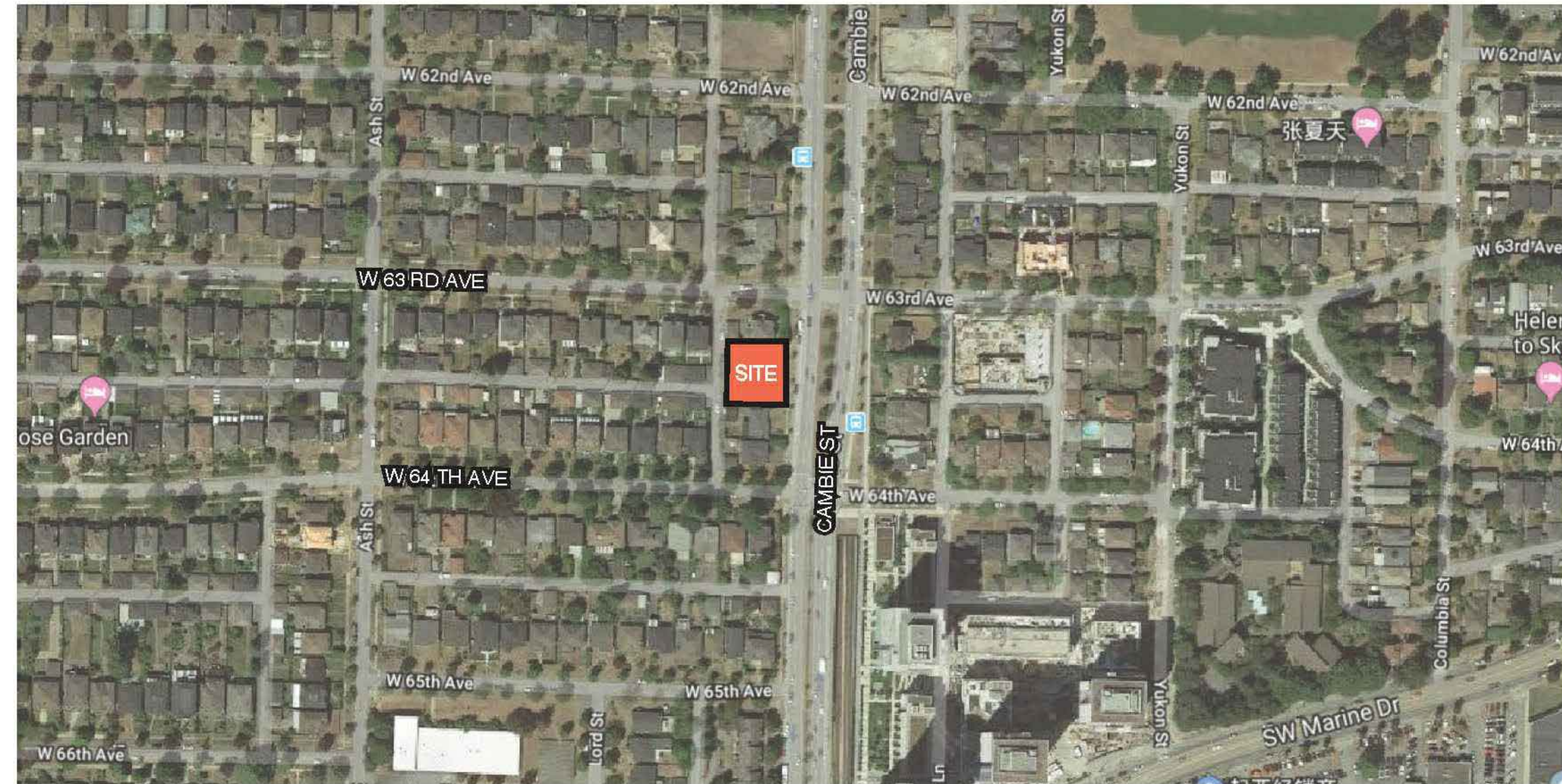


CONTEXT MAP



SITE LOCATION



CAMBIE ST. STREETScape



CAMBIE LANE STREETScape



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PROJECT TITLE
**7929&7949 Cambie St
 Vancouver BC**

PROJECT NO:	81901
DRAWN BY:	MAX
CHK'D BY:	XINMAI
SCALE:	
DATE:	

SHEET TITLE
**CONTEXT PLAN
 STREETScape**

SHEET NUMBER	REV:
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Legal Address 7929&7949 Cambie Street, Vancouver
 Legal Description LOT 2 PLAN VAP9707 DISTRICT LOT 323 NWD GROUP 1 & LOT 3 PLAN VAP9707 DISTRICT LOT 323 NWD CENTRE PID:009-502-394 & 009-502-459
 Existing Zoning RS-1
 Proposed Zoning CD-1
 Site Area 10,446 sf 970.47 sm Dimensions: 104'x100.5'
 Total FSR Proposed* 27,069 sf 2,514.79 sm FSR: 2.59 *FSR does not include in-suite storage, Amenity Rooms, mechanical shaft areas
 Height Proposed 70 ft 21.34 m 6 Storeys (top of 6th floor slab)

Unit Mix

Note: Areas do not include in-suite storage areas

Floor Level	Totals Units/Flr	1 Bed < 538sf				1 Bed, 1 Bed + Den				2 Bed, 2 Bed + Den				3/4 Bed		Area (Net) Total	Area of Units >538 sf	Area of Units > 1938 sf	
		Unit sf	Unit sf	Unit sf	Sub-Total	Unit sf	Unit sf	Unit sf	Unit sf	Unit sf	Unit sf	Unit sf	Unit sf	Unit sf	Unit sf				Sub-Total
L1	2				0	648	543	546	564	564	2,865				0	2,865	2,865		
L2	8	526	526		1,052	618	540	626	650		2,434	843	753		1,596	0	5,082	4,030	
L3	7	526	526		1,052	618	540				1,158	762	781	699	2,242	0	4,452	3,400	
L4	7	525	525		1,050	618	540				1,158	764	779	745	2,288	0	4,496	3,446	
L5	3				0						0	716			716	982	1,040	2,022	2,738
L6	3				0						0	716			716	982	1,040	2,022	2,738
Total Net Area (sf)					3,154						7,615				7,558	4,044	22,371	19,217	0
Total Net Area (sm)					293						707				702	376	2,078	1,785	0

In-suite Storage Area Bulk Storage and In-suite storage - Multiple Family Residential Developments, January 10, 2016

Floor Level	1 Bed < 538sf				1 Bed, 1 Bed + Den				2 Bed, 2 Bed + Den				3/4 Bed		Area Total	
	Unit sf	Unit sf	Unit sf	Sub-Total	Unit sf	Unit sf	Unit sf	Unit sf	Unit sf	Unit sf	Unit sf	Unit sf	Unit sf	Unit sf		Sub-Total
L1				0	38	38	38	29	29		172				0	172
L2	33	33		66	35	33	29	29			126	29	35		64	256
L3	33	33		66	35	33	33				68		28		28	162
L4	33	33		66	35	33					68		28		28	162
L5				0							0				0	0
L6				0							0				0	0
Total Storage Area (sf)				198							434				120	752
Total Storage Area (sm)				18							40				11	70

Unit Mix: Vehicle Parking VPBL 4.2.1.13, Family Room: Housing Mix Policy for Rezoning Projects, July 13, 2016

POLICY 1: Rezoning applications that include any residential strata housing are required to include a minimum of 35 percent family units (units having two or more bedrooms) including a minimum of 10 percent three-bedroom units and a minimum of 25 percent two-bedroom units.

Unit Area	Units	Units	Units	Sub-Total	Units	Units	Unit sf	Unit sf	Unit sf	Sub-Total	Units	Units	Units	Sub-Total	Unit sf	Units	Sub-Total	Total	Unit Mix
1 Bed < 538sf	3	3	0	6						0				0			0	6	18.2%
1 Bed > 538sf			0	0	4	4	2	2	1	13				0			0	13	39.4%
2 Bed > 538 sf				0						0	5	3	2	10			0	10	30.3%
3/4 Bed > 538 sf				0						0				0	2	2	4	4	12.1%
Unit > 1938 sf				0						0				0			0	0	0.0%
Total																		33	100%

Unit Mix: Bicycle Parking 2019 Parking By-law Update Summary, Off-Street Bicycle Space Regulations (14)

Unit Area	Quantity				Sub-Total	Units	Units	Units	Units	Units	Sub-Total	Units	Units	Units	Sub-Total	Units	Sub-Total	Total	Unit Mix
	Units	Units	Units	Units															
<700 sf	3	3	0	6	4	4	2	2	1	13				1	1		0	20	60.6%
>700 <1130 sf			0	0	0					0	5	3	1	9	2	2	4	13	39.4%
>1130 sf				0						0				0		0	0	0	0.0%
Total																		33	

Amenity Area

Planning Bylaw Amenity Areas excluded from FSR
 Amenity Room Area 498 sf 46 sm

Area Calculation

	Mechanical Shaft (sf)	Above Grade BikeRm (sf)	Amenity Room (sf)	Net Residential (sf)	In-Suite Storage (sf)	Gross Residential (sf)	Gross Floor Area (sf)	Open Balcony (sf)	Residential Area (%)
	L1		653		2,866	172	3,038	4,957	
L2	8			5,081	256	5,337	5,917	773	3%
L3	8			4,496	162	4,658	5,195	396	1%
L4	8			4,495	162	4,657	5,195	775	3%
L5				2,738	0	2,738	3,377	0	0%
L6				2,738	0	2,738	3,377	903	3%
Roof			491				971		
Total Area (sf)	24	653	491	22,414	752	23,166	28,989	2847	10%
Total Area (sm)	2	0	46	2,082	70	2,152	2,693	264	

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PROJECT TITLE
**7929&7949 Cambie St
 Vancouver BC**

PROJECT NO: 81901
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 DATE:

SHEET TITLE
STATISTICS1-2

SHEET NUMBER
 REV:

Vehicle Parking	VPBL 4.2.1.13	0	Required	Disabled	Provided Reg. Size	Small Size	Total	% of Total	
VPBL 4.2.1.13		0							
0.5 Spaces/Unit < 538 ft ² (50m ²)		0	6 Units						
0.6 Spaces/Unit > 538 ft ² (50m ²)			27 Units		22		22	Regular	63%
1 space/2135 ft ² (200m ²)			27,069 sf			8	8	Small	23%
Excess Spaces									
Accessible Parking (Included in required spaces)									
1 space/ 7 Units + 0.034/Additional Units	VPBL 4.8.4			2			2	Disabled	6%
1 space counted as 2 regular parking spaces	VPBL 4.1.15			2			2	Disabled	6%
Visitor Parking (Parking and Loading Design Supplement IV. D. Visitor Parking, Residential)									
0.05 min-0.1 max spaces/unit					1		1	Visitor	3%
Total				5	22	8	35		100%

Note: Small Car Spaces allowance is less than 25%
2 Accessible parking spaces are noted on the Parking Level Plan. 2 Disability spaces count as 4 spaces in the total

Calculation of Accessible Parking Spaces VPBL 4.1.15
Despite anything to the contrary in this By-law or in any other by-law mentioned herein, each Accessible parking space provided to satisfy the minimum required number of such spaces will count as two parking spaces for the purpose of satisfying the minimum required number of parking spaces. Use of this section will not affect any maximum parking permitted calculations

Bicycle Parking		VPBL Section 6	Dwellings	Required	Provided	
Class A	2019 Parking By-law Update Summary (14)					
	1.5 spaces for each dwelling unit under 65sm (700 sf)		20	30		
	2.5 spaces for each dwelling over 65sm and under 105sm (700-1130 sf)		13	33		
	3 spaces for each dwelling unit over 105sm (1130 sf)		0	0		
	Note: All bicycle parking at Underground P1 level					
	2019 Parking By-law Update Summary (20)		Class A Total	63	63	
	A minimum of 5% of the spaces must be oversized spaces of 2.4 m in length and 0.9 m in width* and may not be vertical or stacked spaces. An access aisle of 1.5 m is required.			4	4	Oversize
	2019 Parking By-law Update Summary (22)					
	Stacking/vertical bicycle parking is permitted for up to 60% of the minimum requirement.*			38	19	Stacked lower level
	Stacked bicycle spaces shall be designed to provide access without the need to lift the bicycle entirely off of the ground, and must provide convenient access. Total combined stacked and vertical bicycle parking not to exceed 60%.				19	Stacked upper level
	2019 Parking By-law Update Summary (23)					
	At least 10% of the Class A bicycle spaces must be bicycle lockers.*			7	7	Lockers
Class B	2019 Parking By-law Update Summary (15)					
	2 spaces for any development with at least 20 dwelling units		Class B Total	3	3	
	with and additional one space for each 20 additional dwelling units					

