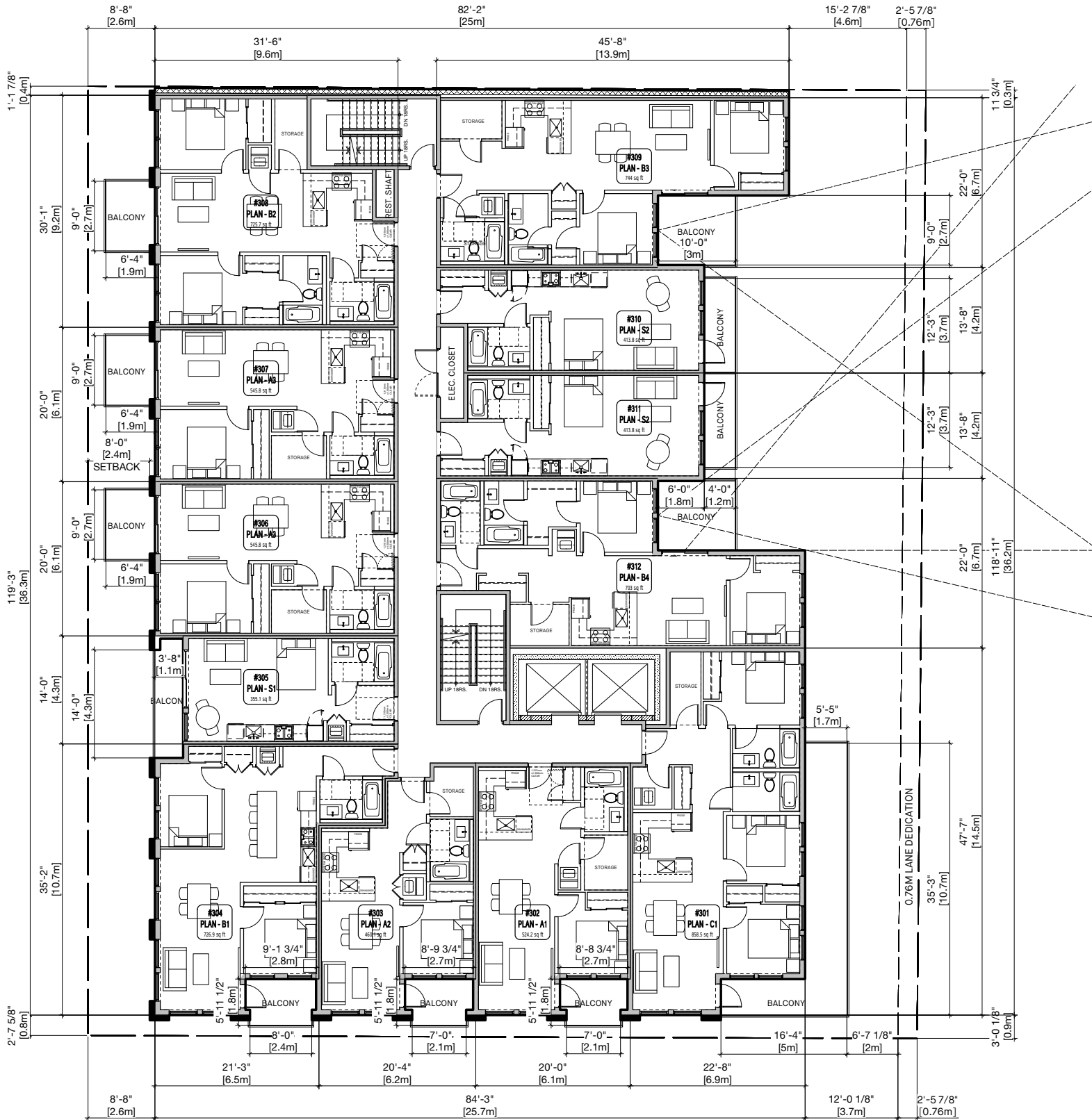
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<p>PROJECT --</p> <p>MIXED-USE</p> <p>—</p> <p>3970-3998 MAIN STREET VANCOUVER, BC</p>		
<p>DRAWING TITLE --</p> <p>LEVEL - 2 PLAN</p>		
SCALE -- 1/8" = 1'-0"		SHEET NO. -- <b>A2.2</b>
DATE --		
DRAWN -- TY		
CHECKED --		
		PROJ NO -- 2118





LEVEL - 3 TO 5 PLAN

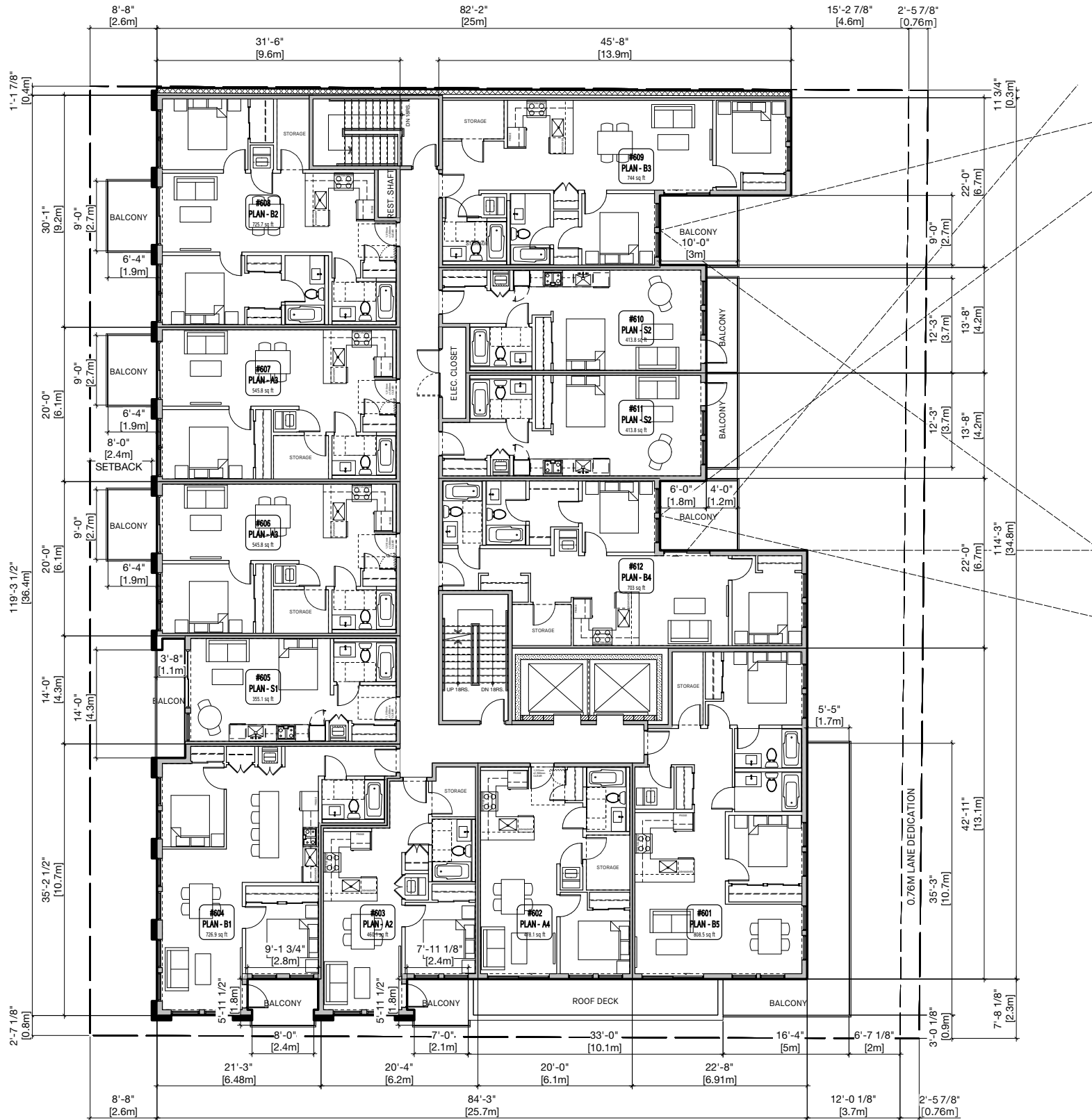
SCALE : 1/8" = 1'-0"



