



VESTA - VSTA

2929 COMMERCIAL DRIVE | VANCOUVER, BC

REZONING APPLICATION
NOVEMBER 20, 2020

VESTA - VSTA MIXED-USE

2929 COMMERCIAL DRIVE | VANCOUVER, BC



PROJECT TEAM

OWNER
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SCHOOL TEACHERS' ASSOCIATION

VANCOUVER SECONDARY
TEACHERS' ASSOCIATION

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DRAWING LIST

ARCHITECTURAL DRAWINGS		
A0.01	INFORMATION SHEET	
A0.02	PROJECT STATISTICS	NTS
A0.03	DESIGN RATIONALE	NTS
A0.04	DESIGN RATIONALE	NTS
A0.05	DESIGN RATIONALE - LANDSCAPE	NTS
A0.06	DESIGN RATIONALE - SUSTAINABILITY	NTS
A0.07	DESIGN RATIONALE	NTS
A0.08	DESIGN RATIONALE - VIEW CONE	NTS
A0.09	PERSPECTIVES	NTS
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A0.11	SHADOW STUDY	NTS
A0.12	URBAN CONTEXT	NTS
LANDSCAPE DRAWINGS		
L0.0	CONTEXT LAYOUT PLAN	1:150
L1.0	LAYOUT PLAN LEVEL 1 & 2	1:100
L1.1	GRADING PLAN LEVEL 1 & 2	1:100
L2.0	LAYOUT PLAN LEVEL 3	1:100
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L5.0	ILLUSTRATIVE SECTION	AS SHOWN
L5.1	LANDSCAPE PRECEDENT IMAGES	NTS
AREA OVERLAYS		
A2.02a	FLOOR PLAN LEVEL 01 AND PARKING 01	1/8" = 1'-0"
A2.03a	FLOOR PLAN LEVEL 02	1/8" = 1'-0"
A2.04a	FLOOR PLAN LEVEL 03	1/8" = 1'-0"
A2.05a	FLOOR PLAN LEVEL 04-05	1/8" = 1'-0"
A2.06a	FLOOR PLAN LEVEL 06	1/8" = 1'-0"
A1.01	CONTEXT PLAN	NTS
A1.02	SURVEY PLAN	1/8" = 1'-0"
A1.03	SITE PLAN	1/8" = 1'-0"
A2.01	PARKING LEVEL 02	1/8" = 1'-0"
A2.02	FLOOR PLAN LEVEL 01 AND PARKING 01	1/8" = 1'-0"
A2.03	FLOOR PLAN LEVEL 02	1/8" = 1'-0"
A2.04	FLOOR PLAN LEVEL 03	1/8" = 1'-0"
A2.05	FLOOR PLAN LEVEL 04-05	1/8" = 1'-0"
A2.06	FLOOR PLAN LEVEL 06	1/8" = 1'-0"
A2.07	ROOF PLAN	
A2.08	EDUCATION AND TRAINING CENTRE	1/4" = 1'-0"
A2.09	VESTA/VSTA OFFICES	1/4" = 1'-0"
A2.10	UNIT PLANS	1/4" = 1'-0"
A2.11	UNIT PLANS	1/4" = 1'-0"
A3.01	NORTH ELEVATION	1/8" = 1'-0"
A3.02	EAST ELEVATION	1/8" = 1'-0"
A3.03	SOUTH ELEVATION	1/8" = 1'-0"
A3.04	WEST ELEVATION	1/8" = 1'-0"
A4.01	BUILDING SECTION - A	1/8" = 1'-0"
A4.02	BUILDING SECTION - B	1/8" = 1'-0"

PROJECT INFORMATION

CIVIC ADDRESS:	2929 COMMERCIAL DRIVE
LEGAL DESCRIPTION:	LOT 2 BLOCK 170 PLAN VAP14017 DISTRICT LOT 264A NWD MIXED-USE RESIDENTIAL/OFFICE/COMMERCIAL
PROJECT DESCRIPTION:	C-2C1
CURRENT ZONING:	CD-1
PROPOSED ZONING:	MIXED-USE
PROPOSED USE:	RESIDENTIAL/OFFICE/RETAIL

SITE AREA:	12,337 ft ² (1146.1 m ²)
SITE COVERAGE:	83% - 10,240 ft ² (951.3 m ²)
GROSS FLOOR AREA:	34,072.5 ft ² (3,165.4 m ²)
FLOOR SPACE RATIO:	2.65 (32,637.7 ft ²)

SETBACKS:	COMMERCIAL DRIVE:	2ft (0.6m)
	13TH AVENUE:	2ft (0.6m)
	WEST SIDE YARD:	3ft (0.9m)
	REAR LANE:	9ft (2.7m)

BUILDING HEIGHT:	61.5ft (18.75m)
STOREYS:	6 STOREYS

PARKING REQUIRED:	28 SPACES (By-Law)
	24 (with TDM Reduction)
PARKING PROVIDED:	24 SPACES

BIKE STORAGE REQUIRED:	52 CLASS-A
	2 CLASS-B
BIKE STORAGE PROVIDED:	52 CLASS-A
	6 CLASS-B

CLIENT
VESTA/VSTA

NO. | DATE | ISSUE
01 | 2020-11-20 | REZONING SUBMISSION

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PROJECT
VESTA/VSTA MIXED-USE

2929 Commercial Drive
Vancouver BC

PROJECT OVERVIEW

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PROJECT A219452
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SCALE NTS
DATE NOV 20, 2020



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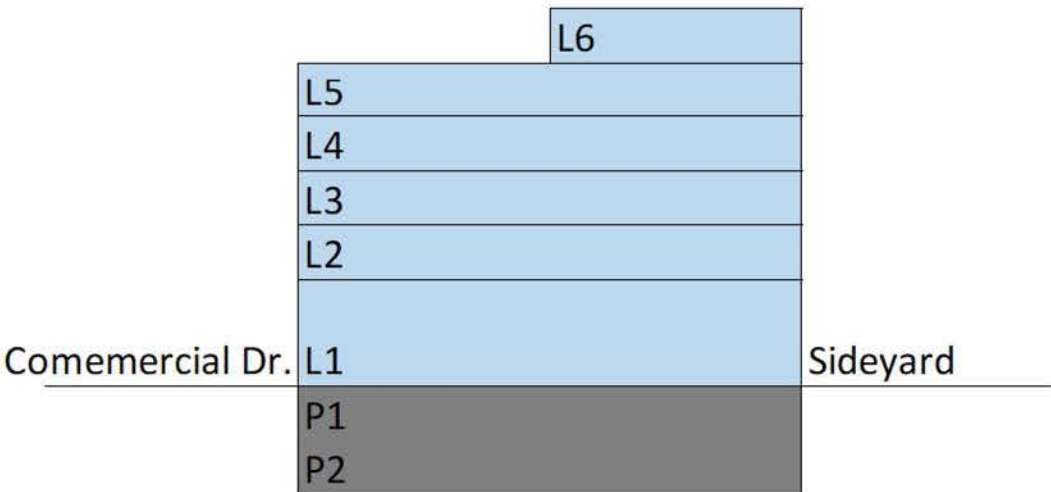
2929 COMMERCIAL DRIVE | VANCOUVER, BC

VESTA/VSTA - PROJECT STATISTICS														
2929 Commercial Drive														
										Existing Zone: C-2C1	Site AREA (ft²): 12,337	Existing F.S.R.:	n/a	
										Proposed Zone: CD-1		Proposed F.S.R.:	2.65	

AREA CALCULATION														
		EXCLUDABLE			CRU	Education and Training Centre	VESTA VSTA Offices	Residential	Total					
LEVEL	G.F.A (ft²)	STORAGE (ft²)	AMENITY (ft²)	UTILITY (ft²)	F.S.R. (ft²)	F.S.R. (ft²)	F.S.R. (ft²)	F.S.R. (ft²)	F.S.R. (ft²)	CIRCULATION (ft²)	BALCONIES (ft²)	NET (ft²)	EFFICIENCY	No. of Units
Level 1	1,999.6	0.0	0.0	0.0	1,504.9	0.0	0.0	494.7	1,999.6	494.7	0.0	1,504.9	75.26%	-
Level 2	9,055.8	0.0	0.0	0.0	0.0	5,699.3	3,421.3	156.4	9,277.0	420.9	0.0	8,634.9	95.35%	-
Level 3	7,264.8	314.8	0.0	0.0	0.0	0.0	0.0	6,950.0	6,950.0	1,010.2	95.4	6,254.6	86.09%	9
Level 4	7,264.8	314.8	0.0	0.0	0.0	0.0	0.0	6,950.0	6,950.0	1,010.2	657.0	6,254.6	86.09%	9
Level 5	7,264.8	314.8	0.0	0.0	0.0	0.0	0.0	6,950.0	6,950.0	1,010.2	657.0	6,254.6	86.09%	9
Level 6	1,222.7	0.0	711.5	0.0	0.0	0.0	0.0	511.1	511.1	511.1	0.0	-	-	0
TOTAL:	34,072.5	944.4	711.5	0.0	1,504.9	5,699.3	3,421.3	22,012.2	32,637.7	4,457.3	1,409.4	28,903.6	84.83%	27
4%														

SUMMARY	6 Levels
Units	27
Gross Floor Ar	34,072.5
FSR Area (ft²)	32,637.7
FSR	2.65

SETBACKS	
COMMERCIAL DRIVE	2ft (ground floor)
EAST 13TH AVENUE	2ft (ground floor)
REAR YARD (LANE)	9ft (residential only)
WEST SIDEYARD	5ft
COMMERCIAL DRIVE	
SIDEWALK WIDENING	18ft (ground floor)



UNIT MIX					
Unit Type	Unit Name	Total Unit Count	Indiv. Unit Count	Net Area (ft²)	Storage (ft²)
1-Bedroom	1-Bed A	21	6	509.3	37.0
	1-Bed B		3	508.2	37.0
	1-Bed C		3	564.5	39.9
	1-Bed D		3	530.8	34.2
	1-Bed E		3	511.9	38.9
	1-Bed F - ACC		3	686.8	33.4
2-Bedroom	2-Bed - G	6	3	801.3	30.8
	2-Bed - H		3	717.5	26.7

27

UNIT COUNT					
Site /Level	Studio	1-Bedroom	1-BED ACC	2-Bedroom	Total
Level 3	0	6	1	2	9
Level 4	0	6	1	2	9
Level 5	0	6	1	2	9
Level 6	0	0			0
TOTAL	0	18	3	6	27
%	0%	67%	11%	22%	100%

Note: Residential Net Area Measured to Inside Face of Studs - Excluding Storage Areas

PARKING SUMMARY				
USE	DENSITY	RATIO	STALLS	BYLAW
SECURED MARKET RES.	18 Units 1,030 sq.m.	1 per 125 sq.m	9	4.5B1
HILs 1-BED	7 Units	0.3 per unit	2	4.2.1.8
HILs 2-BED	2 Units	0.5 per Unit	1	4.2.1.8
RESIDENTIAL VISITOR	27 Units	0.05 per Unit	1	4.1.16
RESIDENTIAL PASENGER	27 Units	1 PER 50-125	0	7.2.1
OFFICE	850 sq.m.	Bylaw 4.2.5.1	14	4.2.5.1
RETAIL	128 sq.m.	Bylaw 4.2.5.1	1	4.2.5.1
TOTAL			28	

TRANSITY ACCESSIBILITY & TDM PARKING REDUCTIONS				
USE	TRANSIT REDUCTION	TDM REDUCTION	TOTAL REDUCTION	NEW REQUIREMENT
RESIDENTIAL	20%	0%	20%	10
RES. VISITOR	0%	0%	0%	1
OFFICE	10%	0%	10%	13
RETAIL	10%	0%	10%	1
TOTAL				25

PARKING PROVIDED					
Level	G.F.A. (ft²)	Regular Stalls	Small Car Stalls	Accessbile Stall	Total Stalls
P01	8084.5	6	0	1	7
P02	11266.3	15	0	2	17
Total Stalls	19350.8	21	0	3	25

NOTE: ONE ACCESSIBLE OF THE THREE TOTAL COUNT AS TWO STALLS TOWARDS THE TOTAL PARKING COUNT

BIKE STORAGE SUMMARY				
CLASS A BICYCLE STORAGE				
USE	DENSITY	RATIO	STORAGE	BYLAW
RESIDENTIAL <65 sq.m.	21	1.5 per unit	31.5	6.2.1.2
RES. 65 sq.m - 105 sq.m.	6	2.5 per unit	15.0	6.2.1.2
OFFICE	850 sq.m.	1 per 170 sq.m	5.0	6.2.4.1
RETAIL	128 sq.m.	1 per 340 sq.m	0.4	6.2.5.1
TOTAL REQUIRED			52	
TOTAL PROVIDED			52	

CLASS B BICYCLE STORAGE				
USE	DENSITY	RATIO	STORAGE	BYLAW
RESIDENTIAL	27	6.2.1.2	2.0	6.2.1.2
OFFICE	850 sq.m.	6.2.4.1	0.0	6.2.4.1
RETAIL	128 sq.m.	6.2.5.1	0.0	6.2.5.1
TOTAL REQUIRED			2	
TOTAL PROVIDED			6	

PROJECT

VESTA/VSTA MIXED-USE

2929 Commercial Drive
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DATE NOV 20, 2020



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PROJECT OVERVIEW

This site at 2929 Commercial Drive, currently zoned as C-2C1 is being considered for rezoning as Social Housing under the Kensington-Cedar Cottage Community Vision. The project seeks to redevelop the existing building and enhance the office and teacher training spaces while providing affordable housing to early career teachers.