Loading Requirements		Off-Street Loading Space Regulations 5.2.1	Dwellings	Required	Provided
Residential					
Class A	No requirement.		33	0	0
Class B	No requirement for less than 100 dwelling units.			0	0
Class C	No Requirement.			0	0

Storage Calculation		Bulk Storage and In-suite storage - Multiple Family Residential Developments, January 10, 2018	Dwellings	Required	Provided
1. Bulk Storage Below Base Surface					
	Minimum of 5.7sm (201sf) of storage area is required for each dwelling unit		33	33	33
2. In-Suite Storage At or Above Base Surface					
	Maximum of 3.7sm (40sf) of insuite storage space per dwelling unit may be excluded				
	Maximum In Suite Storage Provided each unit: 370 cuft (40 sf x 9.25' high)				

Garbage & Recycling		Garbage and Recycling Storage Amenity Design Supplement Nov 2016	Table 2.1.1, 21-30 Units			
Type	Quantity	Size	Container Footprint(sf)	Total Footprint(sf)	Manoeuvre Factor	Provided(sf)
Mixed Containers	1	360 ltr	6.78	6.78	2.25	15.3
Mixed Papers	3	360 ltr	6.78	20.34	2.25	45.8
Mixed Papers w/ Cardboard	1	360 ltr	6.78	6.78	2.25	15.3
Glass	1	240 ltr	4.52	4.52	2.25	10.2
Compost Organics	2	240 ltr	4.52	9.04	2.25	20.3
Cardboard	1	3 yd	21.31	21.31	2.25	48.0
Garbage	2	4 yd	27.13	54.25	2.25	122.1
Total Area Required				123.04		276.8
Total Area Provided (sf)						278 sf

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Vancouver BC**

PROJECT NO: 81901
DRAWN BY: MAX
CHK'D BY: XINMAI
SCALE:
DATE:

SHEET TITLE
STATISTICS1-2

SHEET NUMBER
REV:

Vernal Equinox | march 20



10:00 AM



12:00 PM



2:00 PM

Summer Solstice | june 21



10:00 AM



12:00 PM



2:00 PM

Autumnal Equinox | september 23



10:00 AM



12:00 PM



2:00 PM

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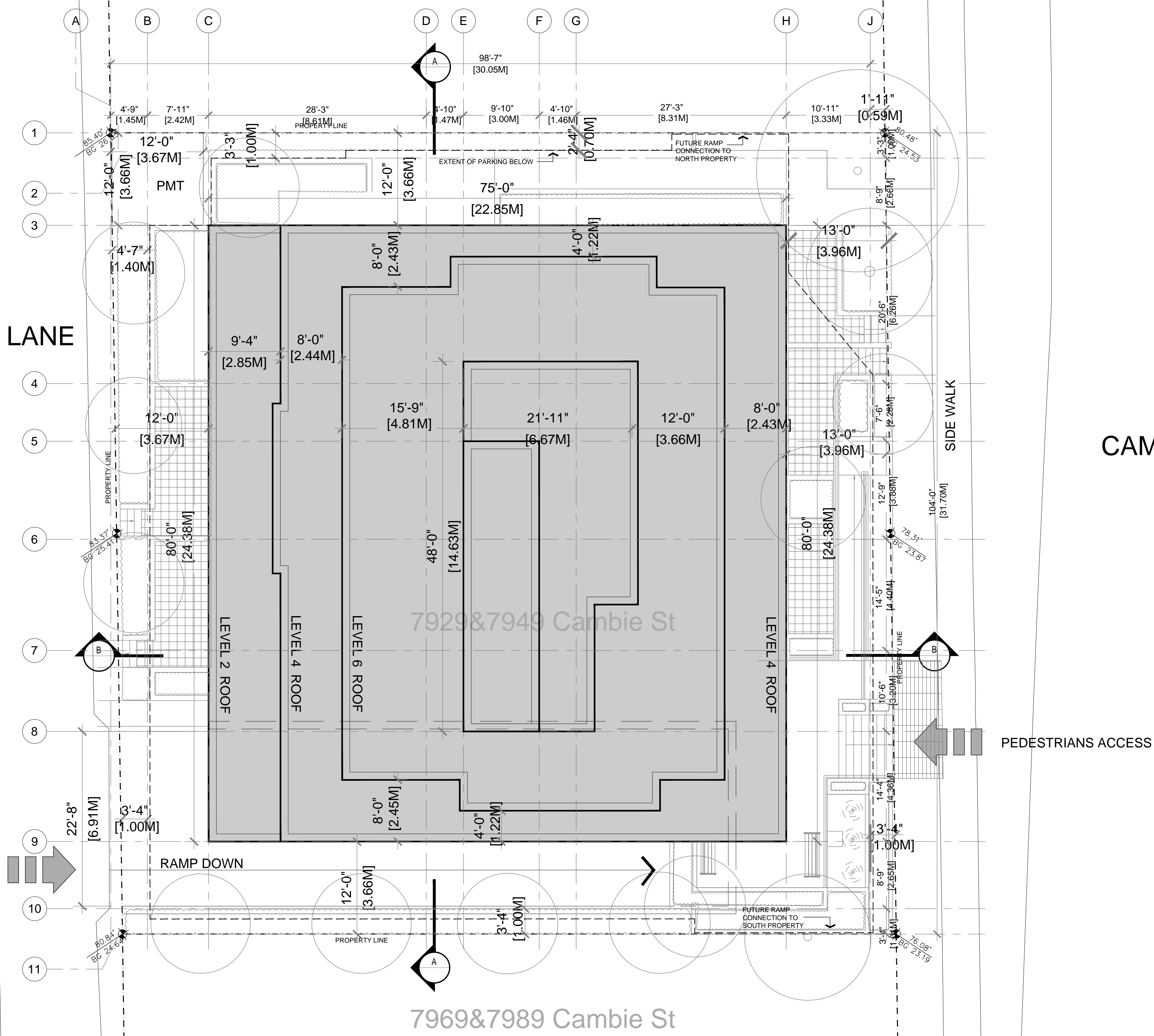
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SHEET NUMBER REV:



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506 W 63Rd. Ave.



CAMBIE ST.

PEDESTRIANS ACCESS

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SHEET TITLE

SITE PLAN

SHEET NUMBER

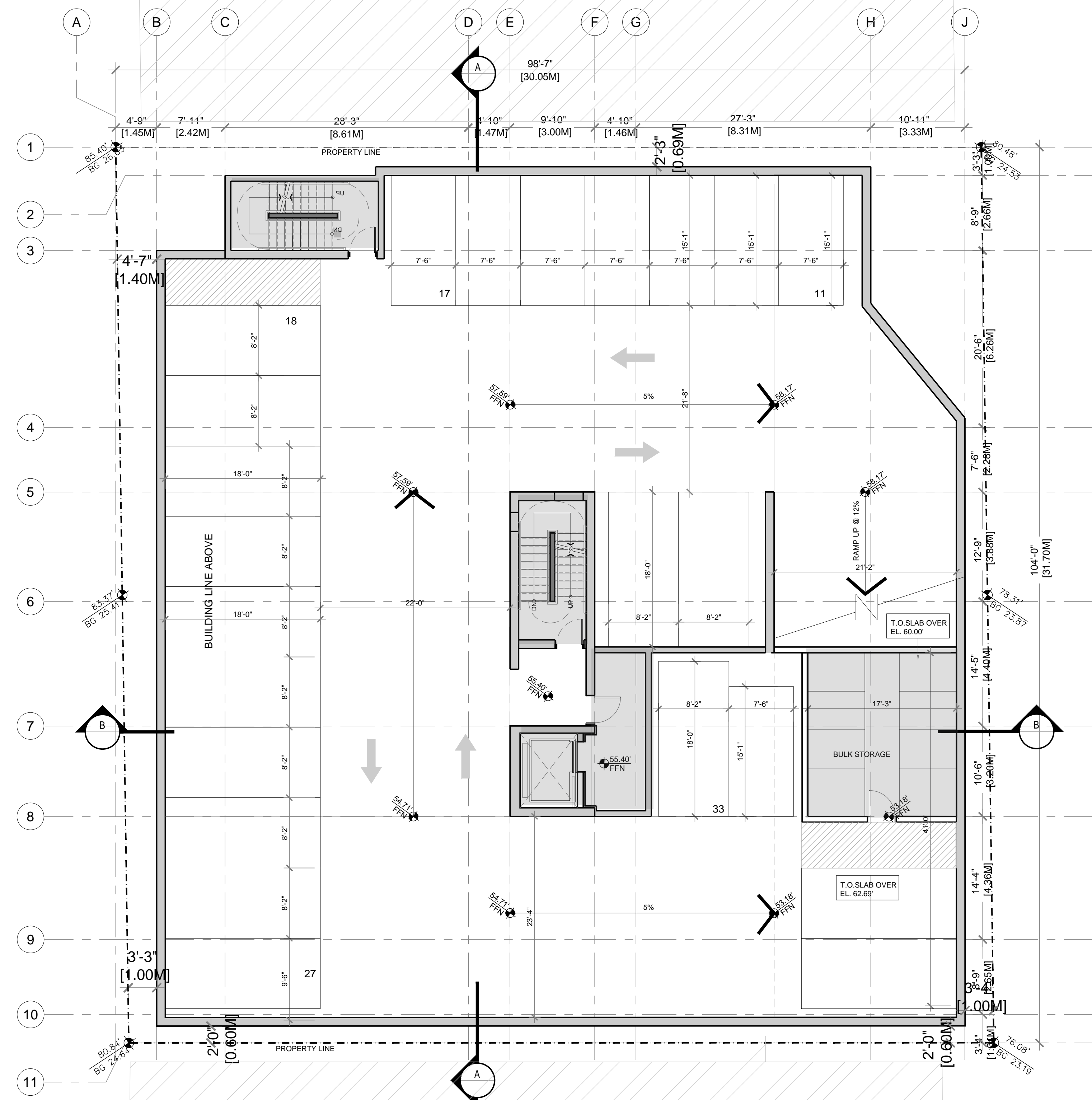
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506 W 63Rd. Ave.

7969&7989 Cambie St



Service Area

NO.	DATE	DESCRIPTION
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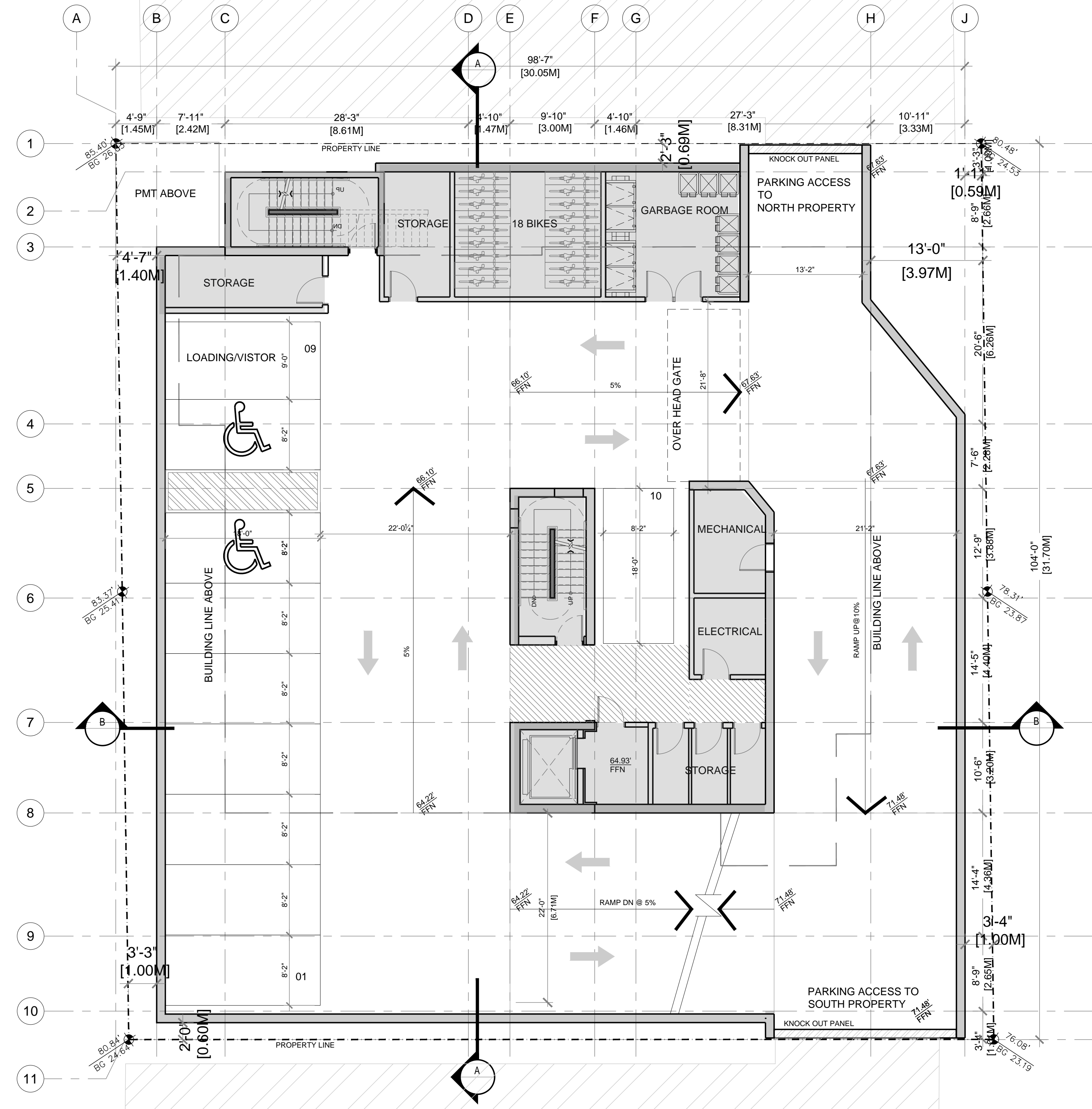
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PARKING LEVEL 2