LEVEL - 3 TO 5 UNIT TYPES		
Type	Unit Area (w/o storage)	Count
STUDIO		
S1	355 SF	1
S2	414 SF	2
Total	1183 SF	3
1 BED UNITS		
A1	524 SF	1
A2	460 SF	1
A3	546 SF	2
Total	2076 SF	4
2 BED UNITS		
B1	727 SF	1
B2	726 SF	1
B3	744 SF	1
B4	703 SF	1
Total	2900 SF	4
3 BED UNITS		
C1	859 SF	1
Total	7017 SF	12
*UNIT AREAS ARE TAKEN FROM INSIDE OF WALLS		
*UNIT CALCULATIONS = UNIT SIZE - (STORAGE)		

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PROJECT --		
MIXED-USE		
3970-3998 MAIN STREET VANCOUVER, BC		
DRAWING TITLE --		
LEVEL - 3 TO 5 PLAN		
SCALE -- 1/8" = 1'-0"	SHEET NO. --	
DATE --	A2.3	
DRAWN -- TY		
CHECKED --	PROJ NO -- 2118	





LEVEL - 6 UNIT TYPES		
Type	Unit Area (w/o storage)	Count
STUDIO		
S1	355 SF	1
S2	414 SF	2
Total	1183 SF	3
1 BED UNITS		
A2	460 SF	1
A3	546 SF	2
A4	478 SF	1
Total	2030 SF	4
2 BED UNITS		
B1	727 SF	1
B2	726 SF	1
B3	744 SF	1
B4	703 SF	1
B5	809 SF	1
Total	3708 SF	5
Total	6921 SF	12
*UNIT AREAS ARE TAKEN FROM INSIDE OF WALLS		
*UNIT CALCULATIONS = (UNIT SIZE) - (STORAGE)		

NO --

DATE --

ISSUE --

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**YAMAMOTO  
ARCHITECTURE**

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Vancouver, BC V5T 1R5  
T - 604 731 1127 F - 604 731 1327

PROJECT --

MIXED-USE

-

3970-3998 MAIN STREET  
VANCOUVER, BC

DRAWING TITLE --

LEVEL - 6 PLAN

SCALE -- 1/8" = 1'-0"

DATE --

DRAWN -- TY

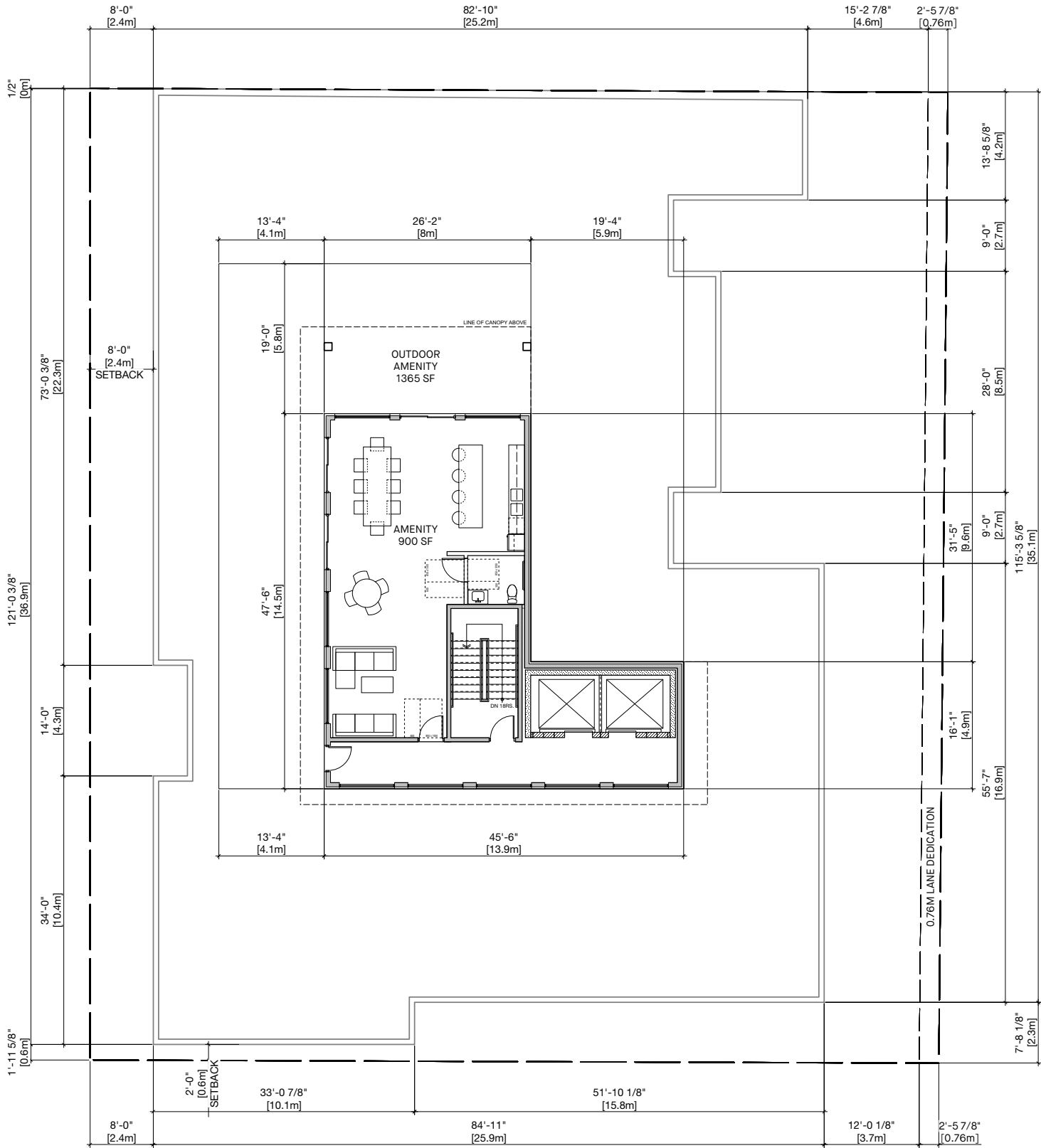
CHECKED --

SHEET NO. --

A2.6

PROJ NO -- 2118





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<p>PROJECT --</p> <p><b>MIXED-USE</b></p> <p>—</p> <p>3970-3998 MAIN STREET VANCOUVER, BC</p>		
<p>DRAWING TITLE --</p> <p><b>ROOF PLAN</b></p>		
<p>SCALE -- 1/8" = 1'-0"</p>		<p>SHEET NO. --</p> <p><b>A2.7</b></p>
<p>DATE --</p>		
<p>DRAWN -- TY</p>		
<p>CHECKED --</p>		
		<p>PROJ NO -- 2118</p>