VESTA - VSTA

VESTA: Vancouver Elementary School Teachers’ Association

VSTA: Vancouver Secondary Teachers’ Association

INTENT OF REZONING

This site at 2929 Commercial Drive, currently zoned as C-2C1 is being considered for rezoning as Social Housing under the Kensington - Cedar Cottage Community Vision. We propose to rezone the property to:

- construct a six-storey mixed-use building
- with the principal purpose of providing **9,120.6 ft²** of administration offices and teacher training spaces for VESTA VSTA (Vancouver Elementary School Teacher's Association and the Vancouver Secondary Teachers Association). While these are described as being located on the second floor owing to the steeply sloping site, there is a level entry off of Commercial Drive.
- The upper three storeys will provide 27 secured low end of market rental housing units where a minimum of the residential units will meet HILS rates. A **711.5 ft²** amenity space with roof deck is located on level 6
- the portion of the first floor fronting onto East 13th Avenue will provide a **1504.9 ft²** Commercial Retail Unit (CRU). The remainder of that frontage is utilized for the residential entry and the access to the underground parking and loading. Due to the steeply sloping grades on the site, the southern half of the first floor is below grade forming part of the parking structure

REZONING RATIONALE STATEMENT

The rezoning is required to provide additional height and make adjustments to the project's setbacks. The additional height is needed in support of providing much needed housing for teachers new to the profession who struggle with the cost of living and working in Vancouver.

HISTORY

The VESTA/VSTA Building was jointly purchased by the two Associations on July 31, 1989. At the time, the building housed a bingo hall. The proposal for purchase that the leadership of the two Associations presented to their respective memberships was based on ownership as a defense against rising rental rates and as a means of building equity. The prospect of acquiring a building with meeting rooms to facilitate association business and professional development sessions was an important element of the proposal. The vision articulated by the original proponents has been borne out. The associations have acquired equity and the meeting spaces are heavily

used for association business and professional development. We have also been able to provide meeting venues to community groups and outside organizations whose values and purposes align with our own.

ORGANIZATION AND WORKS WITH ASSOCIATIONS

The two associations are locals of the British Columbia Teachers' Federation (BCTF). In-House-Table-Officers (IHTOs), filling the roles of Presidents and Vice-Presidents, are elected annually. Both associations have an Executive Committee which serves as the association's Board of Directors. The work of the associations includes direct member support, representing their memberships at the District level in discussions related to their shared Collective Agreement, representing their members in discussions related to District policy and initiatives, supporting the professional development of their members, and representing their memberships to the BCTF. While direct member support and representation regarding the Collective Agreement are largely the purview of the IHTOs, both associations rely on a variety of standing and ad hoc committees to accomplish much of their work.

Including IHTOs, administrative staff, and support staff, the offices house approximately 13 full-time employees.

OUR CURRENT SPACE AND CURRENT USE

Including IHTOs, administrative staff, and support staff, the offices house approximately 13 full-time employees. Our space in the building includes offices or workstations for the in-house staff, and three meeting rooms: one with a capacity of 45, another with a capacity of 25, and an interior office converted to a meeting space with a capacity of 6. On a busy day, all these spaces are in use. The current meeting spaces are not sufficient to meet current needs. The rooms are heavily booked and the largest is not large enough for some regularly scheduled meetings - frequently arrangements are needed for a space off-site. The remainder of the building is a combination of retail and office leased space. Purchase of the property depended on the revenue generated by these leases.

OUR HOPES FOR THE FUTURE

Commencing in 2011, working with consultants and through dialogue with the organization members, two priorities have been identified for redeveloping the property:

1. Expanded and enhanced meeting space and...
2. Rental housing that is affordable to teachers.

The first priority has been informed by the demands that the group is currently experiencing in the existing space; the second, by discussions that were had with the members and by two membership surveys related to housing and other matters affecting recruitment and retention. While we anticipate needing to include some market rentals

to make the project financially viable, we will provide at least 30% of the units at HILs rates. The inclusion of some retail space was both the result of a steeply sloping site and to provide some additional financial stability.

SITE DESCRIPTION AND CONTEXT

Under Council's affordable housing initiatives, sites like this corner C2C1 property are able to be developed to six storeys with it's position on a major thoroughfare. The project is within a 5 minute walk to the Commercial Drive/Broadway transit hub.

Situated at the south west corner of Commercial Drive and E. 13th Avenue, the 101.08 ft by 122.05 ft site is relatively flat on E. 13th Avenue. By contrast, Commercial Drive rises 13 feet from E. 13th Avenue south up to the lane posing a challenge to at-grade retail. The lane along the south property line is relatively flat.



The existing building was built out to the property lines on three sides and within 3 feet of the west property line. The fronting sidewalks are narrow. There is only one street tree. It is on Commercial Drive near E. 13th Avenue. There are no other trees or landscape features.

One and two-storey mixed-use buildings face onto Commercial Drive on a portion of the block south of the adjoining lane. One block further south of the 2900 block is Clark Park. A recently developed, four-storey mixed-use building is situated on the north side of East 13th Avenue fronting on to Commercial Drive. West of the project site is a neighbourhood of RT-5 duplex residential buildings. The project's western neighbour is a three-story duplex.

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MASSING AND BUILDING ORGANIZATION

PRIMARY PROGRAM

The VESTA/VSTA component of the project comprises all of level two and features two distinct spaces. As noted above, the Associations have a wide range of committee work and a teacher training component. They require flexible meeting areas that can host large meetings or a committee meeting with just two or three people. A medium sized room of 830 ft² is positioned in the south east corner of level two. It can be divided into two rooms. There is a meeting area in the south west corner that is 1,460 ft². It can be divided into three rooms. There are also two small classrooms on this level on the east side. One is at 245 ft² while the other is at 175 ft².

Part of the main public access, a level entry directly off Commercial Drive, there are a reception area and an administrative support office for the teacher training area.



LEVEL 02 FLOOR PLAN VESTA/VSTA PROGRAM

The main administration offices are located a half level above the teacher training area. When there are evening meetings in the teacher training area, the offices can be locked off and kept private. The teacher training component has a total area of 5,755 ft² while the administration office has an area of 3,400 ft². The VESTA/VSTA offices are serviced by a Class 'B' loading stall that runs parallel to the lane. With a 3.75' grade difference between the lane and the teacher training centre, there is a small lift to assist in bringing goods in from the loading area.

There are three full residential floors above the VESTA/VSTA Training Centre and Offices that have 9 units per floor with two 2-bedroom units and seven 1-bedroom suites. The upper floor is a partial floor due to a view cone. The sixth level is devoted to an amenity space and roof deck.



VIEW FROM ABOVE Looking Southwest

With a severe drop of close to a storey and a half, there is an envelope of floor area available on the north east corner of the project for a 1504.9 ft² CRU space. The remainder of the frontage features the main residential entry and a vehicle crossing in the same location as the existing building.

The CRU is served by two Class 'A' Loading stalls in the first level of the parkade with a small lift to deal with the 6 ft-6 in level change.

PUBLIC BENEFITS

The importance of affordable housing in Vancouver is at its peak. The City needs people to make Vancouver their home and to help build a thriving, sustainable future for themselves, their families, and their neighbours. This project seeks to provide priority housing for teachers hoping to be a part of the long-term growth of Vancouver. The proposed development is providing at a minimum 30% HILs units and will directly contribute to the City's 10-year affordable housing strategy.

WESTERN NEIGHBOURS

As the project evolved, a key area of the discussions with Planning concerned the physical relationship between the VESTA/VSTA project and the duplex neighbours in the adjacent RT-5 zone.

Level 1 Setback: The at-grade relationship was governed by a direct discussion with the two adjacent neighbouring families. Unbeknownst to both parties, the duplex owners had incorporated a three-foot strip of the teacher's land running parallel to the 2929 Commercial Drive property line into their side yard. While the access rights are still to be concluded, the teachers have agreed to maintain the existing 3' setback. To screen the partially visible solid concrete wall enclosing the north end of the parkade entry ramp and screen the decks adjacent to the administration offices and the teacher training area, the project is proposing to provide trellis columns with cables to facilitate greening the west wall. By using climbing plants, the neighbours will still have some portion of the 3' setback for their use.

Level 2 Setback: The second floor is setback from the parkade wall by a further 7' providing a full 10' setback from the western property line.

Level 3, 4, and 5 Setback: A further 15' setback is provided for a 25' setback (with balconies cantilevering 5' into the rear yard).

Level 6: The amenity area's west walls are setback an additional 5' giving a total 30' setback.



VIEW FROM ABOVE LANDSCAPE SCREENING TO NEIGHBOUR



WEST ELEVATION LANDSCAPE SCREENING TO NEIGHBOUR

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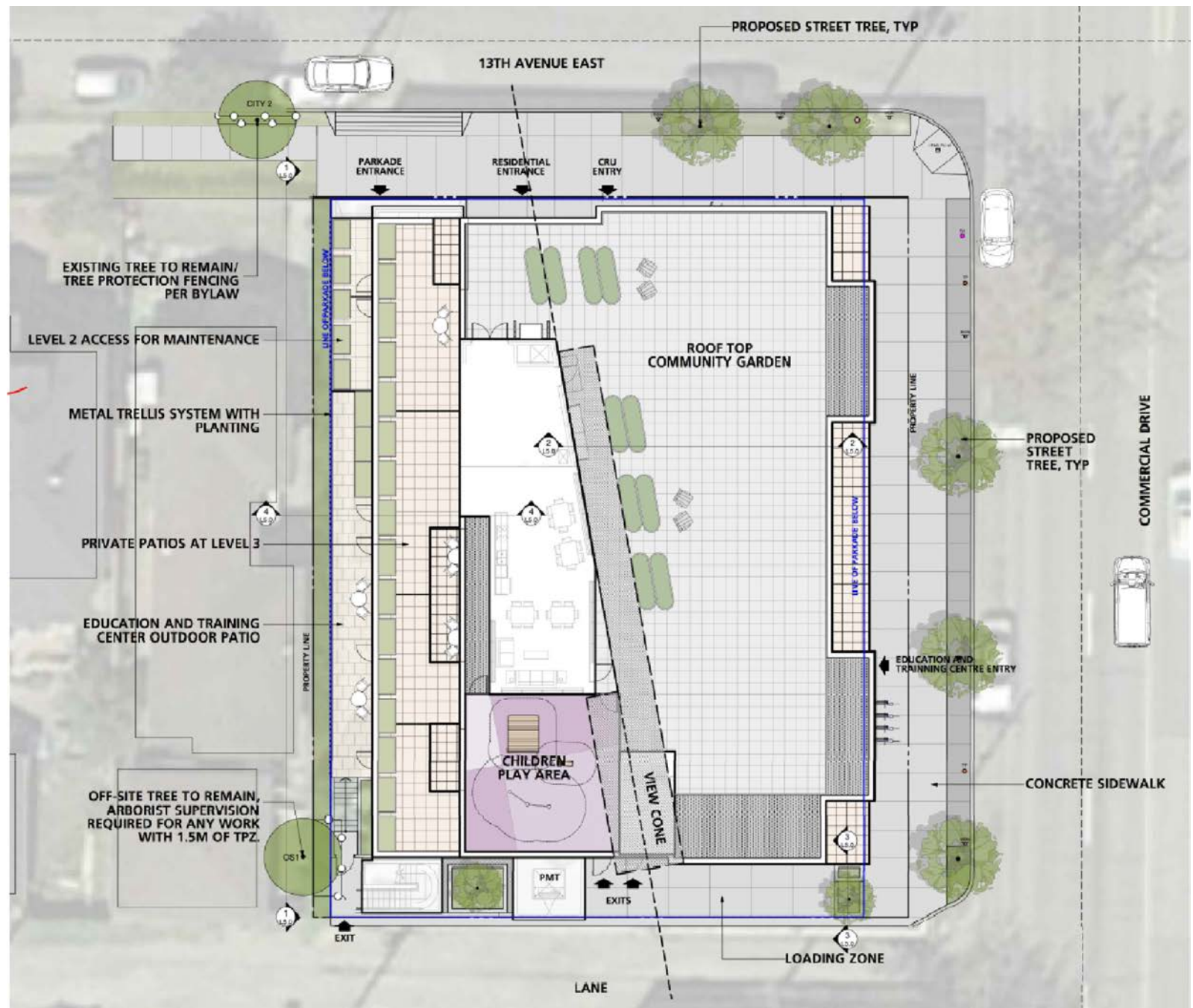
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LANDSCAPE RATIONALE



LANDSCAPE PLAN

PREAMBLE

The landscape design for the proposed mid-rise mixed-use VESTA/VSTA project on Commercial Drive in the City of Vancouver is intended to be clean, modern, functional and sustainable.