SHEET NUMBER	REV:
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7969&7989 Cambie St

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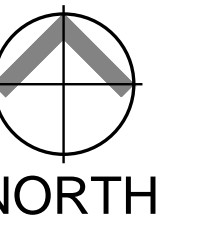
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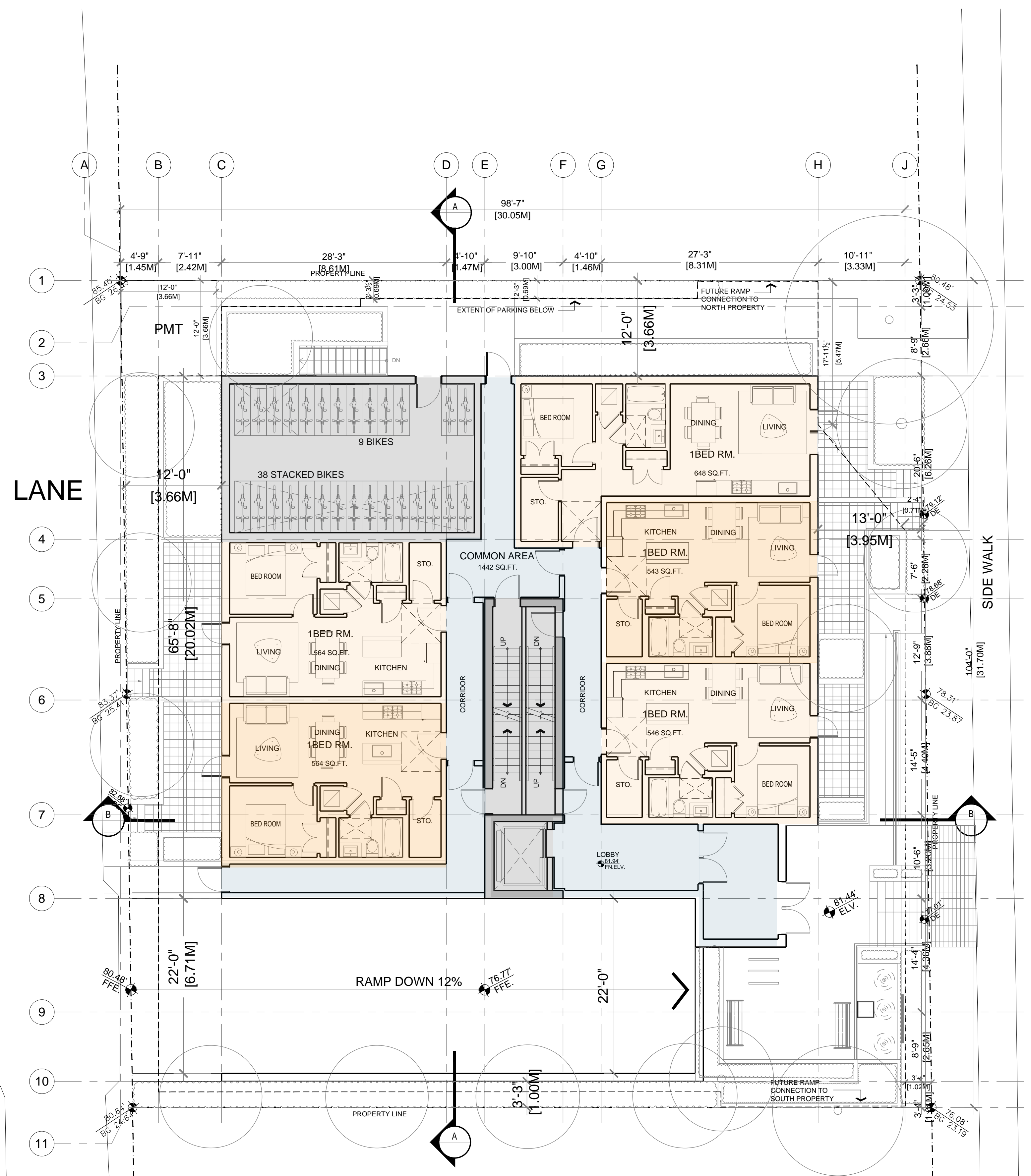
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PARKING LEVEL 1

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Service Area



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- Service Area
- Common Area
- One Bedroom Unit

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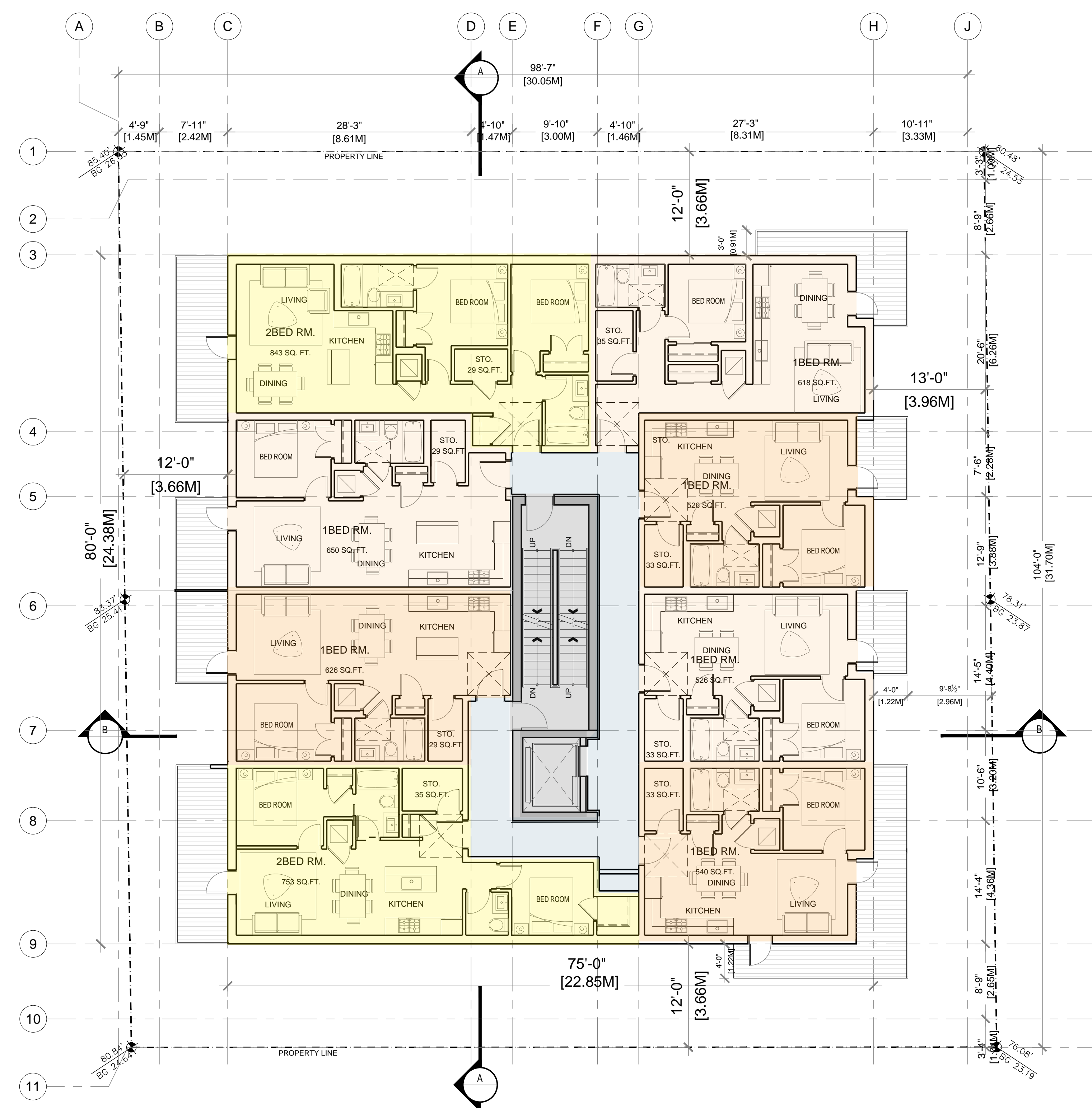
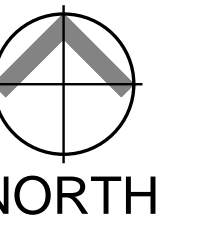
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SHEET TITLE

LEVEL 1 FLOOR PLAN

SHEET NUMBER

REV:



- Service Area
- Common Area
- One Bedroom Unit
- Two Bedroom Unit

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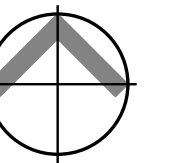
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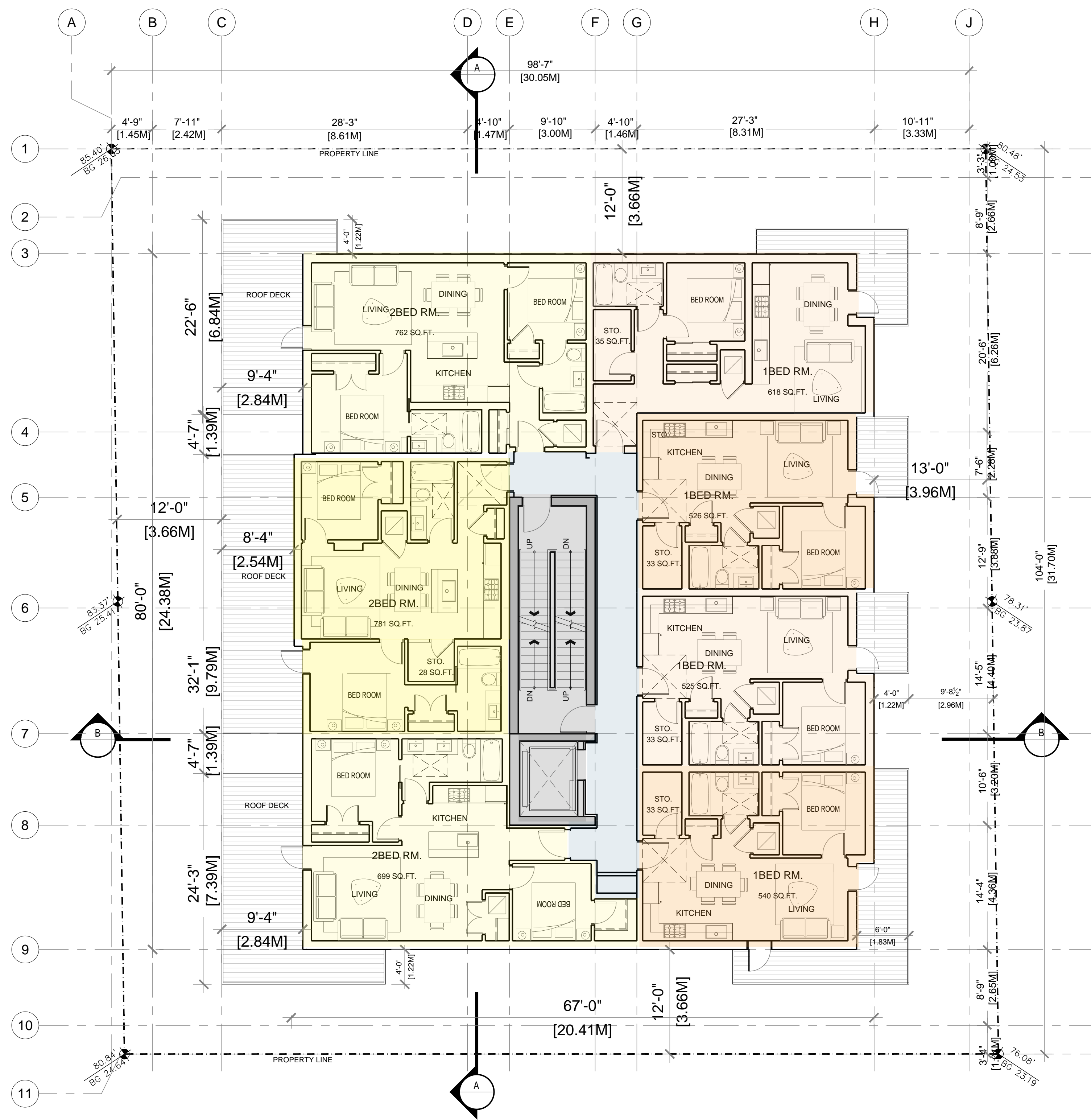
LEVEL 2 FLOOR PLAN