ELEVATION KEY NOTES :

- 1 BRICK VENEER - LIGHT GREY
- 2 CONCRETE CAP - CLEAR SEALED
- 3 FIBRE-CEMENT PANEL W/COLOUR MATCHED TRIM - PAINTED "GREY"
- 4 FIBRE-CEMENT PANEL W/COLOUR MATCHED TRIM - PAINTED "CHARCOAL"
- 5 FIBRE-CEMENT FASCIA - PAINTED "WHITE"
- 6 SOFFIT - WOOD GRAIN
- 7 VINYL WINDOW - "CHARCOAL"
- 8 METAL AND GLASS GUARDRAIL - CHARCOAL
- 9 METAL AND GLASS CANOPY - PAINTED "CHARCOAL" W/CLEAR GLASS PANELS
- 10 ALUMINIUM STOREFRONT WINDOW - CHARCOAL
- 11 GLAZED TILE
- 12 STOREFRONT DOOR - WOOD GRAIN FINISH
- 13 PAINTED CONCRETE WITH REVEALS
- 14 O.H. GATE - CHARCOAL
- 15 LOUVER - CHARCOAL
- 16 METAL VENTS TO MATCH SIDING COLOUR

\*ALL LISTED MATERIALS REQUIRE SAMPLE REVIEW PRIOR TO PRODUCTION OR INSTALLATION.



WEST ELEVATION - MAIN STREET



SOUTH ELEVATION - EAST 24TH STREET

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<p>PROJECT —</p> <p>MIXED-USE</p> <p>—</p> <p>3970-3998 MAIN STREET VANCOUVER, BC</p>		
<p>DRAWING TITLE —</p> <p>ELEVATIONS</p>		
SCALE —		<p>SHEET NO. —</p> <p><b>A3.1</b></p>
DATE —		
DRAWN — TY		
CHECKED —		
		PROJ NO — 2118



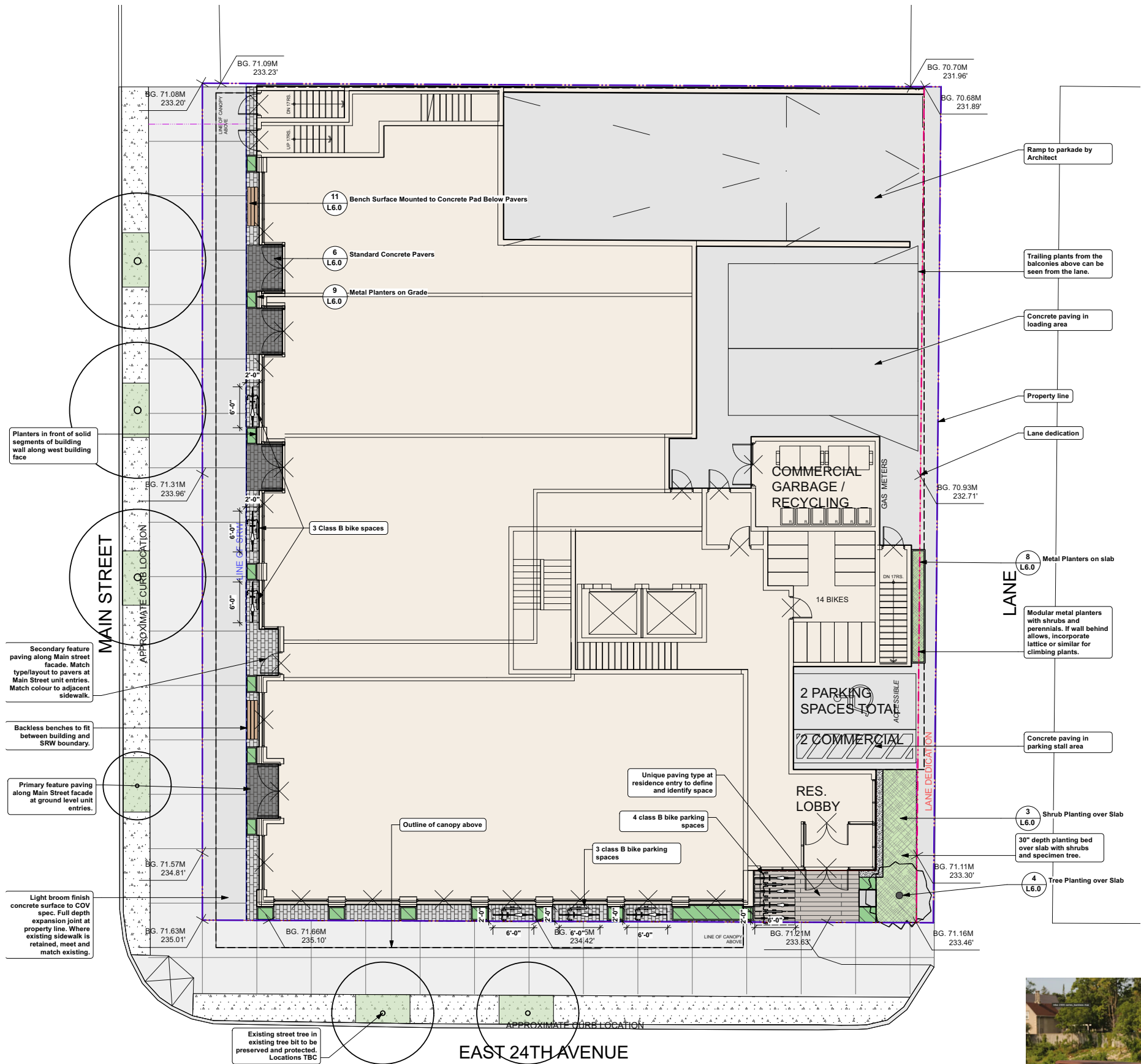
- 1 BRICK VENEER - LIGHT GREY
- 2 CONCRETE CAP - CLEAR SEALED
- 3 FIBRE-CEMENT PANEL W/COLOUR  
MATCHED TRIM - PAINTED "GREY"
- 4 FIBRE-CEMENT PANEL W/COLOUR  
MATCHED TRIM - PAINTED "CHARCOAL"
- 5 FIBRE-CEMENT FASCIA - PAINTED "WHITE"
- 6 SOFFIT - WOOD GRAIN
- 7 VINYL WINDOW - "CHARCOAL"
- 8 METAL AND GLASS GUARDRAIL - CHARCOAL
- 9 METAL AND GLASS CANOPY - PAINTED  
"CHARCOAL" W/CLEAR GLASS PANELS
- 10 ALUMINIUM STOREFRONT WINDOW - CHARCOAL
- 11 GLAZED TILE
- 12 STOREFRONT DOOR - WOOD GRAIN FINISH
- 13 PAINTED CONCRETE WITH REVEALS
- 14 O.H. GATE - CHARCOAL
- 15 LOUVER - CHARCOAL
- 16 METAL VENTS TO MATCH SIDING COLOUR

Architectural elevation drawing of a building facade, oriented with East 24th Avenue at the bottom. The drawing includes a grid of windows and balconies, a mural on the ground floor, and a rooftop garden. Key features and labels include:

- Grid Lines:** 1, 4, 5, 3, 8, 6, 7, 10, 9.
- Levels and Elevation Markers:**
  - T/O PARAPET EL. 308.27' (93.96m)
  - ROOF EL. 303.43' (92.49m)
  - LEVEL-4 (T/O CONC. TOPP'G) EL. 293.27' (89.39m)
  - LEVEL-4 (T/O CONC. TOPP'G) EL. 283.10' (86.29m)
  - LEVEL-4 (T/O CONC. TOPP'G) EL. 272.93' (83.19m)
  - LEVEL-3 (T/O CONC. TOPP'G) EL. 262.77' (80.09m)
  - LEVEL-2 (T/O CONC. SLAB) EL. 252.60' (76.99m)
  - LEVEL-1 RES. (T/O CONC. SLAB) EL. 233.77' (71.25m)
  - BG. 71.16M 233.46'
  - BG. 71.11M 233.30'
  - BG. 70.93M 232.71'
  - BG. 70.68M 231.87'
- Dimensions:**
  - 4'-10"
  - 10'-2"
  - 9'-0"
  - 10'-2"
  - 9'-0"
  - 10'-2"
  - 9'-0"
  - 10'-2"
  - 9'-0"
  - 18'-10"
  - 17'-4"
- Other Labels:**
  - P.L.
  - EAST 24TH AVENUE
  - MURAL
  - EL. 308.28M 322.43'
  - EL. 303.12M 305.53'
  - EL. 96.23M 315.76'

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<p>PROJECT —</p> <p><b>MIXED-USE</b></p> <p>—</p> <p>3970-3998 MAIN STREET VANCOUVER, BC</p>		
<p>DRAWING TITLE —</p> <p><b>ELEVATIONS</b></p>		
SCALE —	<b>A3.2</b>	SHEET NO. —
DATE —		
DRAWN — TY		
CHECKED —	PROJ NO — 2118	





Paving colour differentiates commercial space from public sidewalk



Metal Planters.



Trailing plants from level 2

LEGEND		DETAIL
HARDSCAPE MATERIALS:		
	Broom finish concrete to CoV Standards	6 L6.0
	Main street facade - primary feature paving at unit entries	6 L6.0
	Main street facade - secondary feature paving	6 L6.0
	Residence entry paving	6 L6.0
SOFTSCAPE MATERIALS:		
	Planted area - 30" Soil depth	3 L6.0
	Metal planter with seasonal planting under canopy	9 L6.0
LINES & SYMBOLS		
	Class B Bike Space	11 L6.0
	Backless bench	
	Lane dedication	
	Line of slab below	
	Canopy Above	
	Property line	

C 2021-07-30	Rezoning Draft for Review
A 2021-07-08	Issue for Client Review: Preliminary Concept
Date	Issue Notes



## Prospect & Refuge

### LANDSCAPE ARCHITECTS

#102-1661 W 2nd Ave Vancouver, BC V6J 1H3  
604-669-1003 info@prospectrefuge.ca

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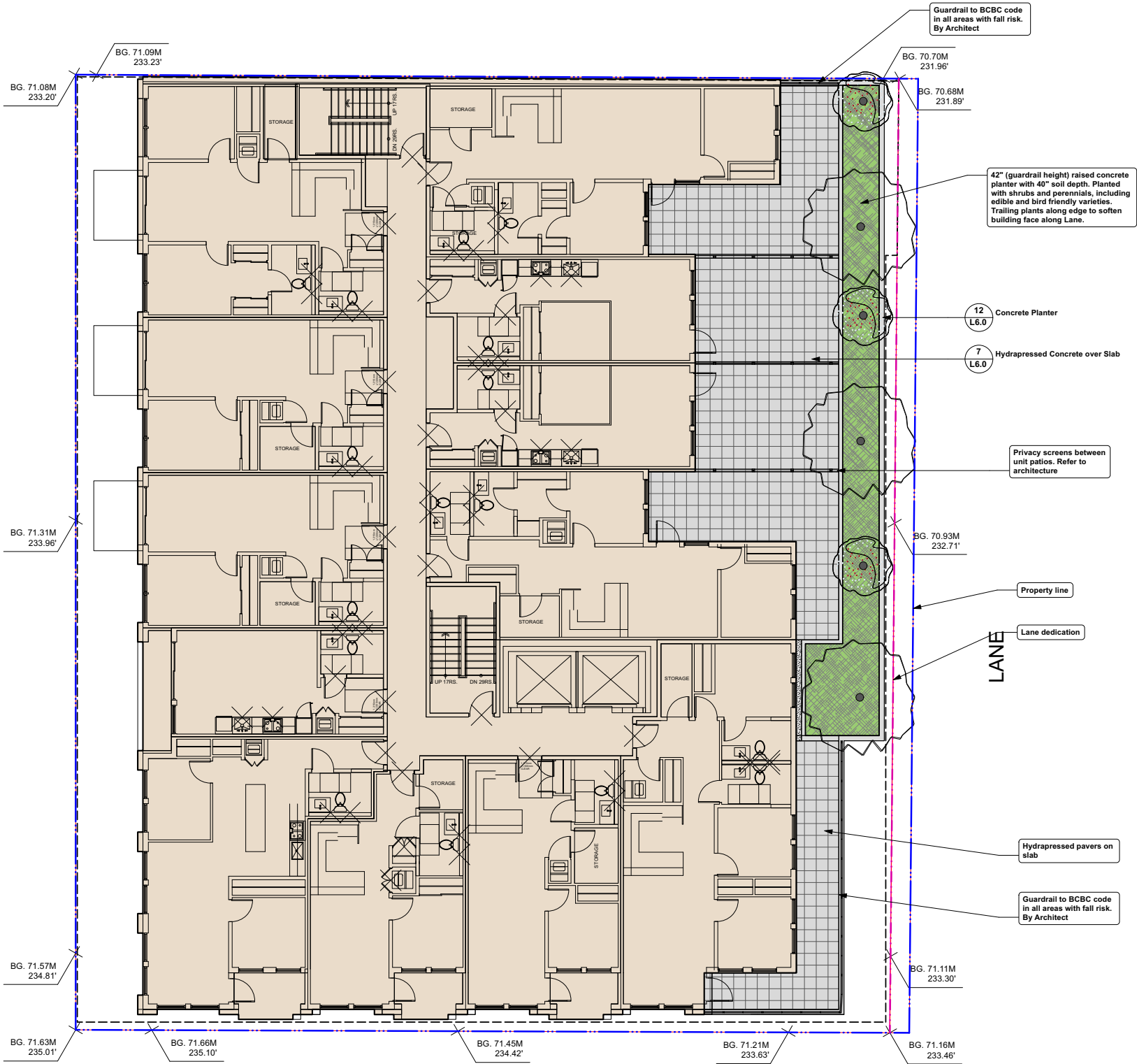
Project Title and Address  
**2021-27 Locarno Main and 24th**  
3970-3998 Main Street

Sheet Title  
**Landscape Materials Plan - Ground Level**

Project Manager SHW	Project No. 2021-27
Drawn By SH/LD	Scale 1/8" = 1'-0"
Reviewed By SH	Sheet No.
Date 2021-07-30	<b>L2.0</b>



MAIN STREET



EAST 24TH AVENUE

GENERAL LANDSCAPE NOTES:

- All materials and execution of landscape works shall conform to the CLS/BCNTA Landscape standard.
- Do not construct from these drawings unless marked "issued for construction".
- All landscape works to be performed under this contract to meet the applicable provisions and recommendations set forth in the Master Municipal Specifications & Standards Details/Canadian Landscape Standards and respect all Municipal Bylaws.
- The latest edition of the standards and codes referenced in these notes and on the landscape drawings shall apply.
- The existing conditions were compiled from base plans of the site prepared by others. Although every effort has been made to accurately locate all conditions, actual conditions may vary from those shown. The contractor shall make a full review of all existing conditions of the site and shall report discrepancies to the landscape architect before starting work. The contractor shall assume responsibility for actual conditions as they exist on site.
- The landscape contractor shall be responsible for visiting the site to determine the extent of demolition, preparation, and removals necessary (whether shown on the drawings or not) to construct the proposed site improvements. The landscape contractor shall report, in writing, any discrepancies between the existing and proposed work to the landscape architect prior to proceeding with construction. Failure to inspect, notice, or report these discrepancies prior to construction shall not relieve the landscape contractor from their responsibility to perform the necessary operation for the successful completion of the proposed improvements without any changes to fee.
- The landscape contractor shall verify dimensions shown on the drawings and notify the landscape architect of any discrepancies prior to the start of the final layout prior to construction.
- Contractor to repair any damage resulting from work on site.
- The landscape contractor shall refer any questions on materials, finishes, labour and/or products specified herein to the landscape architect.
- Provide positive grades away from buildings and toward lawn drains and catch basins. Slope away from building at a minimum of 2%. Slope towards lawn basins at minimum 4%. Slope lawn and grass areas minimum 2% and maximum 3:1 slopes. Slope grass swales (without additional erosion protection) along invert minimum 1% and maximum 10% and along side slopes minimum 6:1 slope and maximum 3:1 slope.
- Protection of existing trees/shrubs to remain: Install temporary tree protection fencing at drip line of existing hedges, trees, and shrub beds which are to remain. Maintain the fencing during construction. No storage of materials or equipment, or any other activities are allowed within the protection zone during construction until final landscape work is being done in the vicinity. Remove protective fencing as directed and landscape as directed.
- All landscaping to have high efficiency irrigation system to IIABC standards.



Shrubs and trees in concrete planters



Trailing plants from level 2

LEGEND

HARDSCAPE MATERIALS:

Hydrapressed pavers on slab.  
Material spec TBD

SOFTSCAPE MATERIALS:

Concrete Planter - 42" height  
Planting bed - 40" soil depth

LINES & SYMBOLS

Lane dedication  
Property line  
Guardrail - See architecture  
Privacy Screen - See architecture

DETAIL

7  
L6.0

12  
L6.0

C 2021-07-30 Rezoning Draft for Review  
A 2021-07-08 Issue for Client Review:  
Preliminary Concept

Date Issue Notes



Prospect & Refuge

LANDSCAPE ARCHITECTS

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Project Title and Address

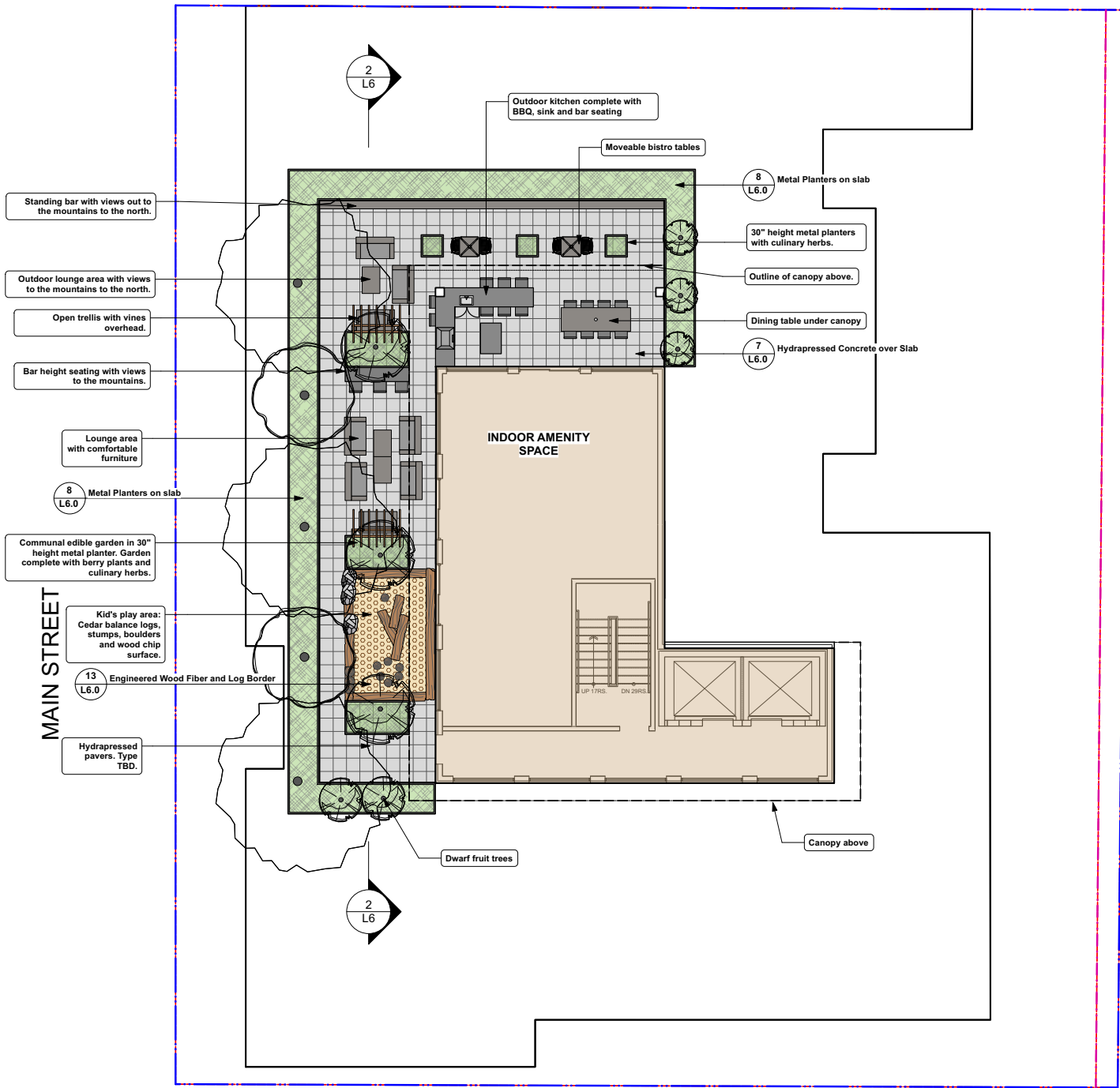
2021-27 Locarno Main and 24th  
3970-3998 Main Street

Sheet Title

Landscape Materials Plan - 2nd Level

Project Manager SHW  
Drawn By SH/LD  
Reviewed By SH  
Date 2021-07-30  
Project No. 2021-27  
Scale 1/8" = 1'-0"  
Sheet No. L2.1





GENERAL LANDSCAPE NOTES:

All materials and execution of landscape works shall conform to the CLS/BCNTA Landscape standard.

Do not construct from these drawings unless marked "issued for construction".

All landscape works to be performed under this contract to meet the applicable provisions and recommendations forth in the Master Municipal Specifications & Standards Details/Canadian Landscape Standards and respect all Municipal Bylaws.

The latest edition of the standards and codes referenced in these notes and on the landscape drawings shall apply.

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The landscape contractor shall verify dimensions shown on the drawings and notify the landscape architect of any discrepancies prior to the start of the final layout prior to construction.

The contractor to repair any damage resulting from work on site.

The landscape contractor shall refer any questions on materials, finishes, labour and/or products specified herein to the landscape architect.