Design initiatives recognize the contextual surroundings of the neighbourhood including the Commercial Drive retail streetscape and 13th Avenue single family housing to the west. Design initiatives also recognize and respond to a protected City view corridor.

The landscape design will be a good fit, it will support the architectural aesthetic of the proposed VESTA/VSTA mixed-use building and it will contribute to the character of the emerging neighbourhood. Landscape design at-the street will be urban in character. It will enhance and support at-grade retail activities and soften the transition to neighbouring properties.

COMMERCIAL DRIVE STREETSCAPE (east face of building)

Commercial Drive slopes upwards from 13th Avenue towards the south. At the north end of the building is a single CRU that will provide interest and animation to the streetscape. A carefully scaled mid-block office entrance will provide access to the Education and Training Centre.

Hardscape treatment along Commercial Drive streetscape will be to City standards with a broom finish concrete surface and an exposed aggregate finish utility strip at the curb. The usable walking surface

stretches across the property line to the building face setback providing a more generous streetscape. One existing street tree at the curb will be retained and supplemented with 3 additional street trees across the face of the building, providing shade and scale. Convenient visitor bicycle parking stalls will be provided adjacent to the office entrance.

Particular attention has been paid to screening the loading area at the lane from Commercial Drive. Stepped planters soften the transition to the lane while providing a physical buffer to the Class-B loading space.

13TH AVENUE STREETSCAPE (north face of building)

The 13th Avenue streetscape treatment extends across the north face of the project. The corner CRU entrance and the residential lobby entrance will animate the street as it turns the corner from Commercial Drive.

Hardscape treatment will be a broom finish concrete surface that extends across the property line to the building face setback. Two new trees planted in a sod boulevard will provide greening to the street and scale. Visitor bicycle parking stalls will be provided adjacent to the entrances. A level 2 office patio provides overlook to the street.

THE LANDSCAPE (south face of building)

The lane edge is broken up by tree and shrub planting in raised planters that help 'green' the lane and soften the Commercial Drive corner.

TRANSITION TO ADJACENT NEIGHBOUR (west face of building)

The west face of the building will step down to meet grade in a sequence of terraces and planters. Born from setbacks negotiated with Planning, the terracing will provide interest and privacy. They will help increase access to sunlight for the adjacent property side yard. Planting at grade and vines trained on a grid screen structure against the building wall will visually soften the base of the building at grade for the adjacent home. The 3' setback along the west property line that was negotiated with the neighbours will be left for their use.

MID-LEVEL TERRACES

The face of the building will step back at the second and third levels to provide for usable office and private unit patios and terraces, paved with hydra-pressed slabs and framed by free-standing planters and screens.

THE ROOF AMENITY TERRACE

Landscape design for the rooftop accounts for a protected view cone that occupies about 60% of the property on its east side. The amenity terrace complements the adjacent indoor amenity room.

The view cone rises enough to permit a community garden for residents

on the northern portion of the rooftop terrace. Lightweight galvanized metal planters, a potting table and a tool storage bench will be provided and arranged to reflect the angle of the view cone.

The south west portion of the rooftop terrace is outside of the view cone. It will be protected with 6-foot-high glass screens and will feature a children's play area with individual play elements and a resilient rubber safety surface, as well as a flexible-use patio area paved with hydra-pressed pavers.

SUSTAINABLE INITIATIVES

Light pollution reduction: any landscape lighting will be designed to be 'Dark Sky' compliant.

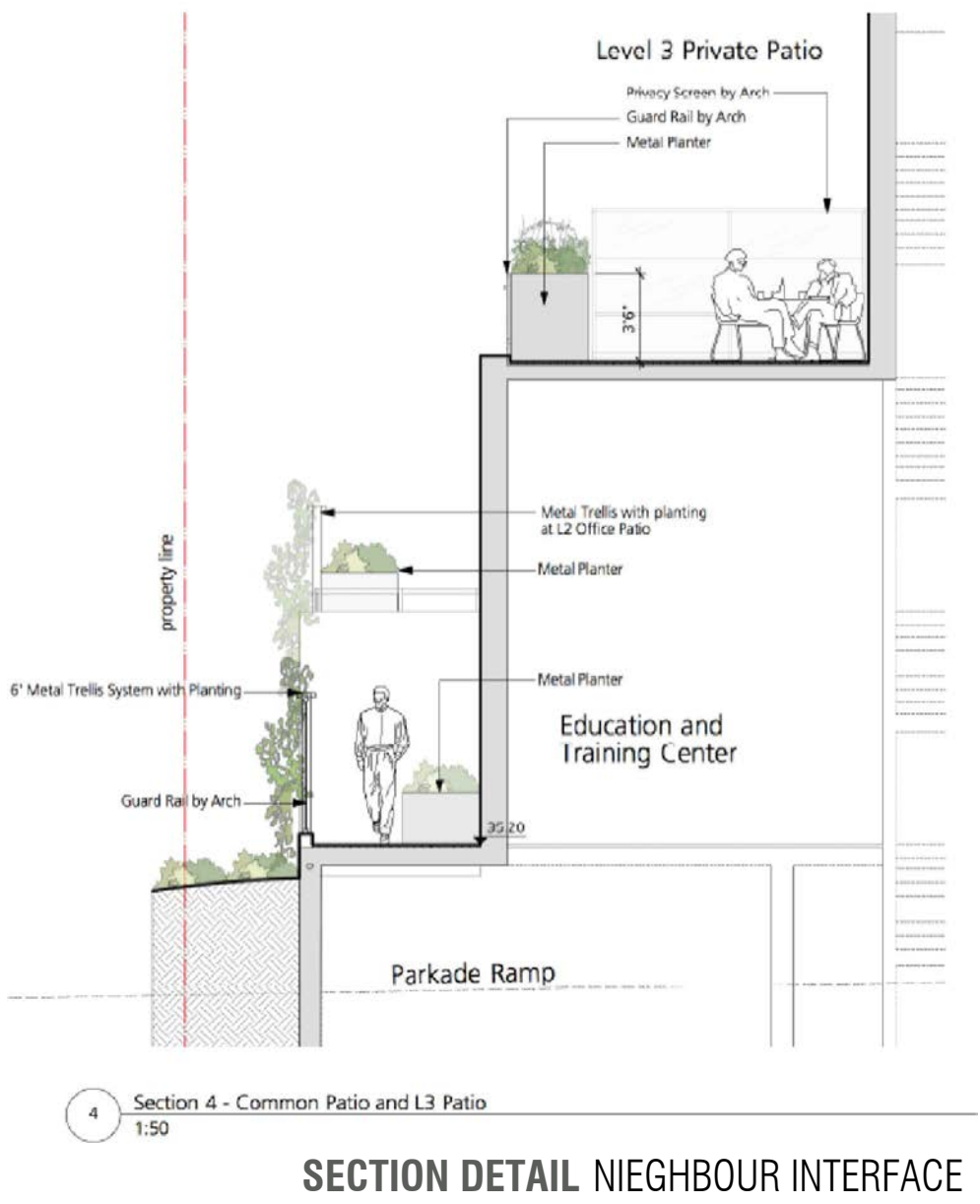
Water-efficient landscaping: the requirement for irrigation (following plant establishment) will be minimized through the use of indigenous, adapted, and/or drought resistant plants. High efficiency irrigation heads and rain sensors will be utilized to minimize water requirements.

Social sustainability: the provision of common outdoor social spaces, including the gardening area, play area and the rooftop patio, promotes interaction and cooperation between residents. CPTED principles of design, including “eyes on the street”, will contribute to a safer neighbourhood.

Durable building materials: landscape building materials are selected for recycled content, recyclability, and longevity.

BIRD FRIENDLY DESIGN

Bird friendly landscape design: street tree infill planting provides for continuity of tree canopy, a vertical landscape at the west side of the building provides cover for birds, a layered mix of ornamental and native plant species, including species with berries, provides nesting cover and foraging opportunity for birds.



SECTION DETAIL NIEGHBOUR INTERFACE

PROJECT

VESTA/VSTA MIXED-USE

2929 Commercial Drive
Vancouver BC

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SUSTAINABILITY MEASURES

PREAMBLE

Sustainability is intended to be an all-encompassing approach to sustainability which aligns with the objectives of the City of Vancouver's Green Building Policy for Rezonings and the ambitions of the design team.

ENERGY

In keeping with Vancouver's Low Emissions Building Plan, the project will take an “Envelope first” approach to energy conservation. At present the project has proposed a modest window to wall ratio of 33% to help manage the delicate balance between solar gains and energy loss through lower performance window assemblies. This effort will be further supplemented with a focus on high performance wall and roof assemblies, windows and doors, enhancing thermal and acoustic comfort while reducing energy demand and greenhouse gas emissions.

The project is currently considering simple efficient systems to condition the building. In commercial areas, electric based air-source Variable Refrigerant Flow (VRF) will be used to offer low carbon solutions for the building. In the residential portion, electric baseboard is being considered. For Hot water the project will utilize a condensing boiler which is 96% efficient.

Theses systems will undergo an enhanced commissioning process and robust measurement and verification strategy will inform building operations and help VESTA VSTA continue to save energy once the building is occupied.

INDOOR ENVIRONMENTAL QUALITY

Outdoor air will be delivered to occupied spaces though an Energy Recovery Ventilator which will allow for the continuous supply of outdoor air to the space while recovering and saving energy. During construction, the project will preserve indoor air quality using low emitting materials and finishes as well as a dedication to tracking and protecting the finished space from harmful chemicals and air pollutants.

STORMWATER

The redevelopment of the site at 2929 Commercial Drive into a new mixed-use building will cause a decrease in the site's imperviousness from 0.86 to and estimated 0.80. Landscaping on grade, rooftop gardens, Tier 2, and Tier3 strategies are being proposed, including onsite landscaping, a detention tank and a mechanical treatment maintenance hole. There is currently approximately 104 sq.m. of landscaping proposed (80 sq.m. of planting/landscaping and 24 sq.m. of rooftop garden, based on the landscape architect's drawings.

PROXIMITY TO SERVICES AND TRANSPORTATION

Located along Commercial Drive, the project is well situated to a healthy variety of amenities. This includes walking proximity to different parks as well as the several different food and retail amenities and services. The project's location also supports a strong connection to a larger cycling route network and multiple mass transit options at

Commercial/Broadway station. These opportunities combine to make a strong case for carless commuters and an overall reduction in transportation related emissions by keeping people out of cars.

WATER EFFICIENCY

The project team has adopted 2 strategies to identify and reduce the consumption of potable water in the building. Potable water will be saved through the use of a high efficiency irrigation system by reducing the water used to sustain the project's landscaping and secondly by using water efficient plumbing fixtures to reduce the demand for potable water where possible.