SHEET NUMBER

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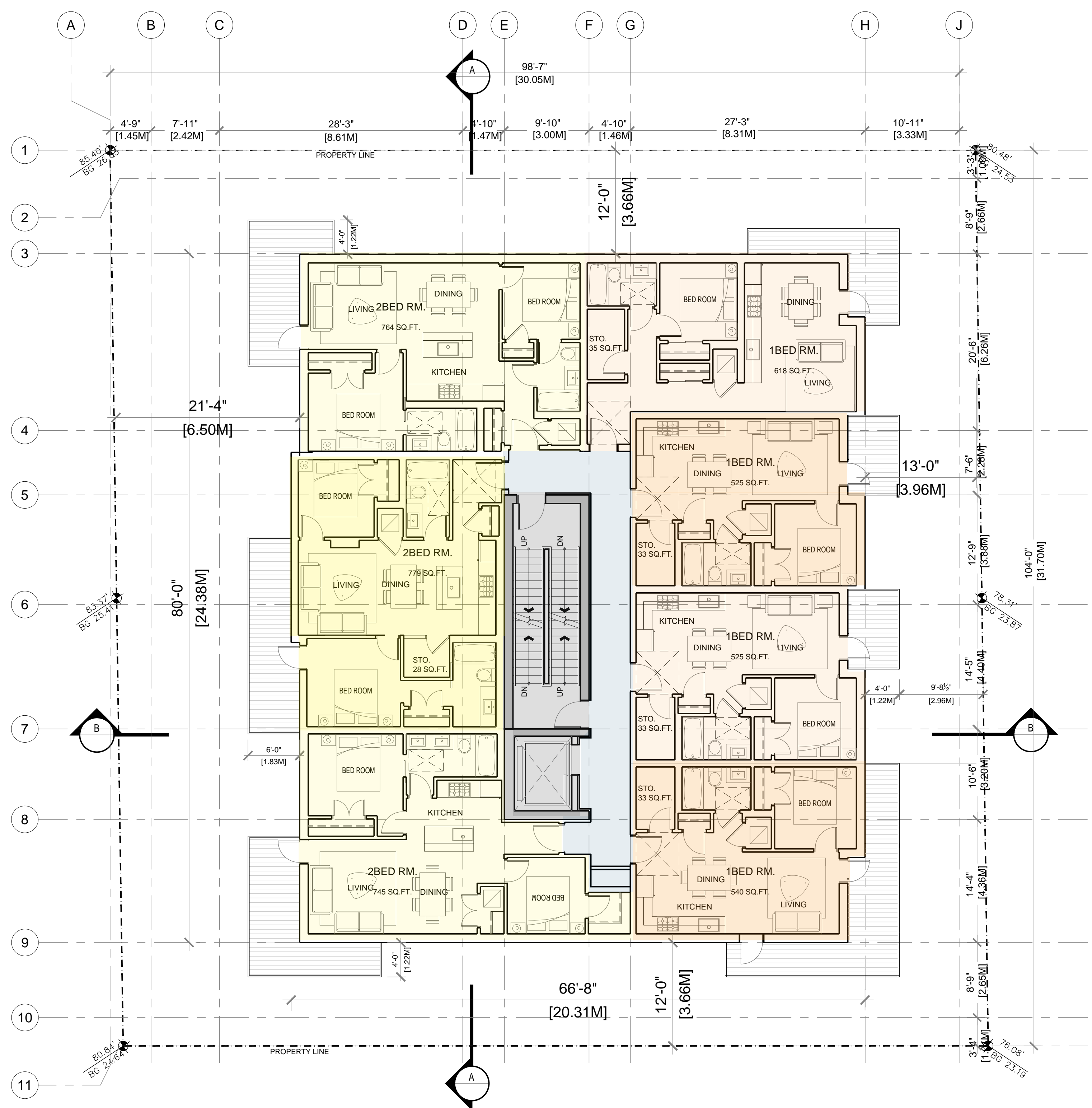


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- Service Area
- Common Area
- One Bedroom Unit
- Two Bedroom Unit

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LEVEL 3 FLOOR PLAN	
SHEET NUMBER	REV:



- Service Area
- Common Area
- One Bedroom Unit
- Two Bedroom Unit

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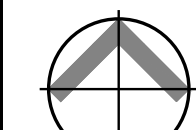
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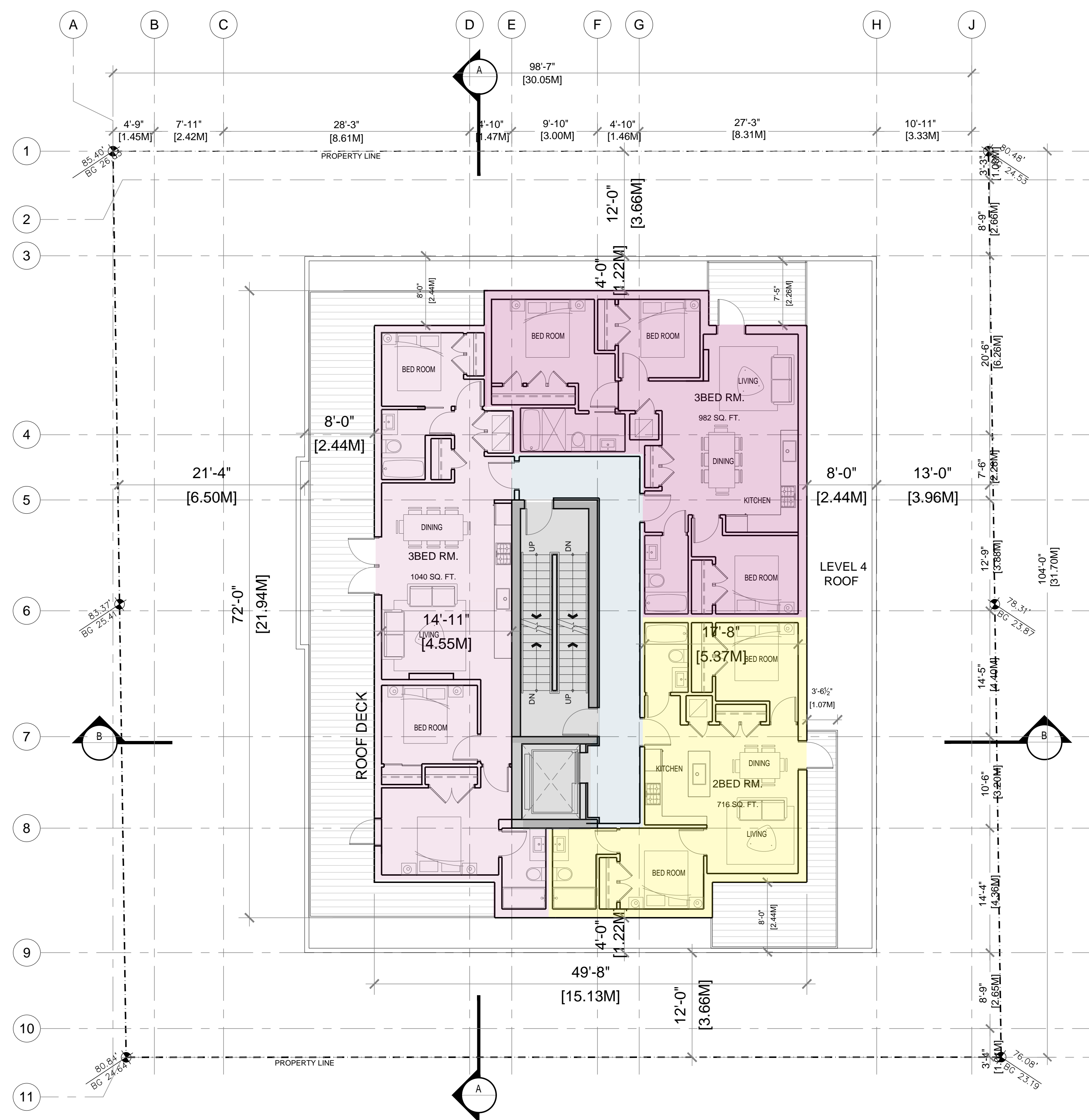
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SHEET TITLE
LEVEL 4 FLOOR PLAN

SHEET NUMBER	REV:



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- Service Area
- Common Area
- One Bedroom Unit
- Two Bedroom Unit
- Three Bedroom Unit

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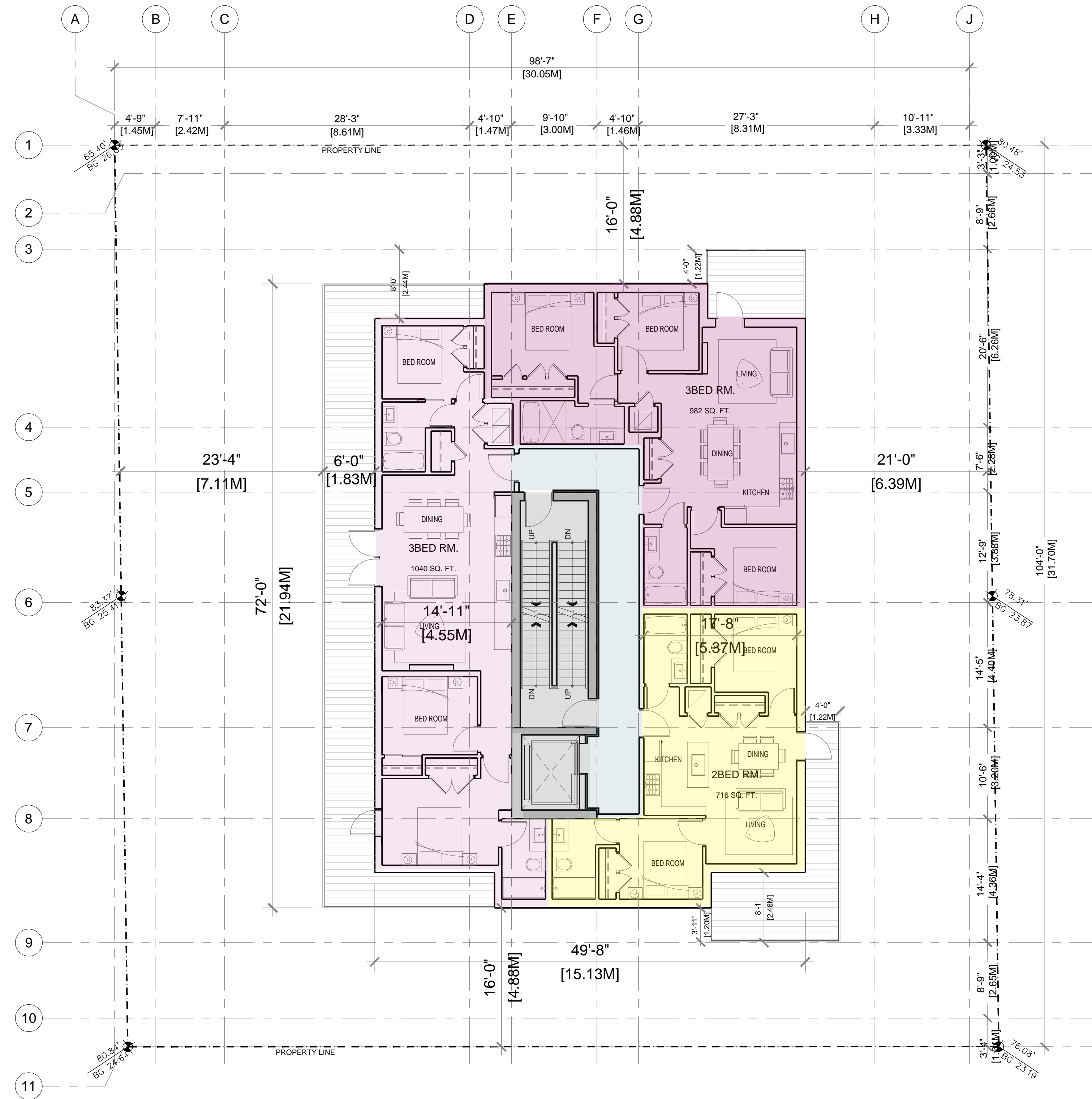
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 DATE:

SHEET TITLE
LEVEL 5 FLOOR PLAN

SHEET NUMBER	REV:



NORTH



- Service Area
- Common Area
- One Bedroom Unit
- Two Bedroom Unit
- Three Bedroom Unit

NO.	DATE	DESCRIPTION
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SUB-CONSULTANT

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KEY PLAN

PROJECT TITLE
**7929&7949 Cambie St
 Vancouver BC**

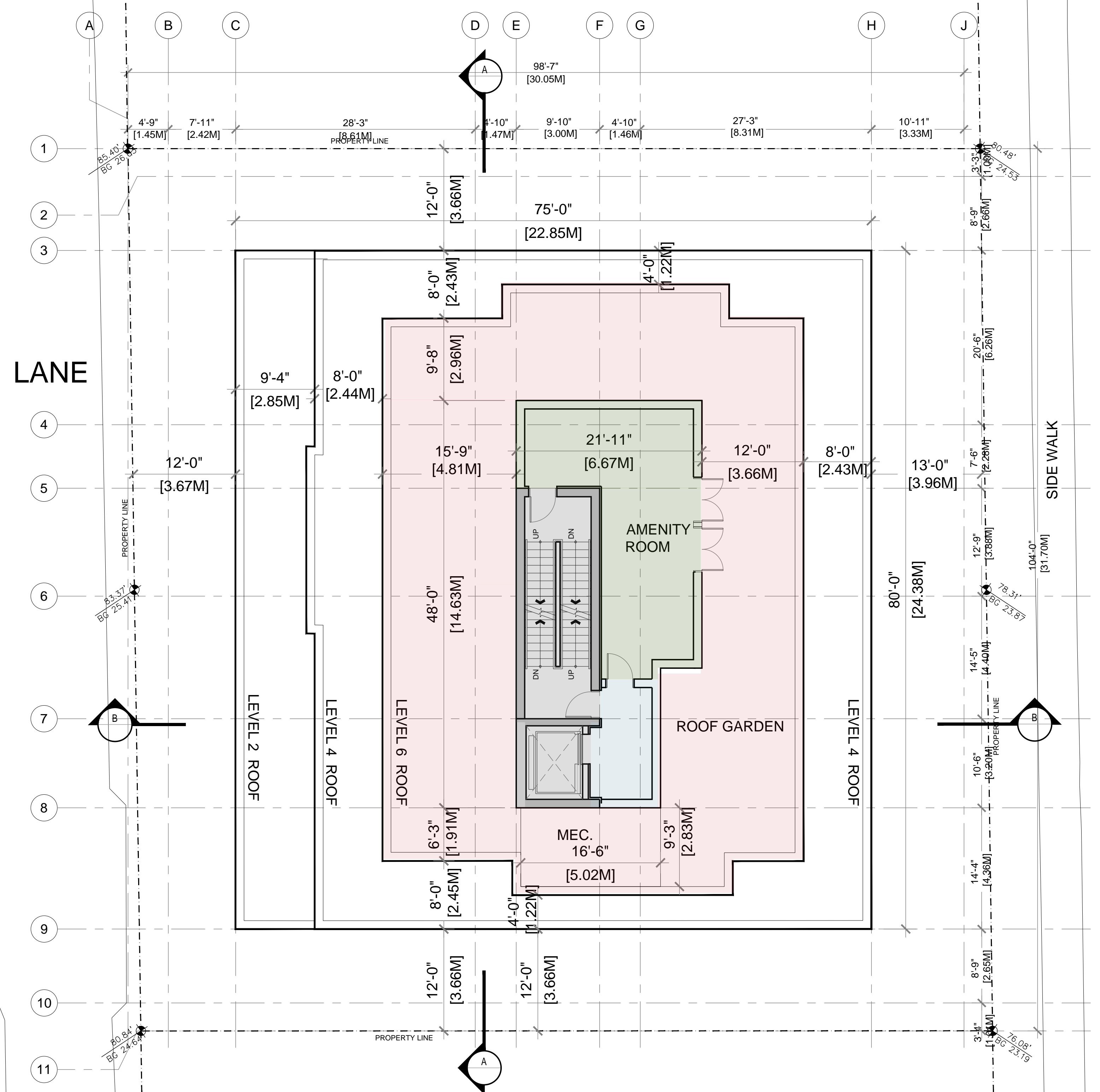
PROJECT NO: 81901
 DRAWN BY: MAX
 CHK'D BY: XINMAI
 SCALE: 1/8"=1'-0"
 DATE:

SHEET TITLE
LEVEL 6 FLOOR PLAN

SHEET NUMBER REV:



NORTH



- Service Area
- Common Area
- Amenity
- Roof Garden

NO.	DATE	DESCRIPTION
ISSUES		

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PROJECT TITLE

**7929&7949 Cambie St
Vancouver BC**

PROJECT NO: 81901

DRAWN BY: MAX

CHK'D BY: XINMAI

SCALE: 1/8"=1'-0"

DATE:

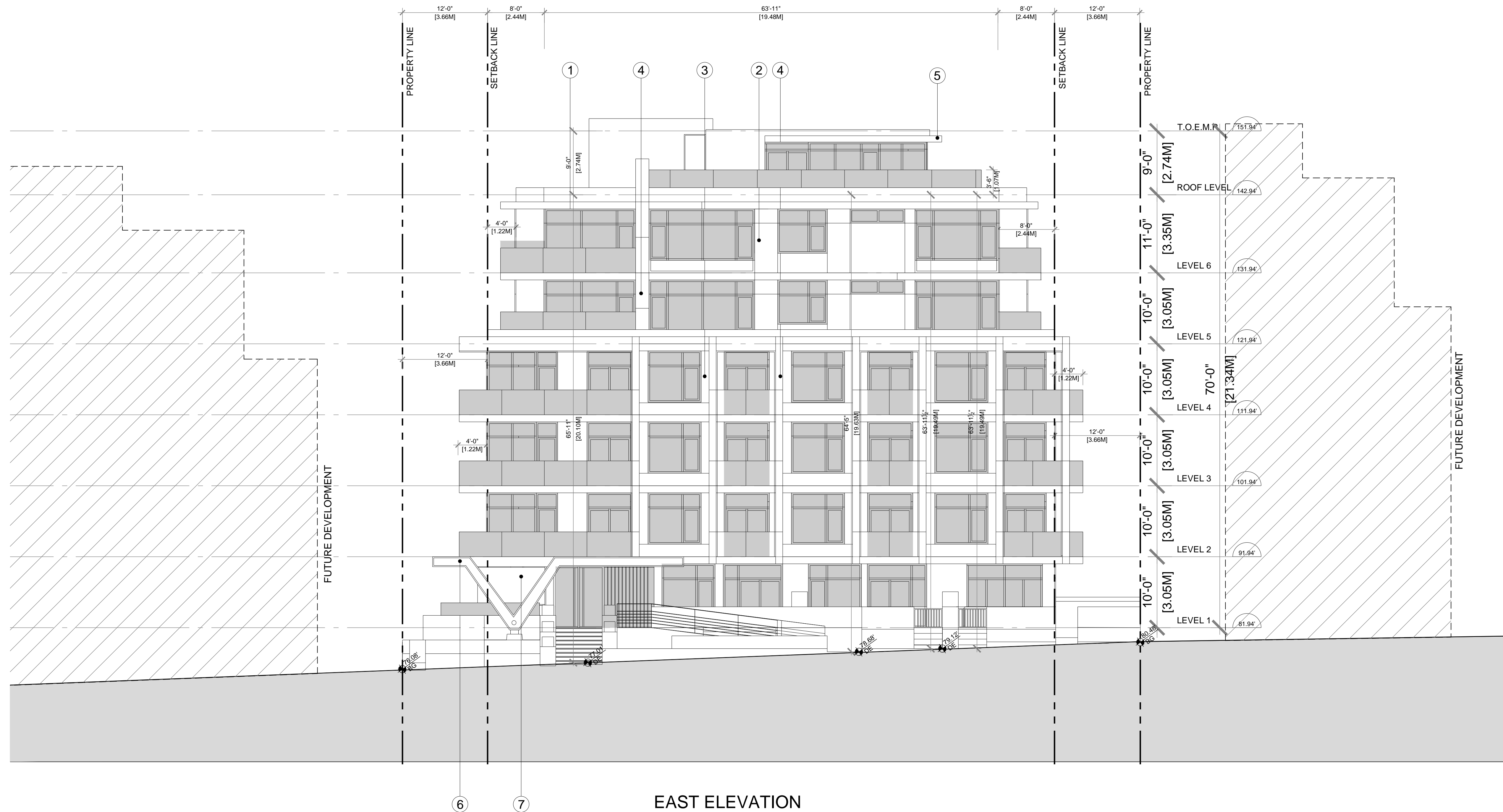
SHEET TITLE

ROOF PLAN

SHEET NUMBER

REV:

- 1 DOUBLE PANE WINDOW IN CLEAR GLASS
- 2 HARDIE BOARD(LIGHT GREY)
- 3 BRICK CLADDING (DARK GREY)
- 4 METAL PANEL (WHITE)
- 5 METAL CANOPY
- 6 WOOD CANOPY
- 7 NATURE STONE



EAST ELEVATION

NO.	DATE	DESCRIPTION
ISSUES		

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KEY PLAN

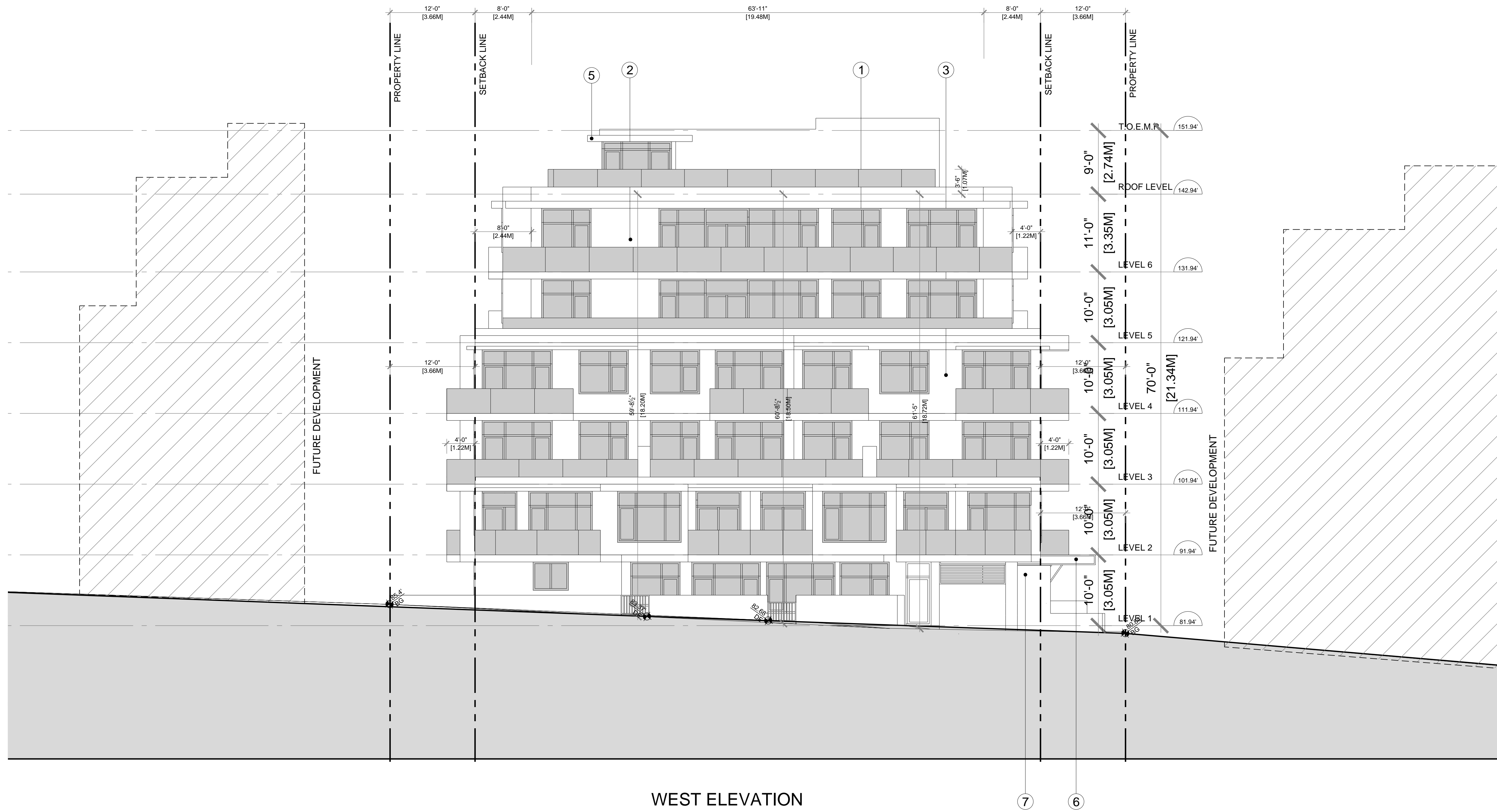
PROJECT TITLE
**7929&7949 Cambie St
 Vancouver BC**