Provide positive grades away from buildings and toward lawn drains and catch basins. Slope away from building at a minimum of 2%. Slope towards lawn basins at minimum 4%. Slope lawn and grass areas minimum and maximum 3:1 slopes. Slope grass swales (without additional erosion protection) along invert minimum 1% and maximum 10% and along side slopes minimum 6:1 slope and maximum 3:1 slope.

Protection of existing trees/shrubs to remain: Install temporary tree protection fencing at drip line of existing hedges, trees, and shrub beds which are to remain. Maintain the fencing during construction. No storage of materials or equipment, or any other activities are allowed within the protection zone during construction until final landscape work is being done in the vicinity. Remove protective fencing as directed and landscape as directed.

All landscaping to have high efficiency irrigation system to IABC standards.

LANE



Kid's play area with stumps, balance logs and boulders.



Open trellis and vines



Bistro style moveable seating



Outdoor kitchen and dining area with BBQ and bar seating



Communal berry gardens, culinary herbs and apple trees for urban agriculture



Bar seating with a view



Great view to the mountains and City to the North



Outlets and seating for outdoor working and studying.



Metal planters

LEGEND

HARDSCAPE MATERIALS:

Hydrapressed pavers on slab.  
Material spec TBD

SOFTSCAPE MATERIALS:

Metal planter - 30" soil depth

Wood fiber playground surfacing

LINES & SYMBOLS

Trellis with vines

Boulder - nature play area

Cedar stumps & logs - nature play area

Lane dedication

Property line

Canopy Above

Guardrail

DETAIL

7  
L6.0

8  
L6.0

13  
L6.0

C 2021-07-30 Rezoning Draft for Review

A 2021-07-08 Issue for Client Review: Preliminary Concept

Date Issue Notes



Prospect & Refuge

LANDSCAPE ARCHITECTS

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Project Title and Address

2021-27 Locarno Main and 24th  
3970-3998 Main Street

Sheet Title

Landscape Materials Plan - 7th Level

Project Manager SHW Project No. 2021-27

Drawn By SH/LD Scale 1/8" = 1'-0"

Reviewed By SH Sheet No.

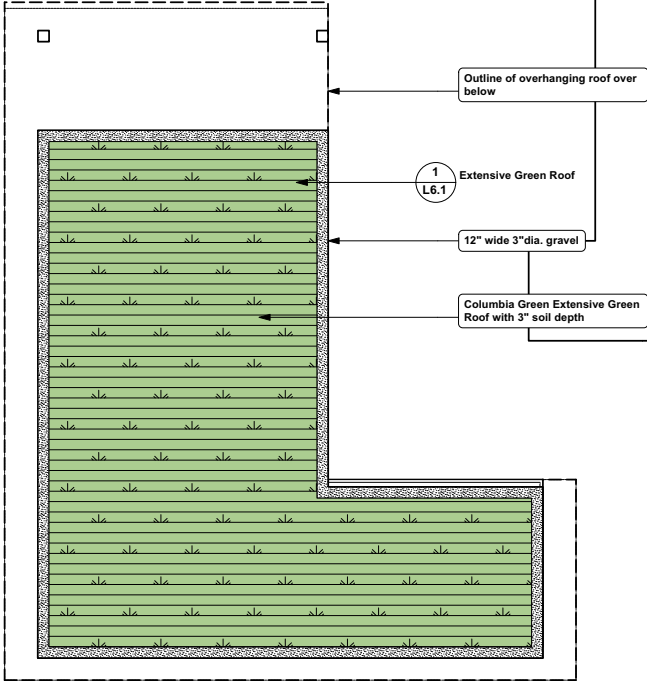
Date 2021-07-30

L2.2



MAIN STREET

LANE



GENERAL LANDSCAPE NOTES:

- . All materials and execution of landscape works shall conform to the CLS/BCNTA Landscape standard.
- . Do not construct from these drawings unless marked "issued for construction".
- . All landscape works to be performed under this contract to meet the applicable provisions and recommendations set forth in the Master Municipal Specifications & Standards Details/Canadian Landscape Standards and respect all Municipal Bylaws.
- . The latest edition of the standards and codes referenced in these notes and on the landscape drawings shall apply.
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- . The landscape contractor shall refer any questions on materials, finishes, labour and/or products specified herein to the landscape architect.
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- . Protection of existing trees/shrubs to remain: Install temporary tree protection fencing at drip line of existing hedges, trees, and shrub beds which are to remain. Maintain the fencing during construction. No storage of materials or equipment, or any other activities are allowed within the protection zone during construction until final landscape work is being done in the vicinity. Remove protective fencing as directed and landscape as directed.
- 5. All landscaping to have high efficiency irrigation system to IABC standards.x

LEGEND

SOFTSCAPE MATERIALS:

- Extensive Green Roof - 3" Soil Depth
- Gravel Strip

LINES & SYMBOLS

- Lane dedication
- Property line

DETAIL

1  
L6.1

C	2021-07-30	Rezoning Draft for Review
A	2021-07-08	Issue for Client Review: Preliminary Concept