AWARENESS AND EDUCATION

The building manager will be trained in the operation of all systems and will give orientation courses to all tenants.

OVERALL ENERGY EFFICIENCY

Total Energy Use Intensity:99.7 kWh/m2

Thermal Energy Demand Intensity:18.0 kWh/m2

Greenhouse Gas Intensity:4.1 kgCO2/m2



PROJECT

VESTA/VSTA MIXED-USE

2929 Commercial Drive

Vancouver BC

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VESTA - VSTA MIXED USE

2929 COMMERCIAL DRIVE | VANCOUVER, BC

DESIGN RATIONALE

- ROOFTOP AMENITY SPACE
- TRANSPARENT (GLASS AND METAL CANOPY)
- CHILDREN'S PLAY AREA
- ROOFTOP OUTDOOR AMENITY SPACE
- TRANSPARENT (GLASS) GUARDRAILS
- DISTINCTIVE PATTERNS, HIGH-QUALITY MATERIALS, AND EARTH TONED COLOURS ARE USED TO STRENGTHEN A RESIDENTIAL EXPRESSION FOR THE UPPER LEVELS 02 TO 05
- TWO ARTICULATED VERTICAL BAYS
- DIFFERENTIATE THE RESIDENTIAL LEVELS FROM THE OFFICE AND COMMERCIAL LEVELS 01 AND 02
- VESTA/VSTA OFFICES
- EDUCATION AND TRAINING CENTRE
- MAIN ENTRANCE FROM COMMERCIAL DRIVE
- LANDSCAPE SCREENING AT THE LANE SHIELDS THE LOADING AREA AND SOFTENS THE TRANSITION TO THE LANE FROM COMMERCIAL DRIVE



EXTERIOR MATERIALS

Levels 1 and 2 will largely be expressed with commercial glazing and metal, some stone tile has been applied between the VESTA VSTA frontage and the CRU on Commercial Drive. The residential floors will have an exterior cladding of texture cement board with reveals. A combination of patterns and material changes enhance and soften the overall form of the building.

FROSTED GLASS UTILIZED ON BALCONY GUARDRAILS TO LIMIT THE OVERLOOK TO RESIDENTIAL NEIGHBOURS

WINDOW WALL ALLOWS FOR NATURAL DAYLIGHT INTO CONFERENCE ROOM AREAS

THE USE OF LANDSCAPE PLANTERS LIMIT THE OVERLOOK ONTO RESIDENTIAL NEIGHBOURS

LANDSCAPE SCREENING AND DIFFERENTIATION IN MATERIAL LIMIT THE IMPACT OF BLANK WALL ON NEIGHBOUR

PORTION OF EXPOSED PARKADE WALL PROVIDE LANDSCAPE SCREENING TO RESIDENTIAL NEIGHBOUR

RESIDENTIAL AND CRU ENTRY FROM E. 13TH AVENUE

PARKADE ENTRY FROM E. 13TH AVENUE

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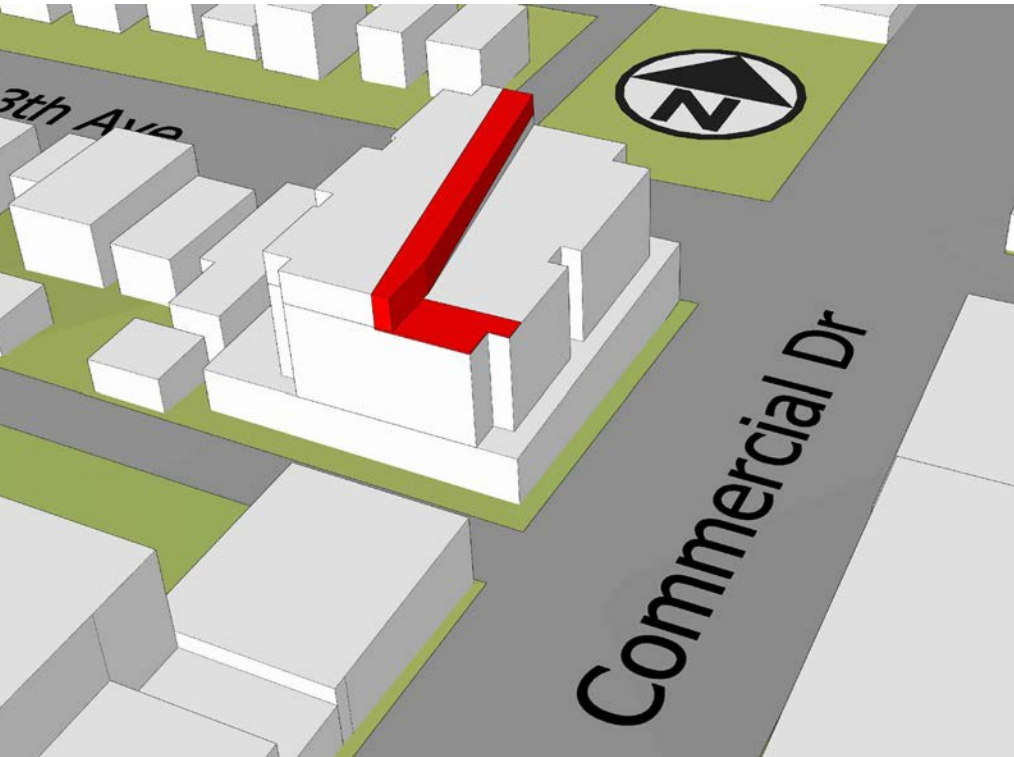
VESTA - VSTA MIXED USE

2929 COMMERCIAL DRIVE | VANCOUVER, BC

VIEW CONE NUMBER 21 - COMMERCIAL TO CROWN/GROUSE MOUNTAINS

FORM OF DEVELOPMENT - VIEW CONE IMPACTS

The view cone has experienced a number of adjustments since Council's last approval in 2011. The view cone that is shown was revised on March 5th, 2019. While the angle was adjusted further to the west eliminating the potential for more rental units, it still remained possible to provide for roof access by way of the elevator and an amenity area, as per Planning's request. To provide for a more functional outdoor space, Planning has permitted glass handrails to encroach on the cone. A glass canopy is also proposed to provide weather protection. A rendering (right) of the view cone position shows the limited impact the guard rails and canopy will have. As also shown, when the foliage is on the neighbouring trees, the impact of the on the view cone will be masked.



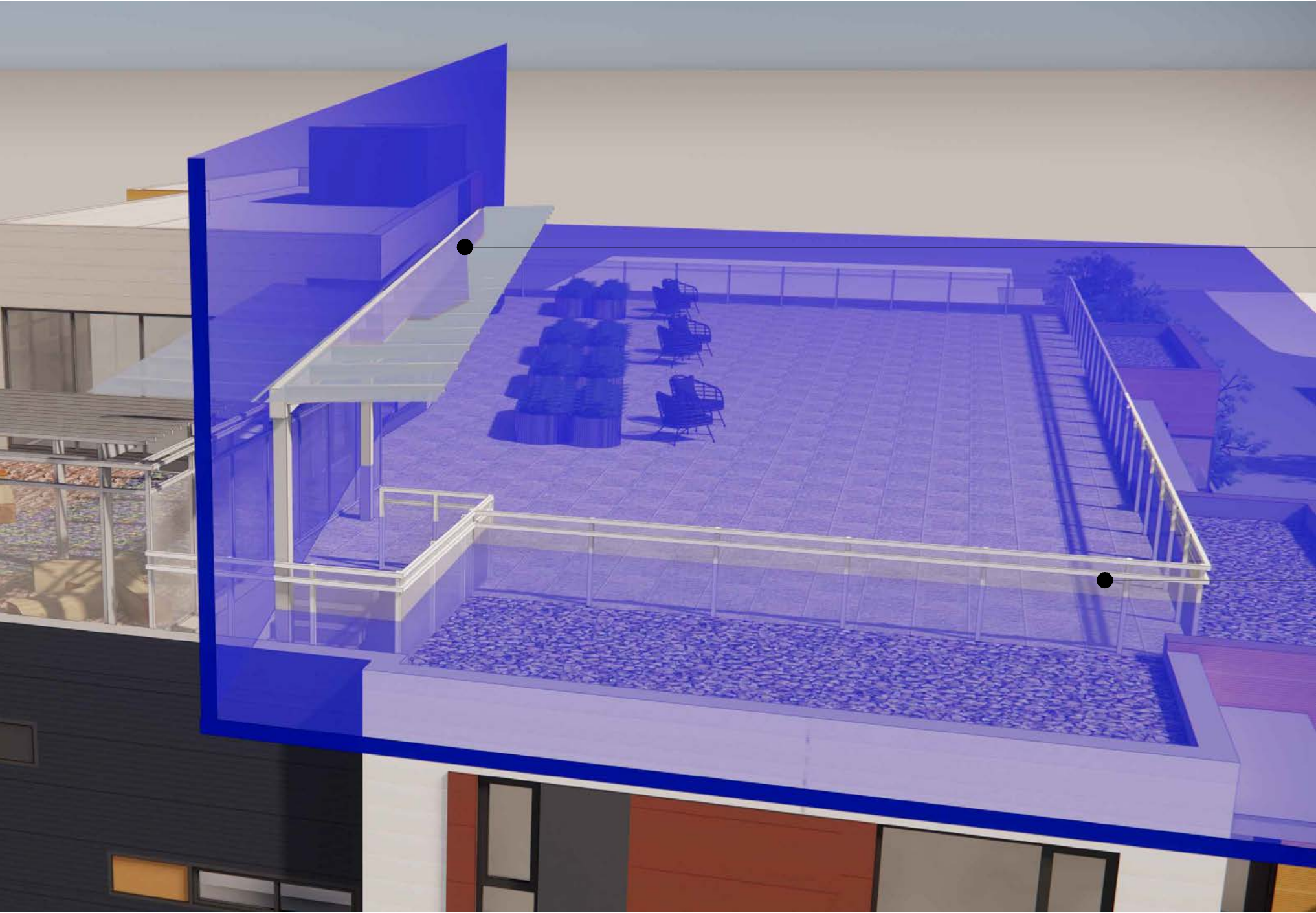
VC 21 ANALYSIS OF ORIGINAL PROPOSED FORM



VC 21 UPDATED MARCH 5, 2019



VIEW FROM POSITION 21 RENDERING SHOWING IMPACT OF PROPOSED BUILDING



VIEW LOOKING NORTHWEST ALLOWED MASSING PER VIEW CONE 21

ALUMINIUM AND GLASS CANOPY
MINIMAL IMPACT INTO VIEW CONE

ROOFTOP AMENITY AND OUTDOOR GARDEN
KEPT OUT OF VIEW CONE PLANE

ALUMINIUM AND GLASS GUARDRAILS
MINIMAL IMPACT INTO VIEW CONE -
TRANSPARENCY ALLOWS VIEWS THROUGH

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2929 COMMERCIAL DRIVE | VANCOUVER, BC

PERSPECTIVES

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VIEW FROM COMMERCIAL DRIVE | LOOKING NORTHWEST



VIEW FROM COMMERCIAL DRIVE | LOOKING SOUTHWEST



VIEW FROM 13TH AVENUE | LOOKING SOUTHEAST



VIEW FROM THE LANE | LOOKING NORTHEAST

PROJECT

VESTA/VSTA MIXED-USE

2929 Commercial Drive

Vancouver BC

PERSPECTIVES

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2929 COMMERCIAL DRIVE | VANCOUVER, BC

PERSPECTIVES

dys architecture

260 - 1770 Burrard Street Vancouver BC V6J 3G7

tel 604 669 7710 www.dysarchitecture.com

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VIEW FROM ABOVE | LOOKING NORTHWEST



VIEW FROM ABOVE | LOOKING SOUTHWEST



VIEW FROM ABOVE | LOOKING SOUTHEAST



VIEW FROM ABOVE | LOOKING NORTHEAST

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2929 Commercial Drive
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PERSPECTIVES

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SHADOW STUDY

dys architecture

260 - 1770 Burrard Street Vancouver BC V6J 3G7
tel 604 669 7710 www.dysarchitecture.com