PROJECT NO: 81901
 DRAWN BY: MAX
 CHK'D BY: XINMAI
 SCALE: 1/8"=1'-0"
 DATE:

SHEET TITLE
EAST ELEVATION

SHEET NUMBER REV:

- 1 DOUBLE PANE WINDOW IN CLEAR GLASS
- 2 HARDIE BOARD(LIGHT GREY)
- 3 BRICK CLADDING (DARK GREY)
- 4 METAL PANEL (WHITE)
- 5 METAL CANOPY
- 6 WOOD CANOPY
- 7 NATURE STONE



WEST ELEVATION

NO.	DATE	DESCRIPTION
ISSUES		

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KEY PLAN

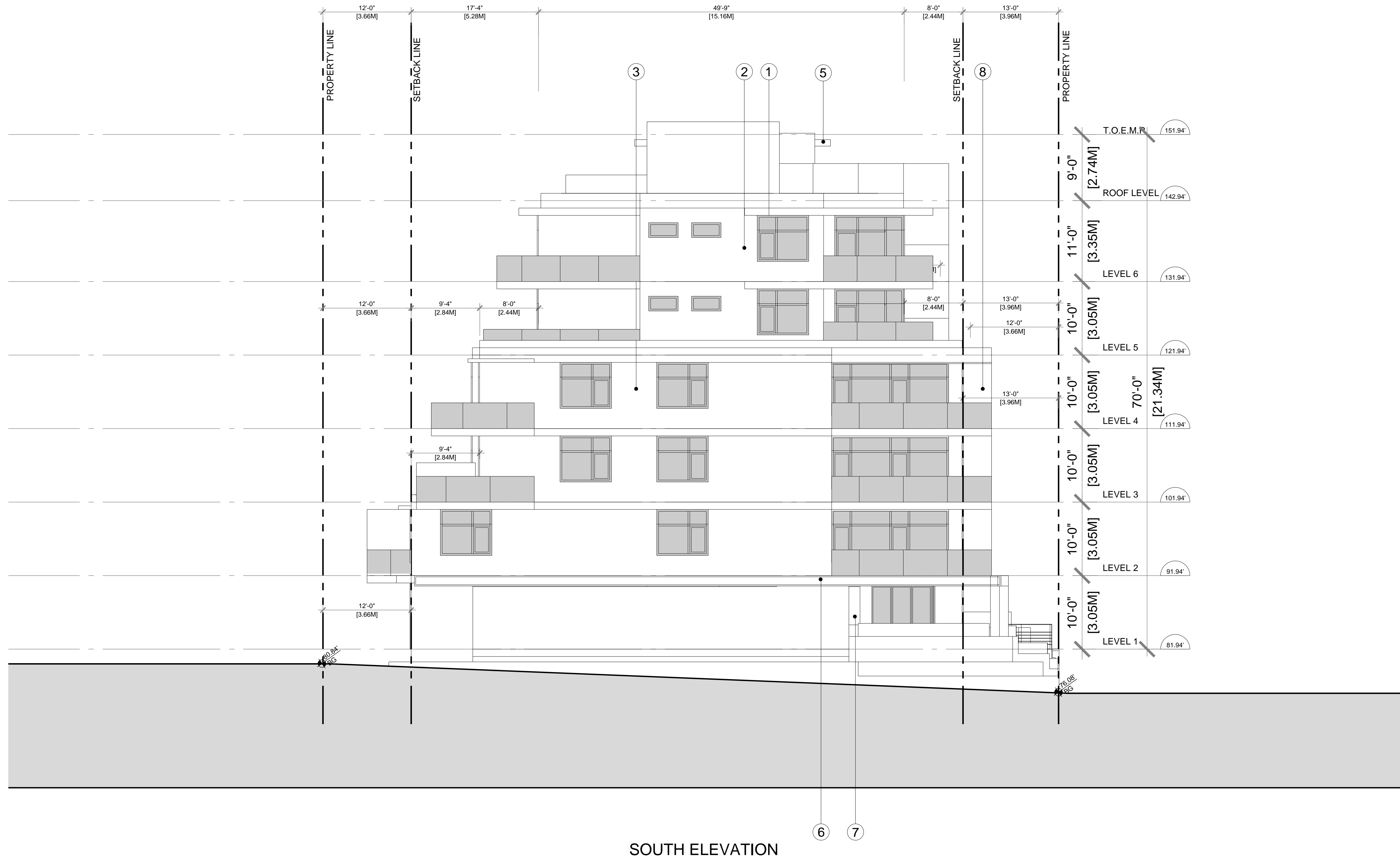
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**7929&7949 Cambie St
 Vancouver BC**

PROJECT NO: 81901
 DRAWN BY: MAX
 CHK'D BY: XINMAI
 SCALE: 1/8"=1'-0"
 DATE:

SHEET TITLE
WEST ELEVATION

SHEET NUMBER REV:

- 1 DOUBLE PANE WINDOW IN CLEAR GLASS
- 2 HARDIE BOARD(LIGHT GREY)
- 3 BRICK CLADDING (DARK GREY)
- 4 METAL PANEL (WHITE)
- 5 METAL CANOPY
- 6 WOOD CANOPY
- 7 NATURE STONE
- 8 METAL CLADDING(WOOD COLOUR)



SOUTH ELEVATION

NO.	DATE	DESCRIPTION
ISSUES		

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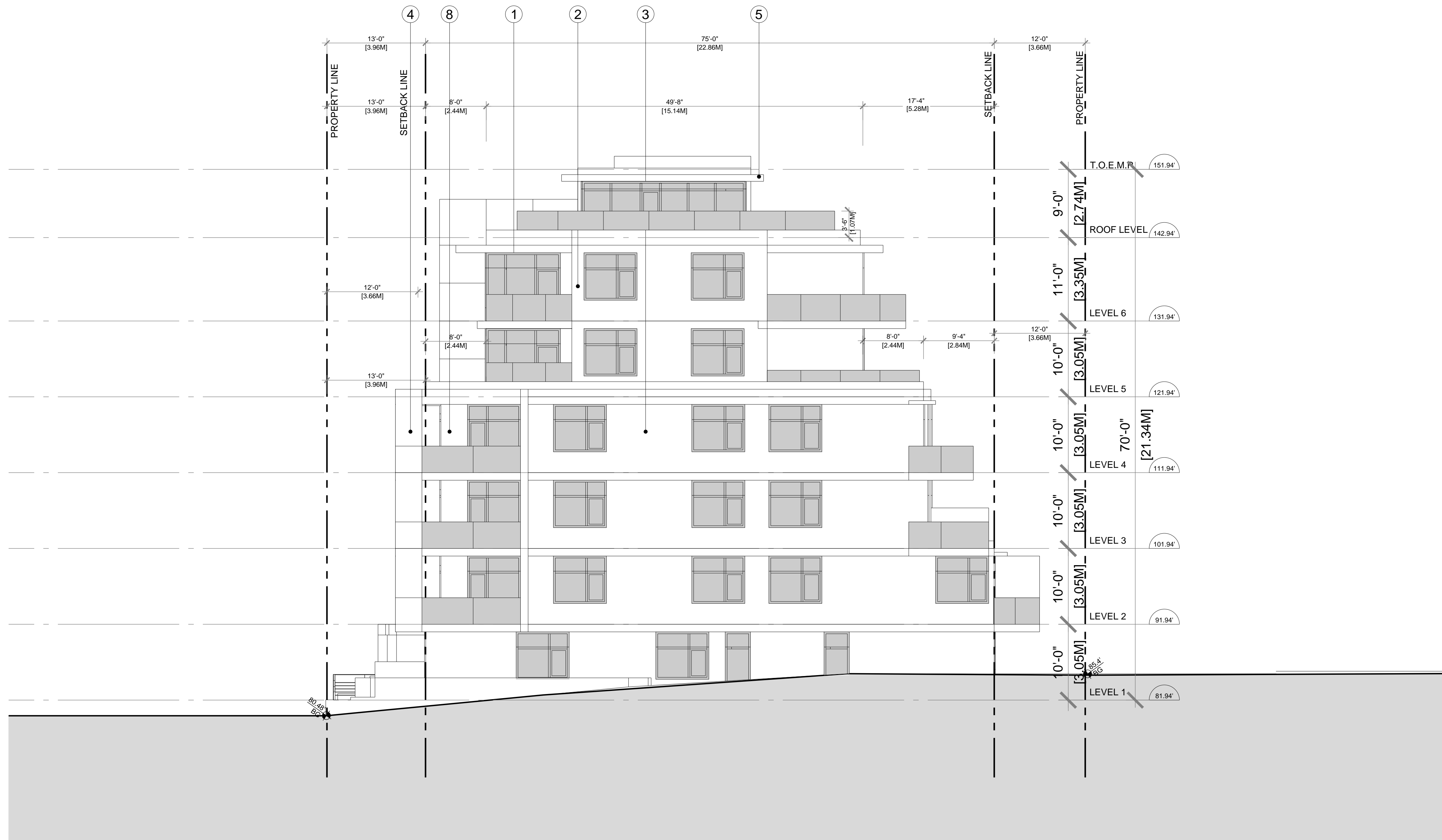
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**7929&7949 Cambie St
 Vancouver BC**

PROJECT NO: 81901
 DRAWN BY: MAX
 CHK'D BY: XINMAI
 SCALE: 1/8"=1'-0"
 DATE:

SHEET TITLE
SOUTH ELEVATION

SHEET NUMBER REV:

- 1 DOUBLE PANE WINDOW IN CLEAR GLASS
- 2 HARDIE BOARD(LIGHT GREY)
- 3 BRICK CLADDING (DARK GREY)
- 4 METAL PANEL (WHITE)
- 5 METAL CANOPY
- 6 WOOD CANOPY
- 7 NATURE STONE
- 8 METAI CLADDING(WOOD COLOUR)