Date	Issue Notes
------	-------------



Prospect & Refuge

LANDSCAPE ARCHITECTS

#102-1461 W 2nd Ave Vancouver, BC V6J 1H3  
604-669-1003 info@prospectrefuge.ca

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Project Title and Address

2021-27 Locarno Main and 24th  
3970-3998 Main Street

Sheet Title

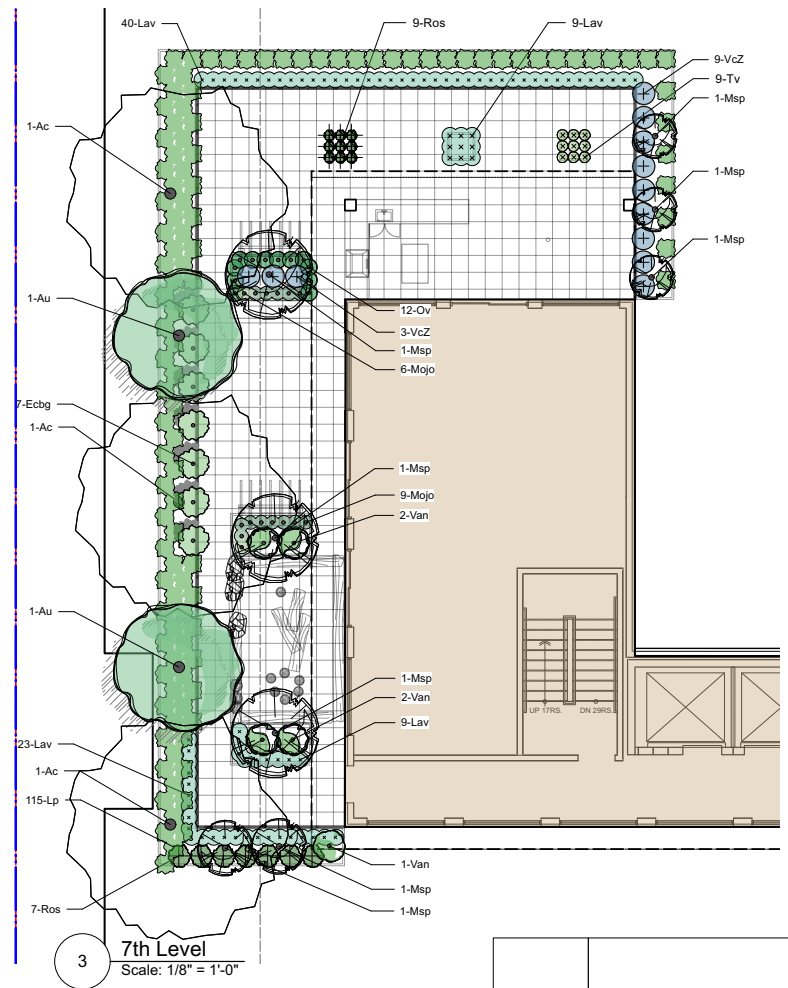
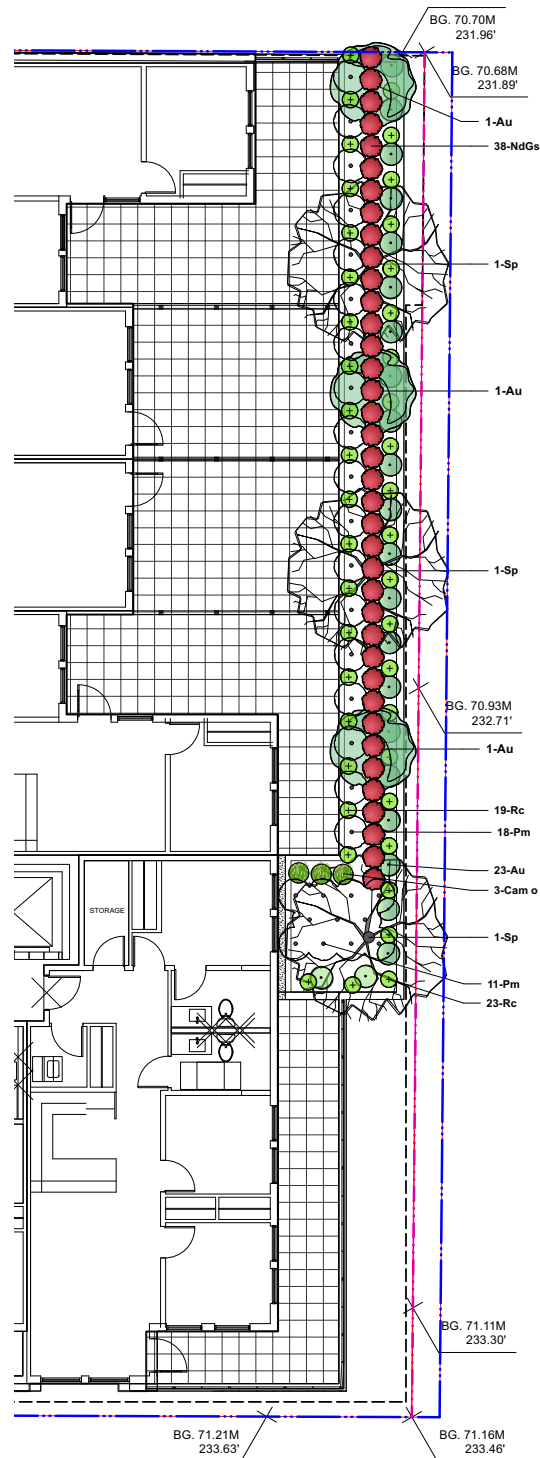
Landscape Materials Plan - Roof Level


Project Manager	SHW	Project No.	2021-27
Drawn By	SH/LD	Scale	1/8" = 1'-0"
Reviewed By	SH	Sheet No.	L2.3
Date	2021-07-30		



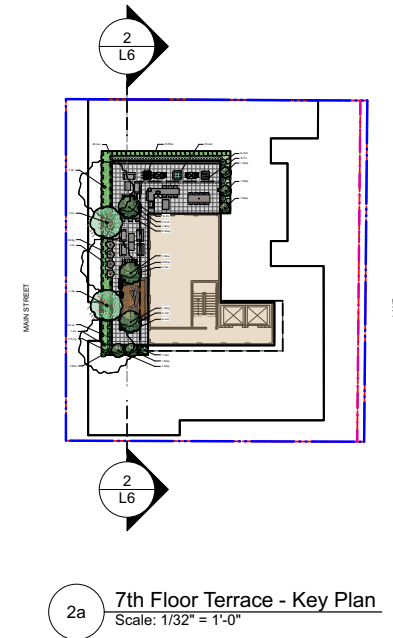
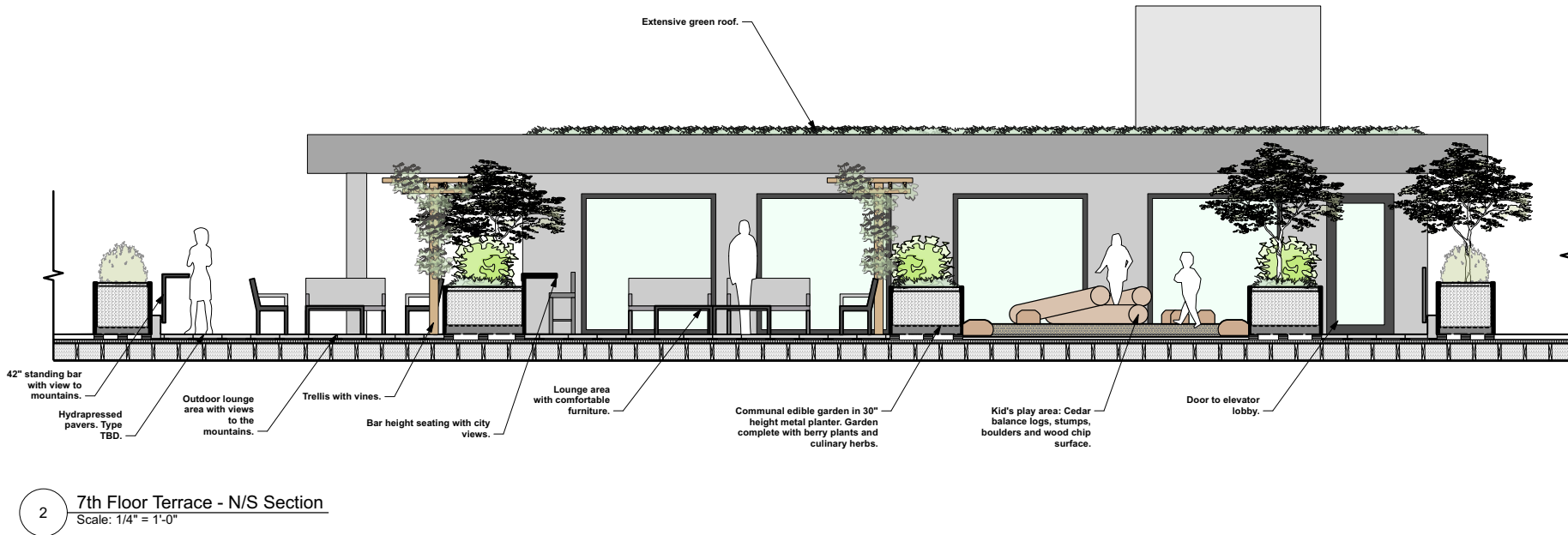
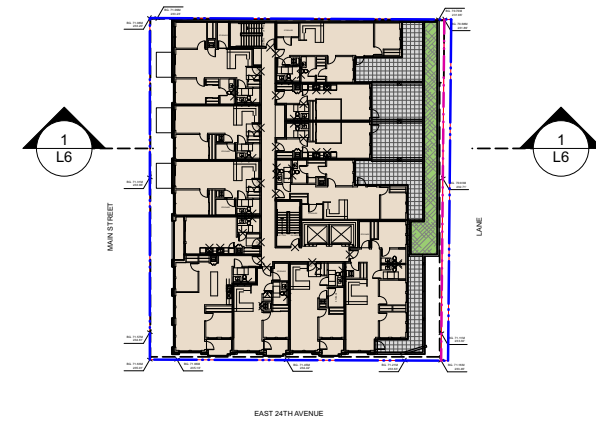
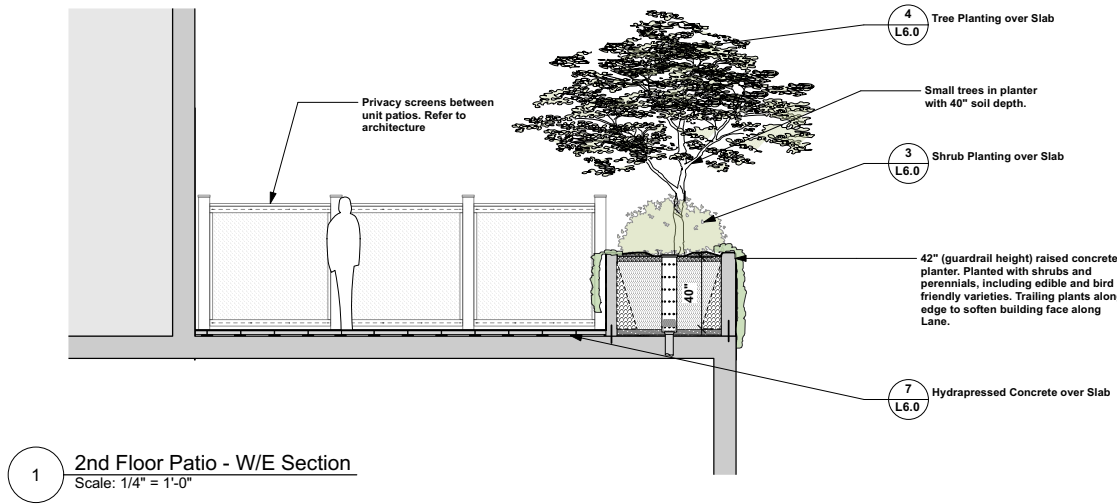
PLANT LIST: 7th LEVEL					
ID	Latin Name	Common Name	Quantity	Scheduled Size	Notes
<b>TREES</b>					
Ac	Acer circinatum	Vine maple	3	2M ht.	B & B
Au	Arbutus unedo	Strawberry tree	2	#5 pot	Cont.
Msp	Malus spp.	Assorted Dwarf Root Stock Apples for Cross-Pollination	8	3/4" cal. min.	B & B
<b>SHRUBS</b>					
Ecbq	Echinacea 'CBG Cone 2' P.P. #18,546	Pixie Meadowbrite Coneflower	7		
Lav	Lavandula angustifolia	Lavender	81	---	---
Lp	Lonicera pileata	Privet Honeysuckle	115	#2 pot	Cont.
Mojo	Mentha x villosa	Mojito mint	15	#1 pot	Cont.
Ov	Origanum vulgare 'Gold Tip'	Ornamental oregano	12	#1 pot	Cont.
Ros	Rosmarinus officinalis	Rosemary	16	---	Cont.
Rv	Rhus typhalis	Common Thyme	9	#1 not	Cont.
Van	Vaccinium 'Sunshine Blue'	Lowbush Blueberry	5	#2 pot	Cont.
Vc2	Vaccinium corymbosum 'ZF06-179'	Jelly Bean Blueberry	12	#1 pot @ 2'0" OC.	Cont.
<b>GROUNDCOVER</b>					
	Assorted perennials selected by Landscape Architect		100	#1 pot	Cont.