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SPRING EQUINOX - MARCH 10AM



SPRING EQUINOX - MARCH 12PM



SPRING EQUINOX - MARCH 2PM



FALL EQUINOX - SEPTEMBER 10AM



FALL EQUINOX - SEPTEMBER 12PM



FALL EQUINOX - SEPTEMBER 2PM

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SHADOW STUDY

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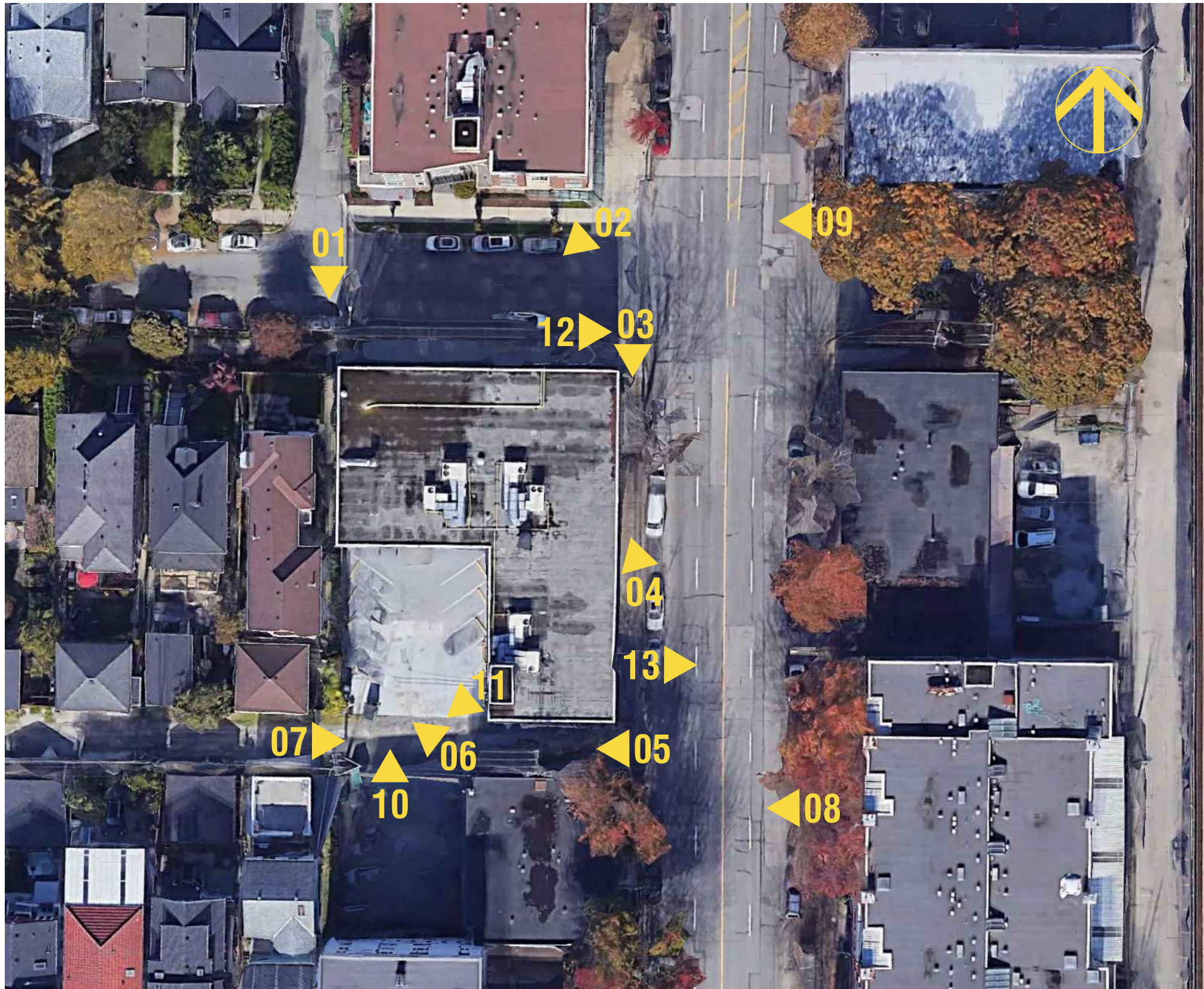
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KEY MAP

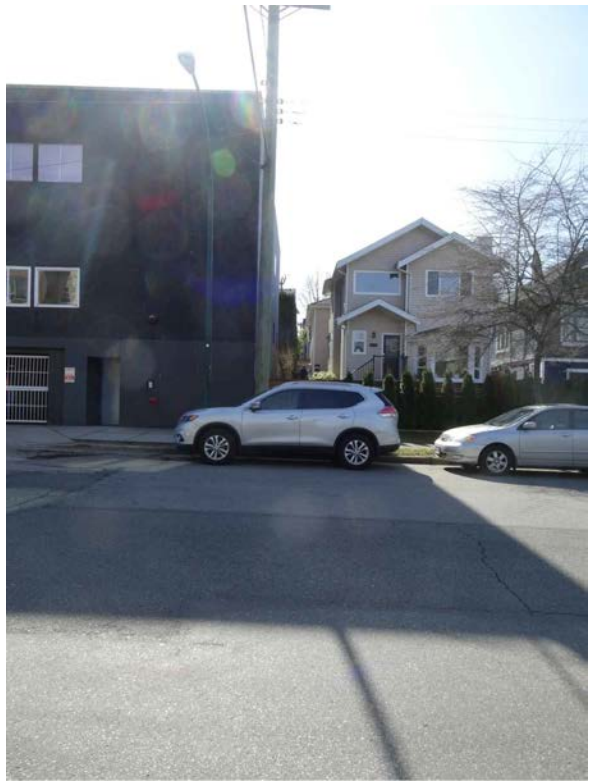


IMAGE 01



IMAGE 02



IMAGE 03



IMAGE 04



IMAGE 05



IMAGE 06



IMAGE 07



IMAGE 08



IMAGE 09



IMAGE 10



IMAGE 11



IMAGE 12



IMAGE 13

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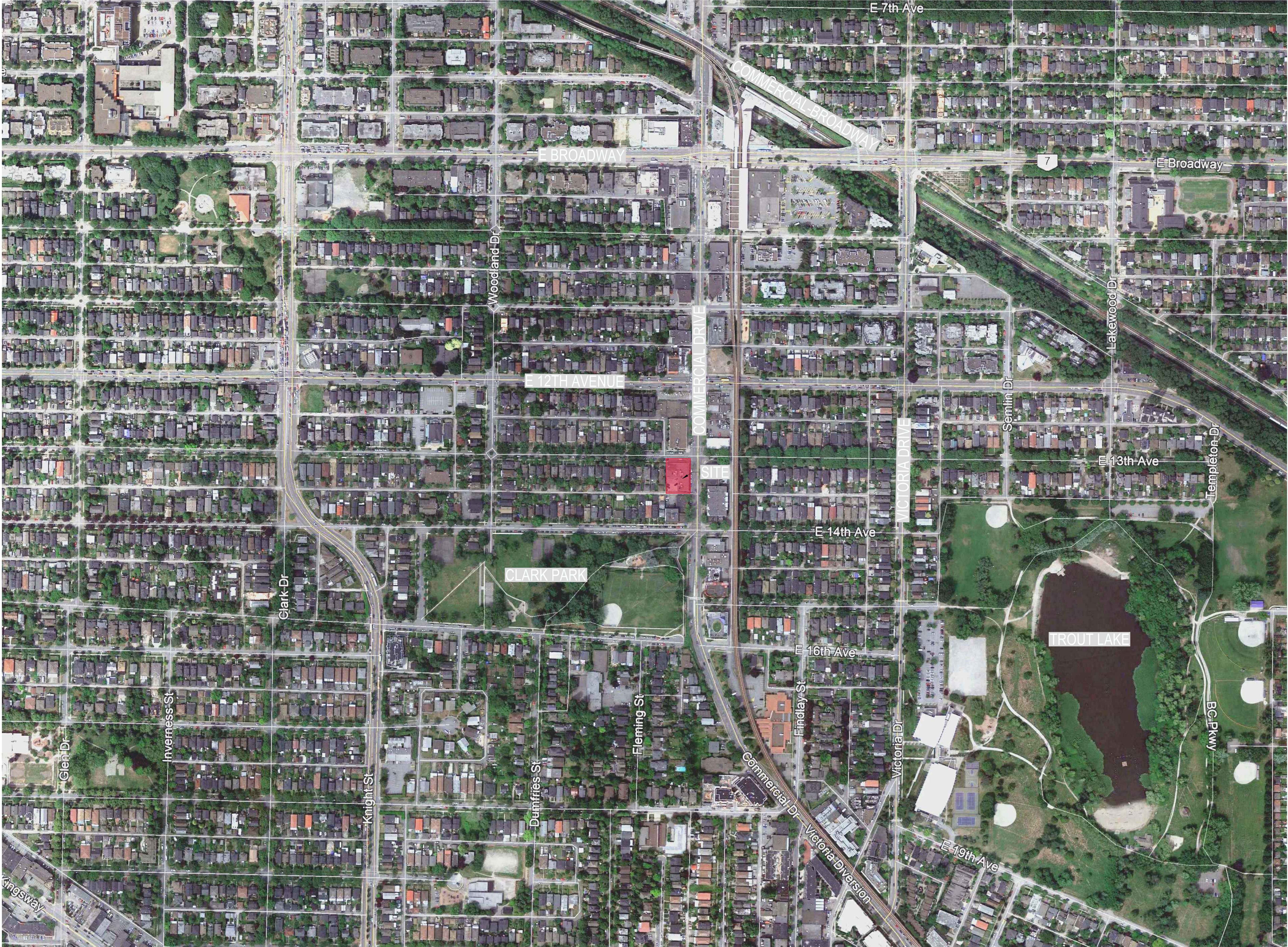
**URBAN CONTEXT
SITE PHOTOS**

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CONTEXT MAP

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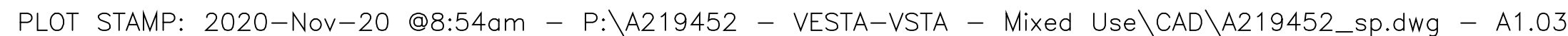
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A1.01



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2929 Commercial Drive
Vancouver BC