NORTH ELEVATION

NO.	DATE	DESCRIPTION
ISSUES		

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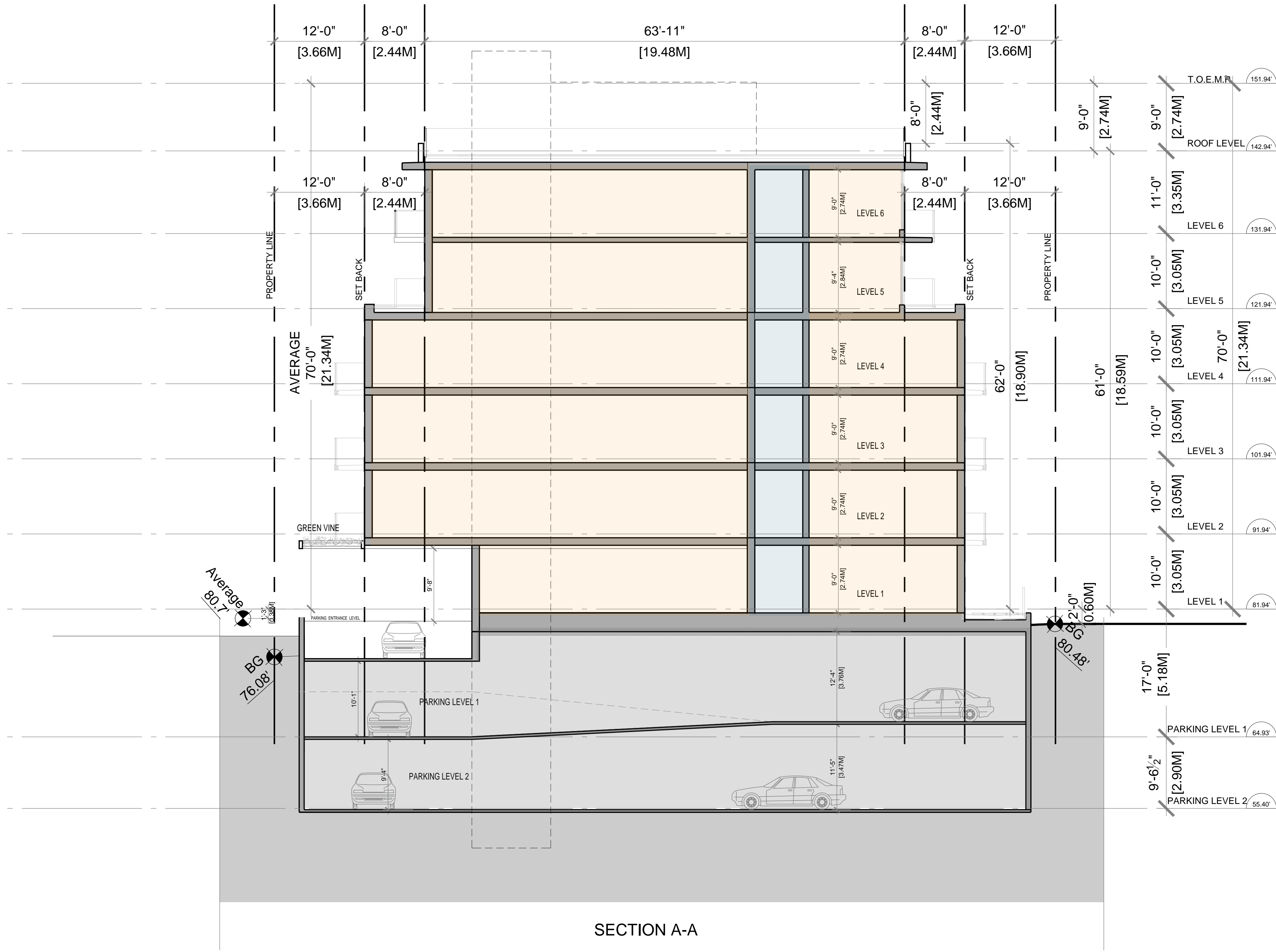
KEY PLAN

PROJECT TITLE
**7929&7949 Cambie St
 Vancouver BC**

PROJECT NO: 81901
 DRAWN BY: MAX
 CHK'D BY: XINMAI
 SCALE: 1/8"=1'-0"
 DATE:

SHEET TITLE
NORTH ELEVATION

SHEET NUMBER REV:



- Service Area
- Common Area
- Units

NO.	DATE	DESCRIPTION
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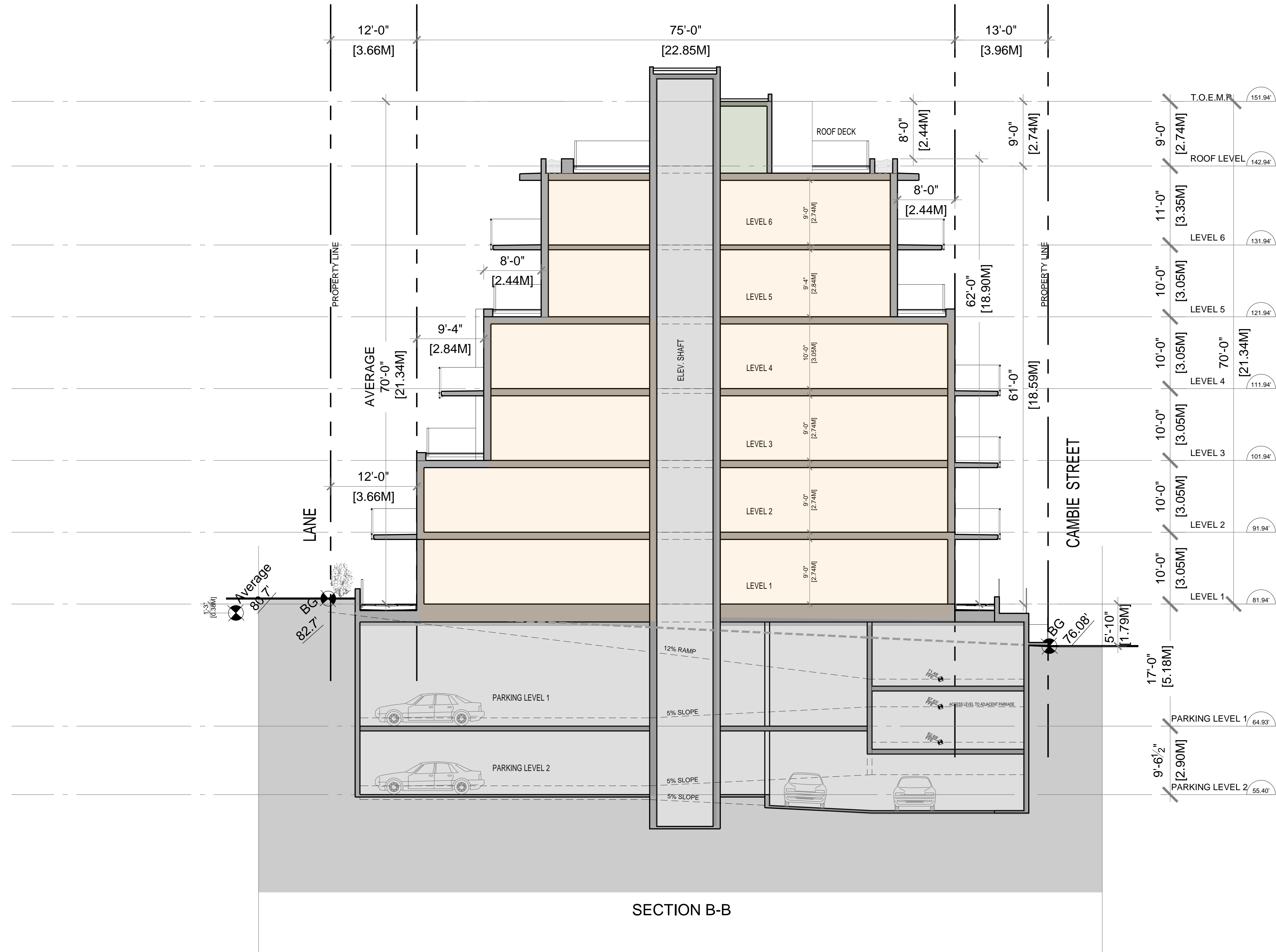
KEY PLAN

PROJECT TITLE
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 Vancouver BC**

PROJECT NO: 81901
 DRAWN BY: MAX
 CHK'D BY: XINMAI
 SCALE: 1/8"=1'-0"
 DATE:

SHEET TITLE
SECTION A-A

SHEET NUMBER REV:



SECTION B-B

- Service Area
- Common Area
- Units
- Amenity

NO.	DATE	DESCRIPTION
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 SCALE: 1/8"=1'-0"
 DATE:

SHEET TITLE
SECTION B-B

SHEET NUMBER REV:



PERSPECTIVE AT CAMBIE STREET

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NO.	DATE	DESCRIPTION
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PROJECT TITLE
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PROJECT NO: 81901
DRAWN BY: MAX
CHK'D BY: XINMAI
SCALE:
DATE:

SHEET TITLE
PERSPECTIVES

SHEET NUMBER	REV:
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AREAL PERSPECTIVE AT CAMBIE STREET

NO.	DATE	DESCRIPTION
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PROJECT TITLE
**7929&7949 Cambie St
 Vancouver BC**

PROJECT NO: 81901
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 CHK'D BY: XINMAI
 SCALE:
 DATE:

SHEET TITLE
PERSPECTIVES

SHEET NUMBER REV:



AREAL PERSPECTIVE AT LANE

NO.	DATE	DESCRIPTION
ISSUES		

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PROJECT TITLE
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 Vancouver BC**

PROJECT NO.: 81901
 DRAWN BY: MAX
 CHK'D BY: XINMAI
 SCALE:
 DATE:

SHEET TITLE
PERSPECTIVES

SHEET NUMBER REV:



AREAL PERSPECTIVE AT CAMBIE LANE

NO.	DATE	DESCRIPTION
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PROJECT TITLE
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PROJECT NO: 81901
 DRAWN BY: MAX
 CHK'D BY: XINMAI
 SCALE:
 DATE:

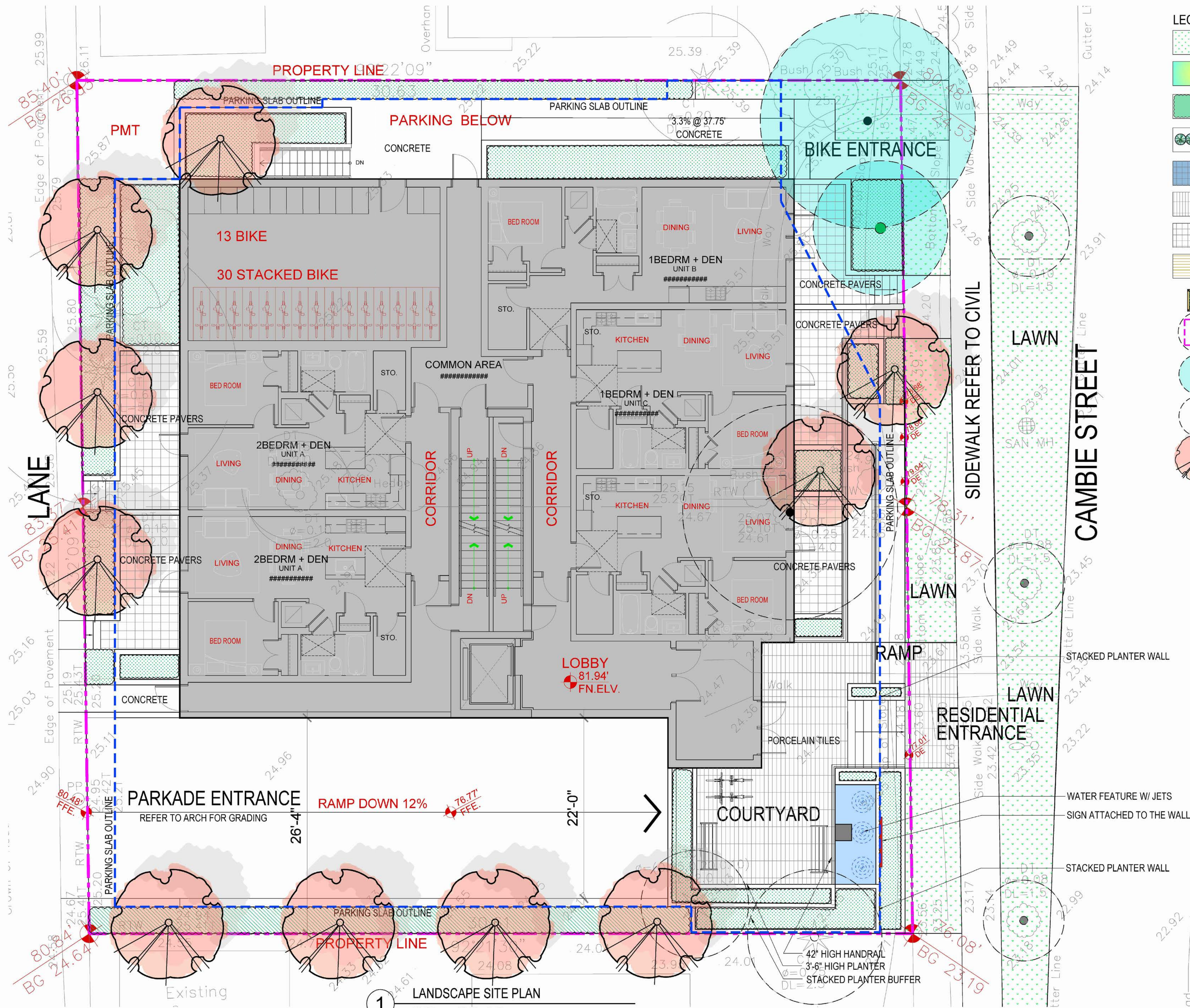
SHEET TITLE
PERSPECTIVES

SHEET NUMBER REV:



AREAL PERSPECTIVE AT CAMBIE STREET

NO.			DATE			DESCRIPTION		
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<p>MAIN CONSULTANT</p> <div style="display: flex; align-items: center;"> <div style="font-size: 8px;"> <p>GUD Group 800-538 West Hastings Street Vancouver, BC, V6C 2A6 tel: 604-806-0288 fax: 604-806-0280</p> </div> </div>								
SUB-CONSULTANT								
SUB-CONSULTANT								
KEY PLAN								
<p>PROJECT TITLE</p> <p>7929&7949 Cambie St Vancouver BC</p>								
PROJECT NO: 81901			DRAWN BY: MAX			CHK'D BY: XINMAI		
SCALE:			DATE:					
SHEET TITLE								
PERSPECTIVES								
SHEET NUMBER						REV:		



- LEGEND:**
- SODDED LAWN
 - EXTENSIVE GREEN ROOF
 - NEW LAYERED PLANTING
 - 1.5M HIGH HEDGE BUFFER
 - RUBBER TILE
 - PORCELAIN TILES TBD
 - CONCRETE PAVERS ABBOTSFORD CONCRETE - STANDARD SERIES DOUBLE STANDARD 225MM X 225MM X 60MM (THICK) COLOR: NATURAL, RUNNING BOND PATTERN
 - COMPOSITE DECK
 - URBAN AGRICULTURE VEGE PLANTER
 - EXISTING TREE TO RETAIN WITH TREE PROTECTION FENCE
 - EXISTING TREE TO REMOVE
 - EXISTING TREE TO REMOVE
 - NEW TREES

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 太平洋皇家园林设计有限公司
 www.royalpl.com
 604-338-5035
 lu@royalpl.com

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 SCALE 3 / 16" = 1' - 0"

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NO.	DATE	DESCRIPTION
ISSUES		

REVISIONS	DATE
1	

ISSUES	DATE
8	
7	
6	
5	
4	
3	
2	
1	ISSUED FOR REZONING 2020.12.01

PROJECT NUMBER	LF29
DRAWN BY	LX
CHECKED BY	LX
DATE CHECKED	
CONSULTANT	

MULTIFAMILY
 7929-7949 CAMBIE ST
 Vancouver, BC


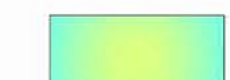

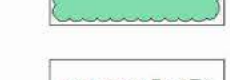




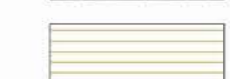
LANDSCAPE SITE PLAN

PROJECT NO:	61901
DRAWN BY:	MAX
CHK'D BY:	XINMAI
SCALE:	
DATE:	

L1.2
 LANDSCAPE SITE PLAN

SHEET NUMBER	REV:

LEGEND:

-  SODDED LAWN
-  EXTENSIVE GREEN ROOF
-  NEW LAYERED PLANTING
-  1.5M HIGH HEDGE BUFFER
-  RUBBER TILE
-  PORCELAIN TILES
TBD
-  CONCRETE PAVERS
ABBOTSFORD CONCRETE - STANDARD SERIES
DOUBLE STANDARD 225MM X 225MM X 60MM (THICK)
COLOR: NATURAL, RUNNING BOND PATTERN
-  COMPOSITE DECK
-  URBAN AGRICULTURE VEGE PLANTER



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REVISIONS	DATE
1	

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ISSUES	DATE
8	
7	
6	
5	
4	
3	
2	
1	ISSUED FOR REZONING 2020.12.01

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SUB-CONSULTANT

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KEY PLAN

PROJECT
MULTIFAMILY
7929-7949 CAMBIE ST
Vancouver, BC

DRAWING TITLE
LANDSCAPE
LEVEL 3 & 5

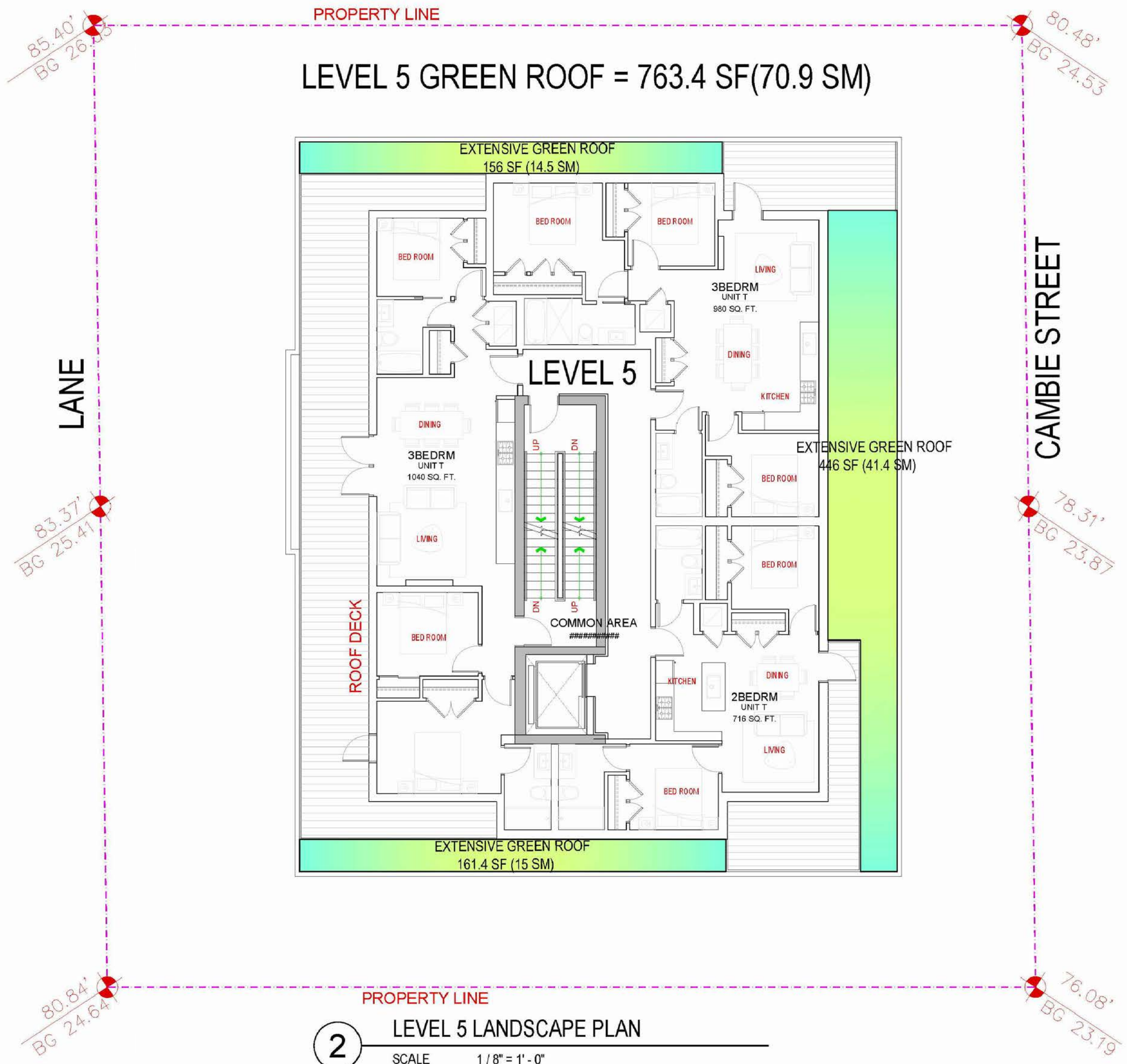
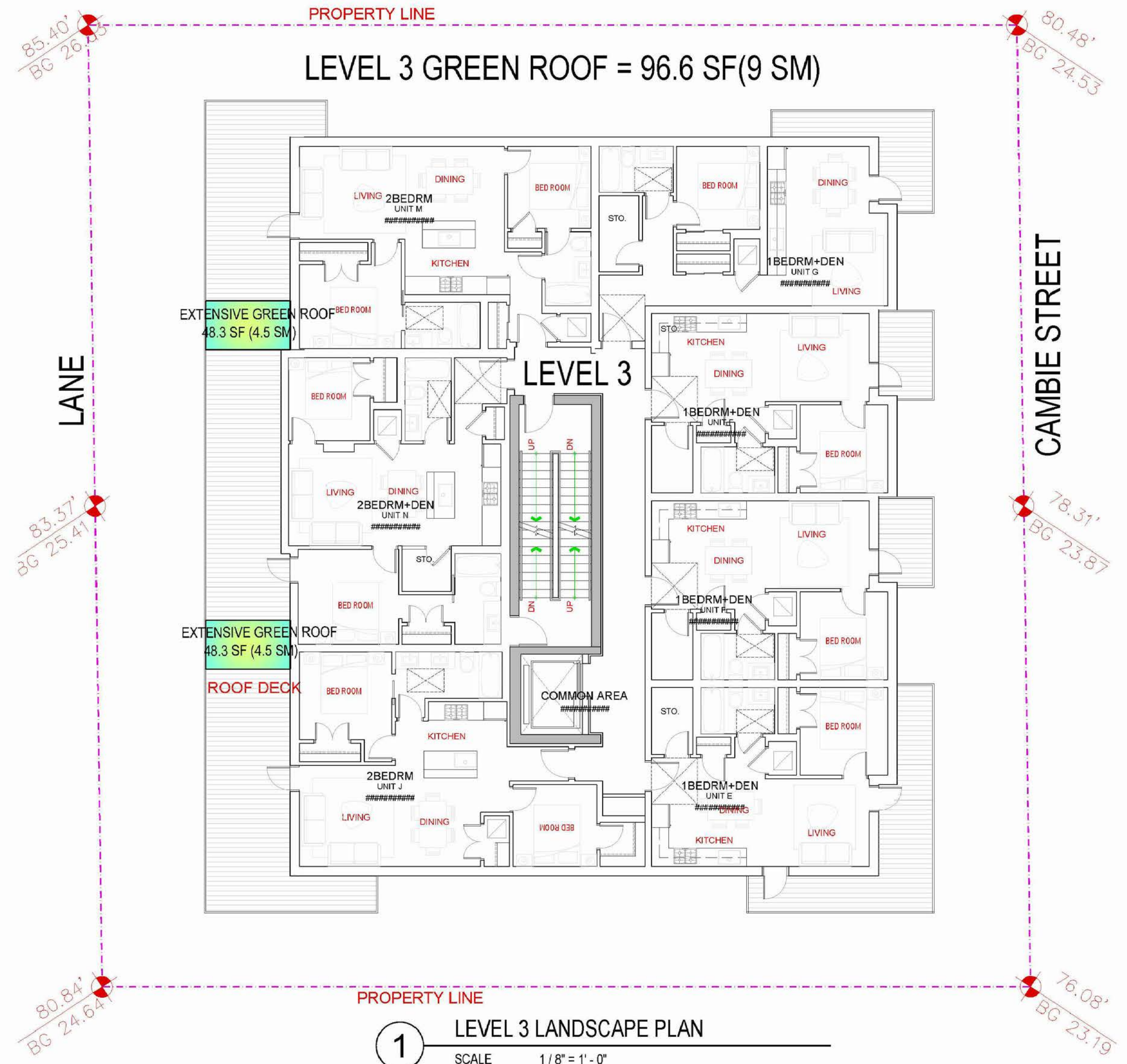
DRAWING No.
L2

PROJECT TITLE
7929&7949 Cambie St
Vancouver BC

PROJECT NO: 81901
DRAWN BY: MAX
CHK'D BY: XINMAI
SCALE:
DATE:

SHEET TITLE
LANDSCAPE
LEVEL 3&5

SHEET NUMBER	REV:
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1 LEVEL 3 LANDSCAPE PLAN
SCALE 1/8" = 1'-0"

2 LEVEL 5 LANDSCAPE PLAN
SCALE 1/8" = 1'-0"