1. All materials and execution of landscape works shall conform to the current edition of the Canadian Landscape Standard (CLS) as a minimum acceptable standard. Refer to document for complete landscape documentation.
2. Plant material to the satisfaction of the Landscape Standards for nursery stock. Extend search for plant material to Washington and BC.
3. Top soil mixtures for the project shall be tested for particle size, Ph, and Nutrient levels, and recommendations provided and amendments made to bring the soil up to acceptable horticultural quality for the desired plant material, trees, or turf planting. Provide verification of fertilizer and lime applications and rates during the installation and maintenance periods. Soil analysis to be provided to the landscape architect for review and comment prior to delivery on site. Soil report shall be no older than one month.
4. Off slab minimum soil depths are as follows unless noted differently on plans:
  - 6" (150mm) for lawn areas
  - 18" (450mm) for shrub beds
  - 36" (900 mm) for trees
5. The prepared sub-grade shall be approved by the Consultant prior to application of top soil mixtures and finish grading. Scarify compacted subgrades to a minimum depth of 6" (150mm) immediately before placing growing medium.
6. All plant material shall meet minimum size requirements as indicated on plant list. Quality of plant material and grading of site to conform to Canadian Landscape Standard for container grown stock.
7. Discrepancies between plant numbers on the plant list and on the plan shall be reported to the landscape architect prior to ordering plant material. In the case where there is a discrepancy between plant numbers on the plant list and on the plan, the plan shall supercede the list.
8. All plant material to be supplied on the job site must be obtained from a nursery participating in the BC/LNA Phytophthora ramorum Certification Program. Plant material provided by the contractor found to be carrying Pr will be removed, disposed of and replaced at the contractor's expense.
9. Obstructions - If obstructions or other conditions detrimental to healthy plant growth are encountered, notify the Landscape Consultant and request additional instructions. The exact location of trees shall be determined on site and field fit subject to obstructions where applicable.
10. Plants shall be nursery grown under climatic conditions similar to those in the location of the project. Plants shall be healthy, vigorous and of normal habit of growth for the species. They shall be free from diseases, insects, insect eggs and larvae and shall equal or exceed the size indicated on the plant list. The plants shall not be pruned prior to delivery except upon special approval.
11. Root balls to be free of pernicious weeds.
12. Install 2" (50mm) of composted organic mulch on all shrub beds after planting and rake smooth.
13. Landscape Contractor is to provide 55 days of maintenance after the date of Substantial Completion. Maintain to level 2 "Groomed" as per Canadian Landscape Standards. Contractor to provide a one year guarantee for all plant material. Plants installed prior to June (Between Jan 1 and June 1) shall be under extended warranty until the June 1 of the following year.
14. The Landscape Consultant is to approve any plant material substitutions. Upon delivery, all plant material must meet CLS standards.
15. Planting material on City Boulevard to have the approval of the Parks Dept. prior to installation. Size, species and location require approval at the time of installation.
16. All landscaping to have high efficiency irrigation system to IiABC standards.



C 2021-07-30	Rezoning Draft for Review
A 2021-07-08	Issue for Client Review: Preliminary Concept
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<div></div>	
<div><h1>Prospect &amp; Refuge</h1><div></div><h2>LANDSCAPE ARCHITECTS</h2><p>#102-1461 W 2nd Ave Vancouver, BC V6J 1H3 604-669-1003 info@prospectrefuge.ca Building on over 25 years of history as Jonathan Losee, Ltd.</p></div>	
Project Title and Address	
2021-27 Locarno Main and 24th 3970-3998 Main Street	
Sheet Title	
Landscape Planting Plans	
Project Manager SHW	Project No. 2021-27
Drawn By SH/LD	Scale 1/8" = 1'-0"
Reviewed By SH	Sheet No.
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<p>Sheet Title</p> <p><b>Sections Plan</b></p>	
Project Manager SHW	Project No. 2021-27
Drawn By SH/LD	Scale 1/8" = 1'-0"
Reviewed By SH	Sheet No. <b>L4.0</b>
Date 2021-07-30	