PARKING LEVEL 02

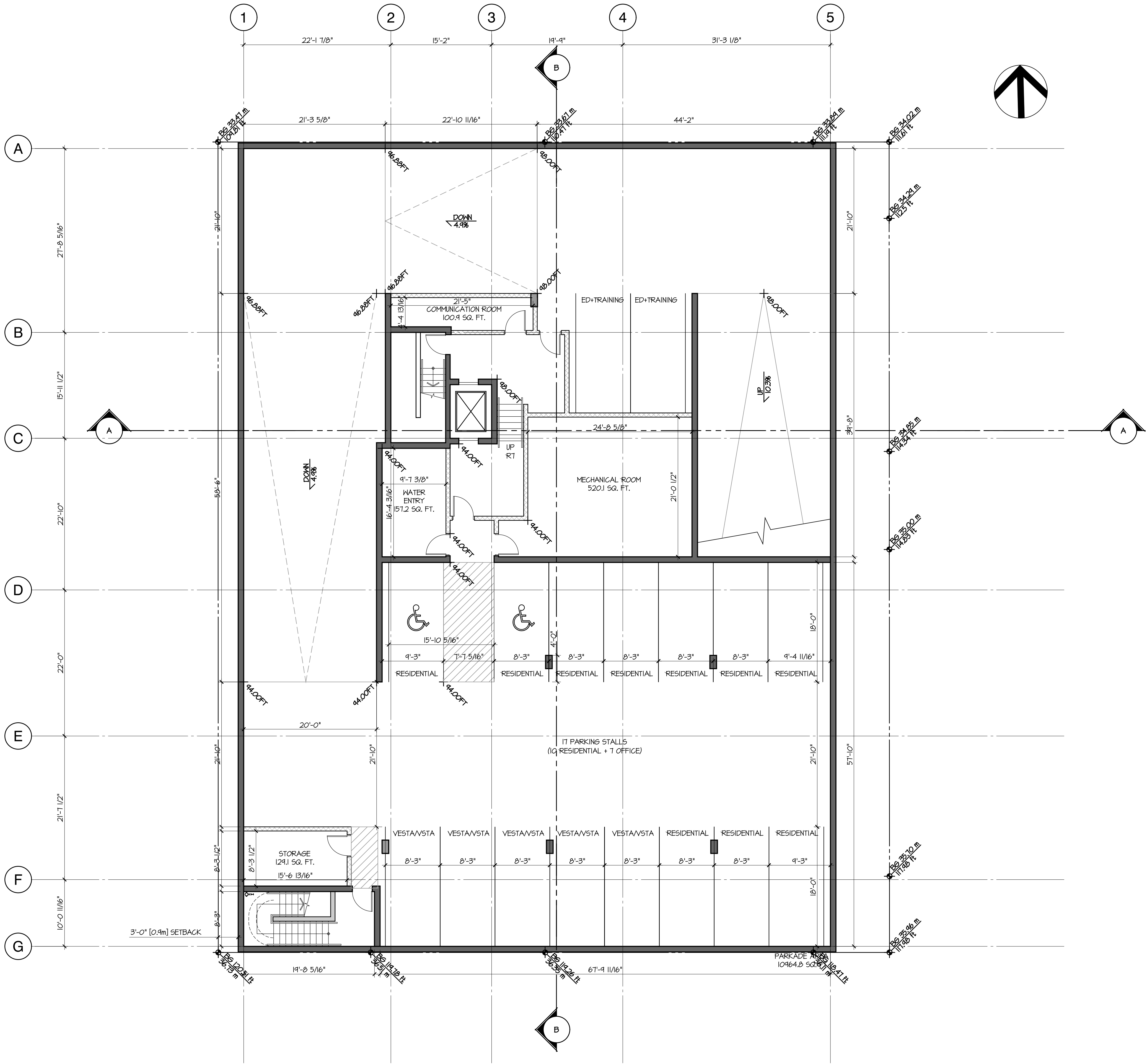
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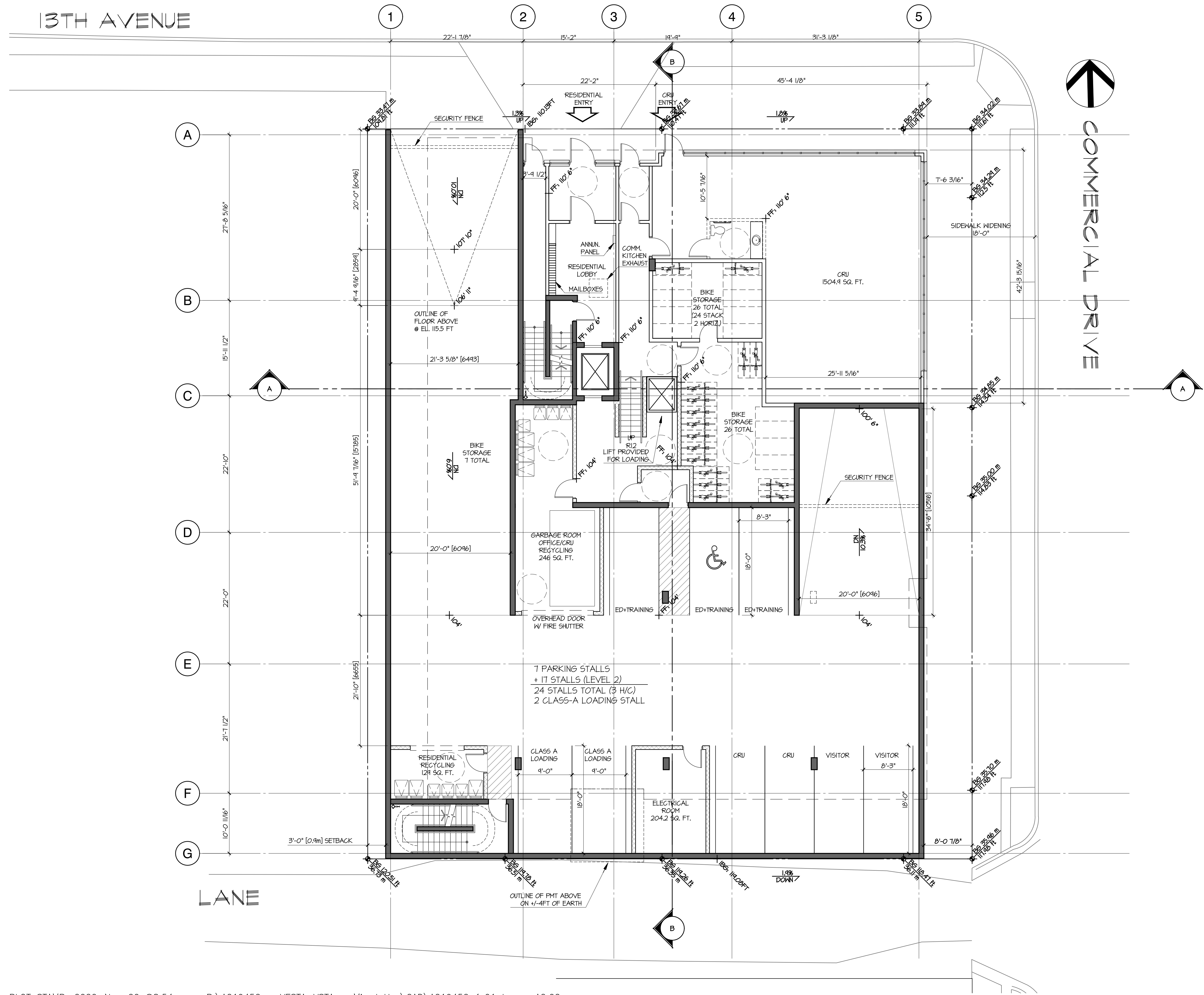
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DATE NOV 20, 2020

A2.01



13TH AVENUE



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2929 Commercial Drive
Vancouver BC

**FLOOR PLAN LEVEL 01
PARKING LEVEL 01**

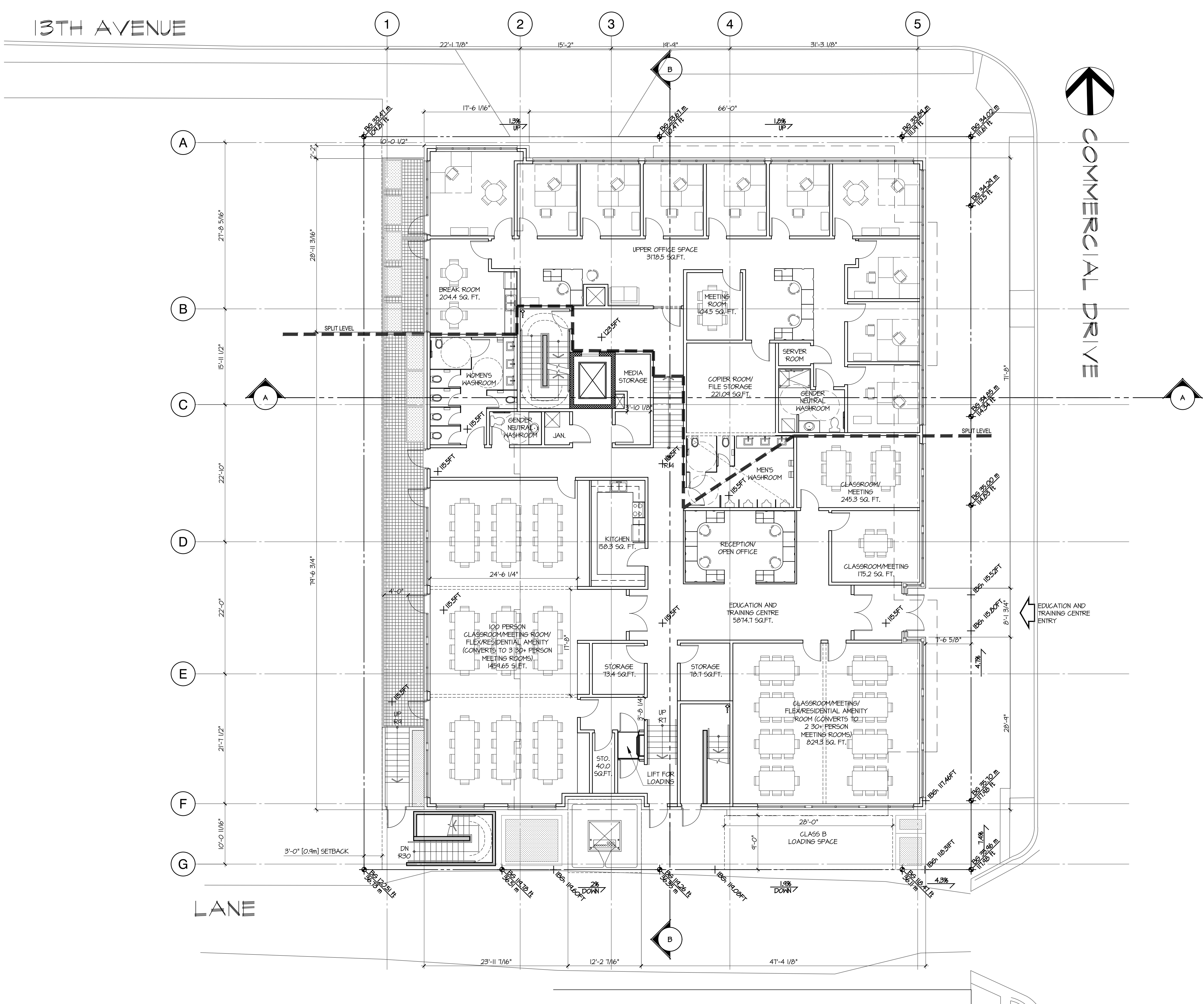
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A2.02



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2929 Commercial Drive
Vancouver BC

**FLOOR PLAN
LEVEL 02**

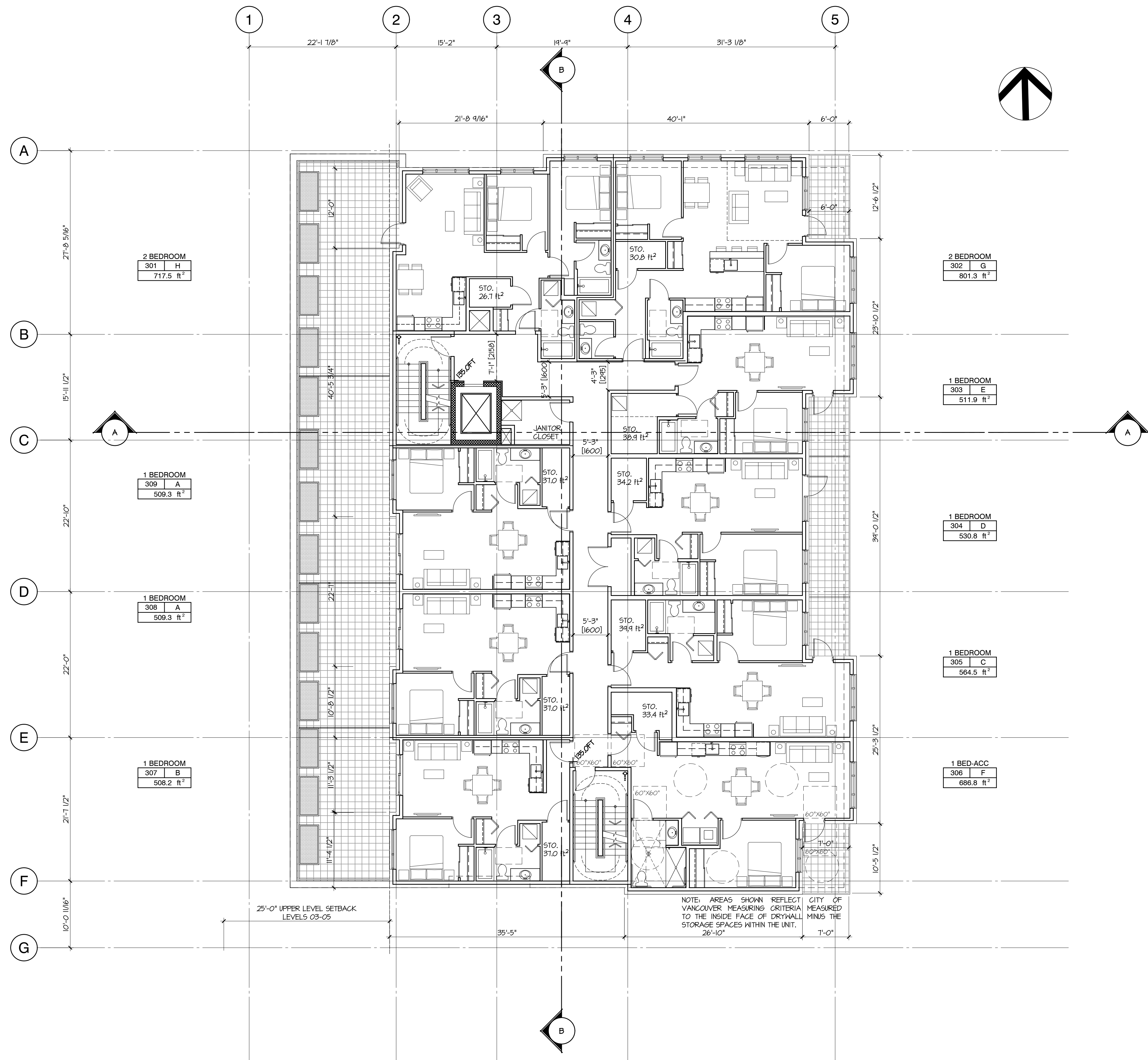
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A2.03





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2929 Commercial Drive
Vancouver BC

**LEVEL 06
FLOOR PLAN**

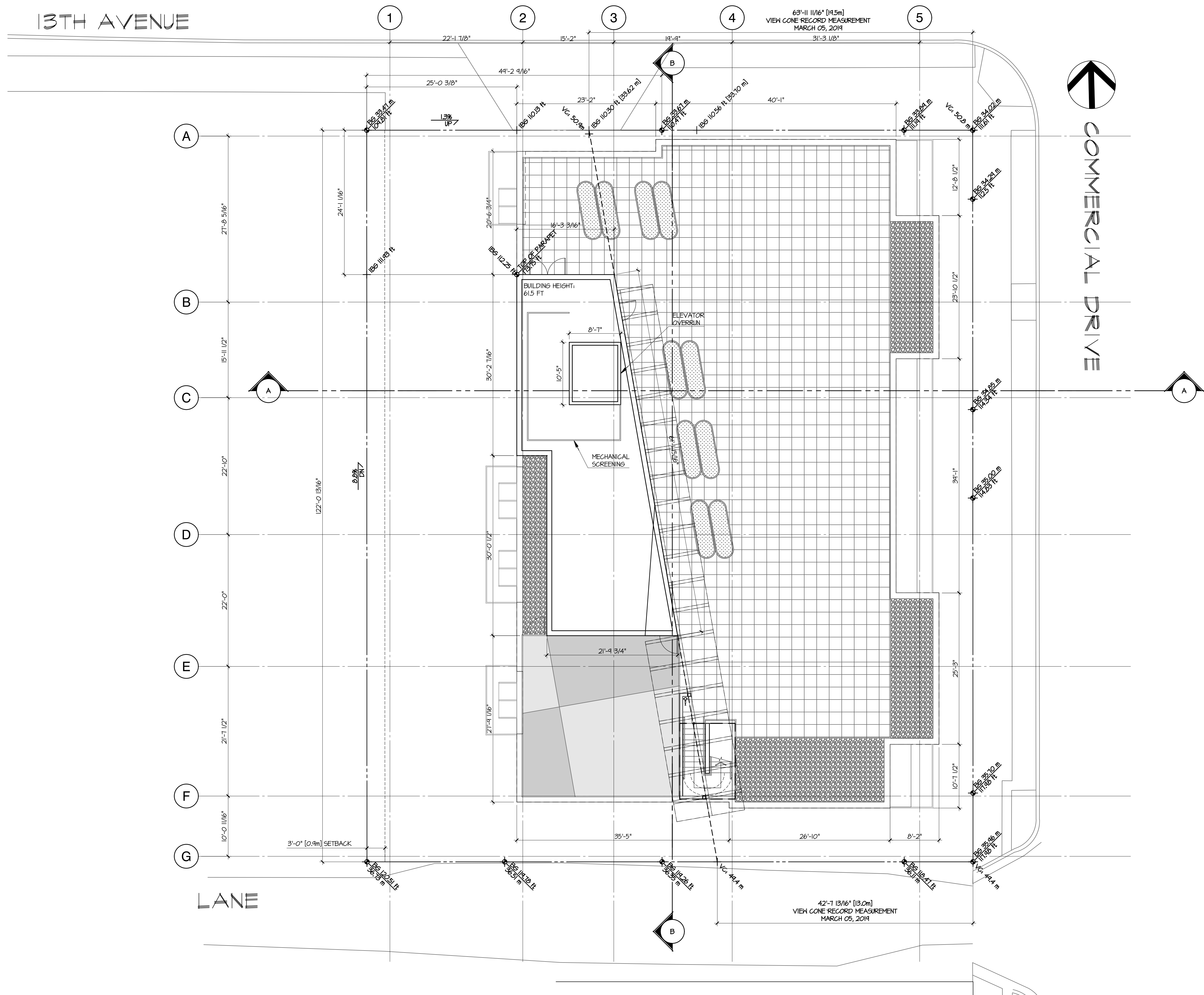
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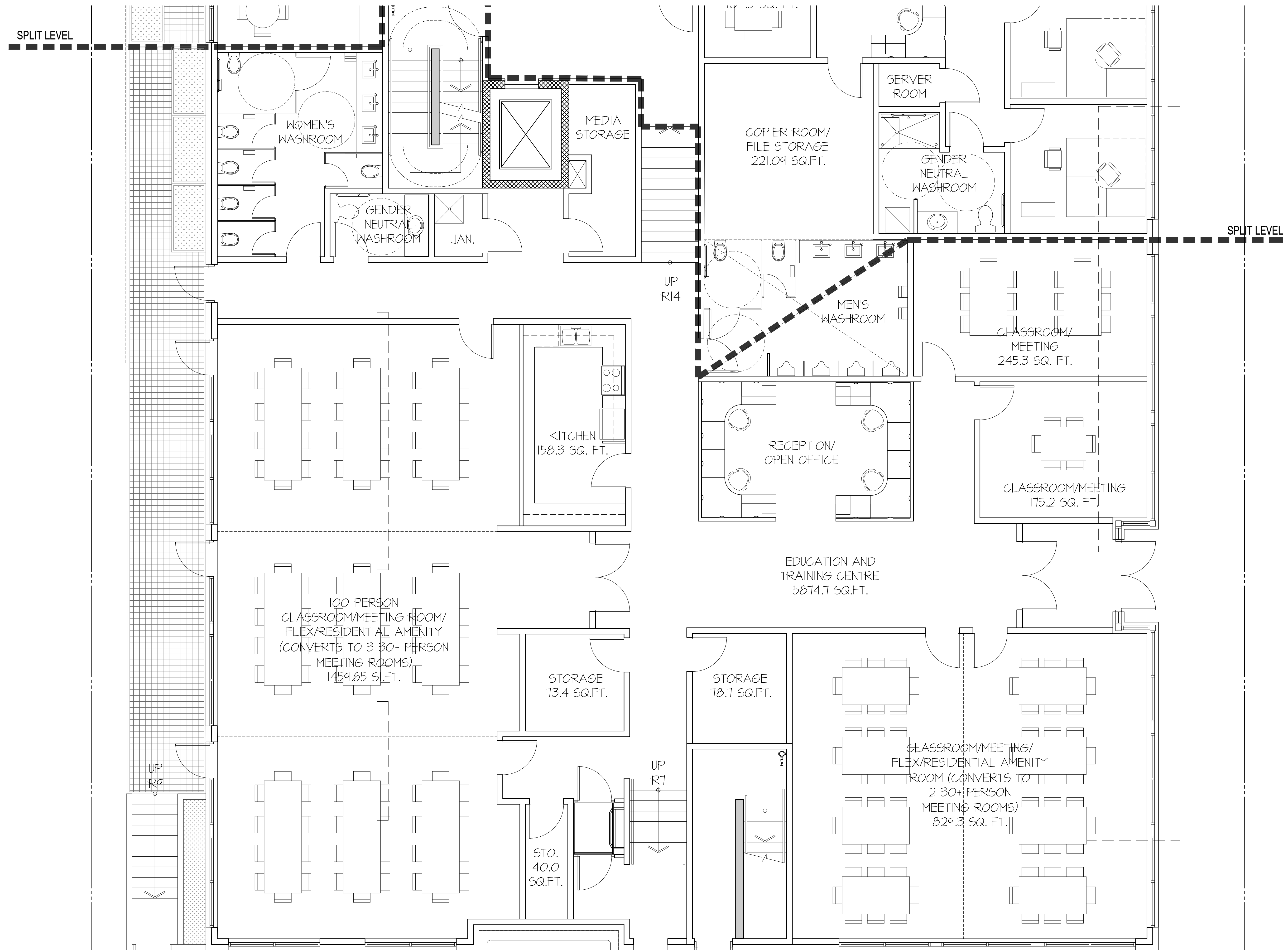
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LEVEL 02 EDUCATION AND TRAINING CENTRE

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VESTA/VSTA MIXED-USE

2929 Commercial Drive
Vancouver BC

FLOOR PLAN
LEVEL 02
OFFICES

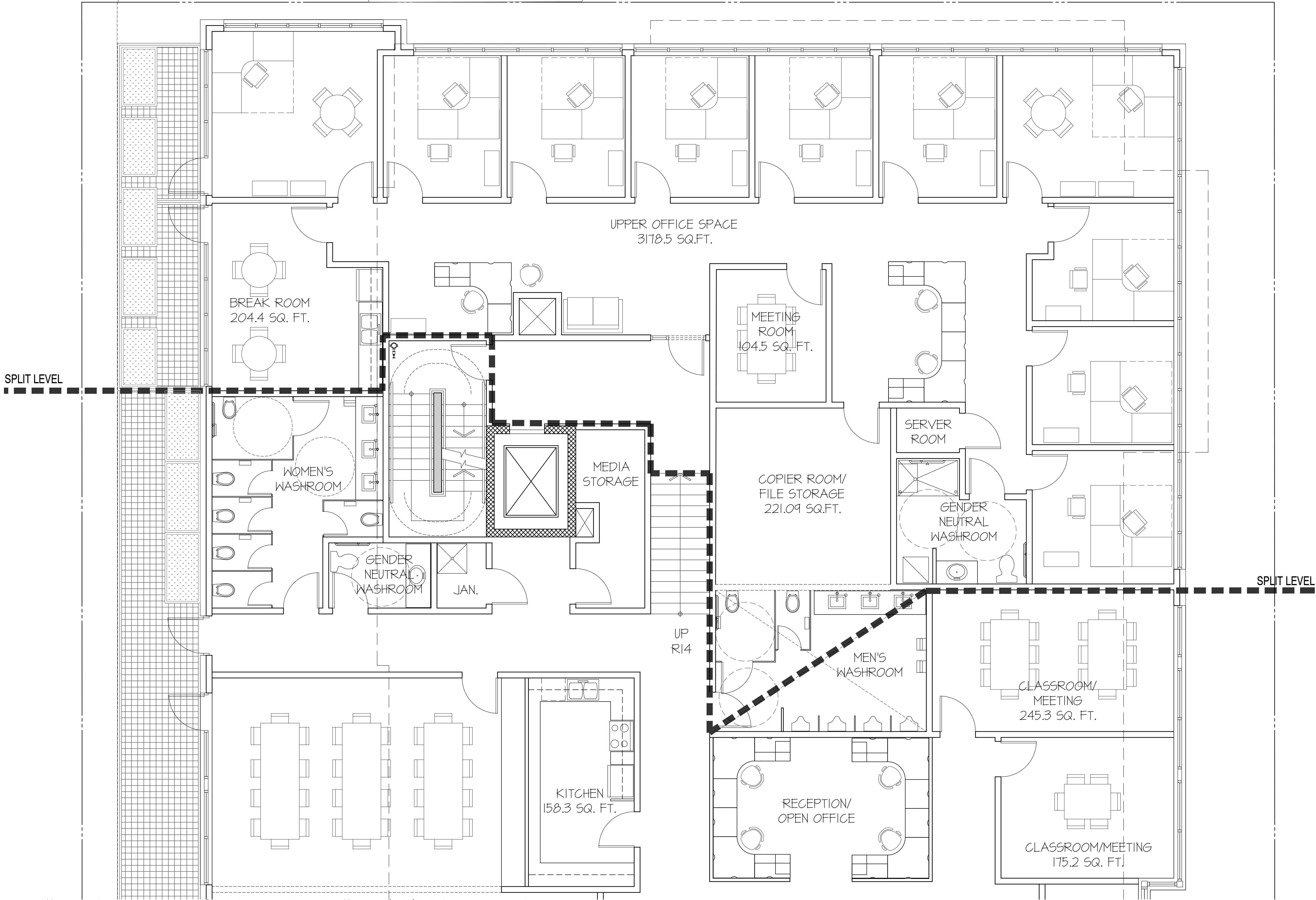
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PROJECT

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2929 Commercial Drive
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UNIT PLANS

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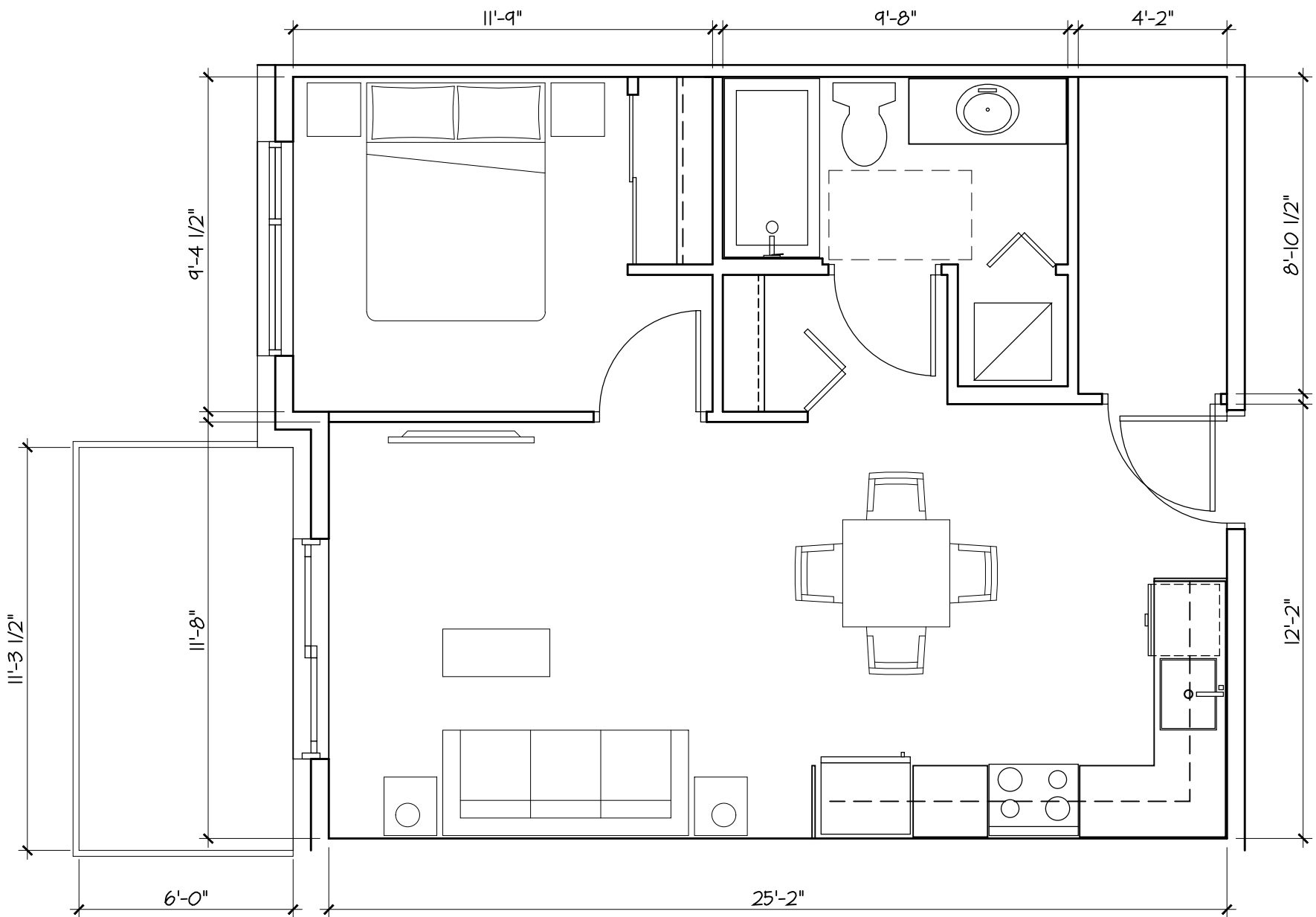
Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and **dys** architecture shall be informed of any variations from the dimensions and conditions shown on the drawings. Shop drawings shall be submitted to **dys** architecture for review before proceeding with fabrication.

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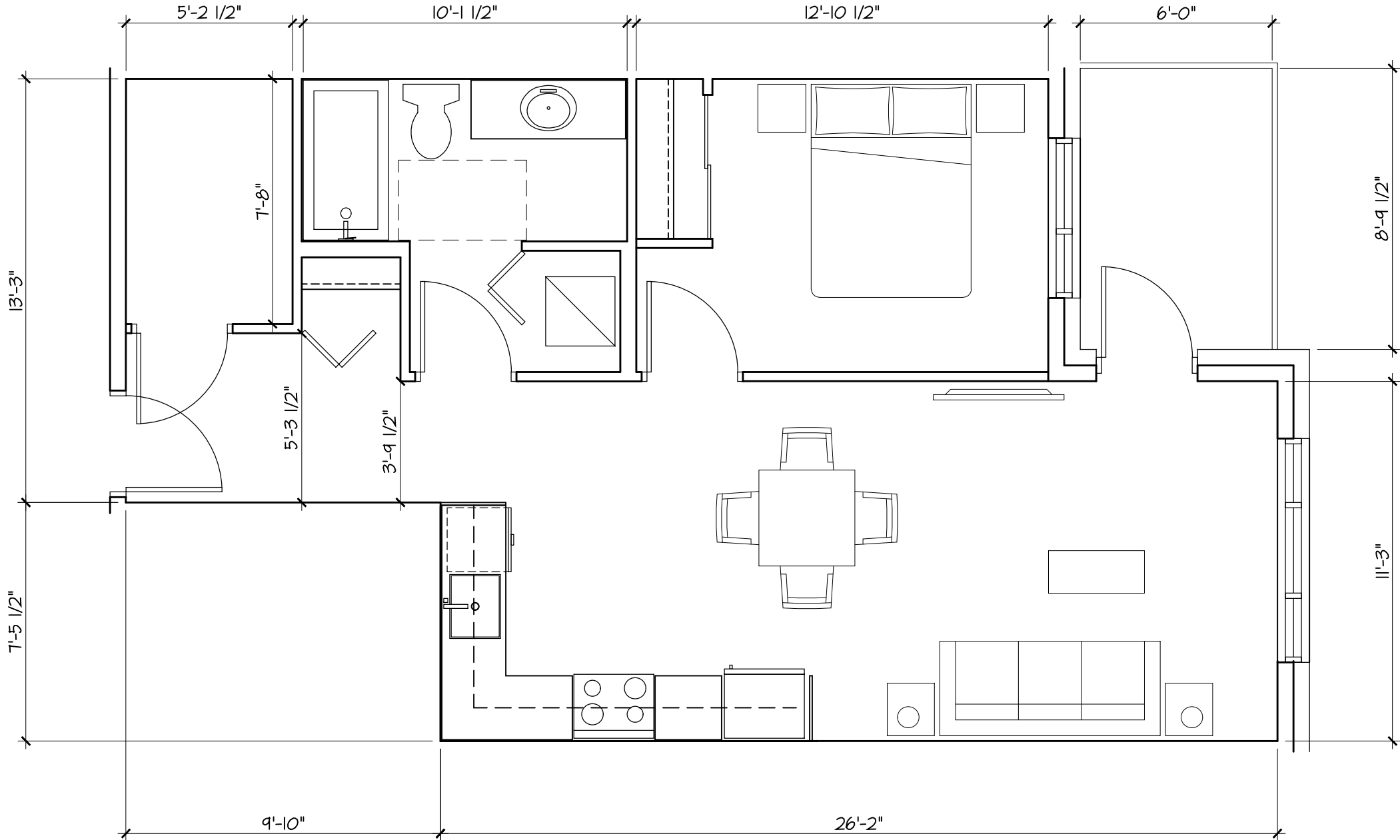
SCALE	1/4" = 1'
DATE	NOV 20, 2020



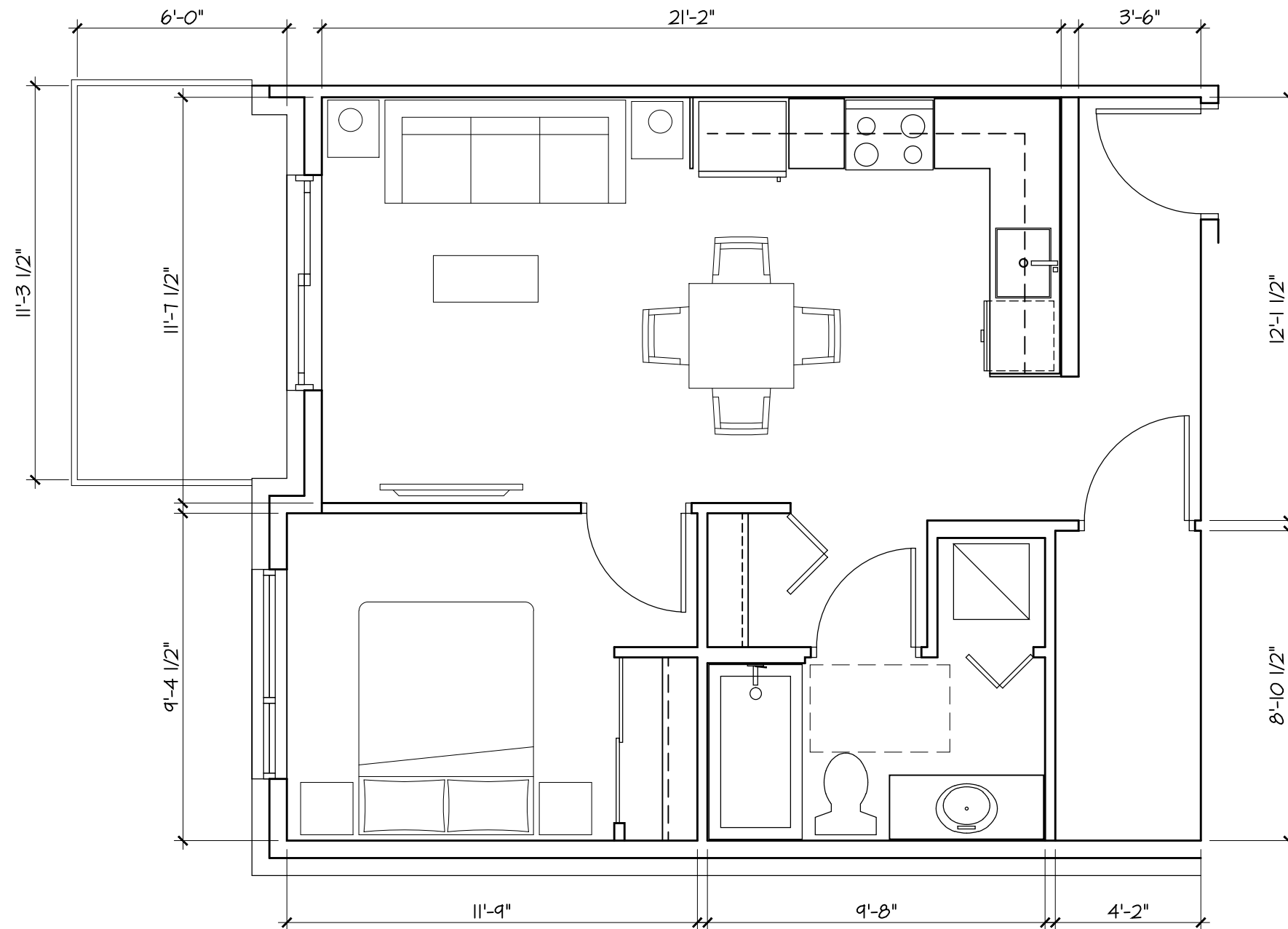
A2.10



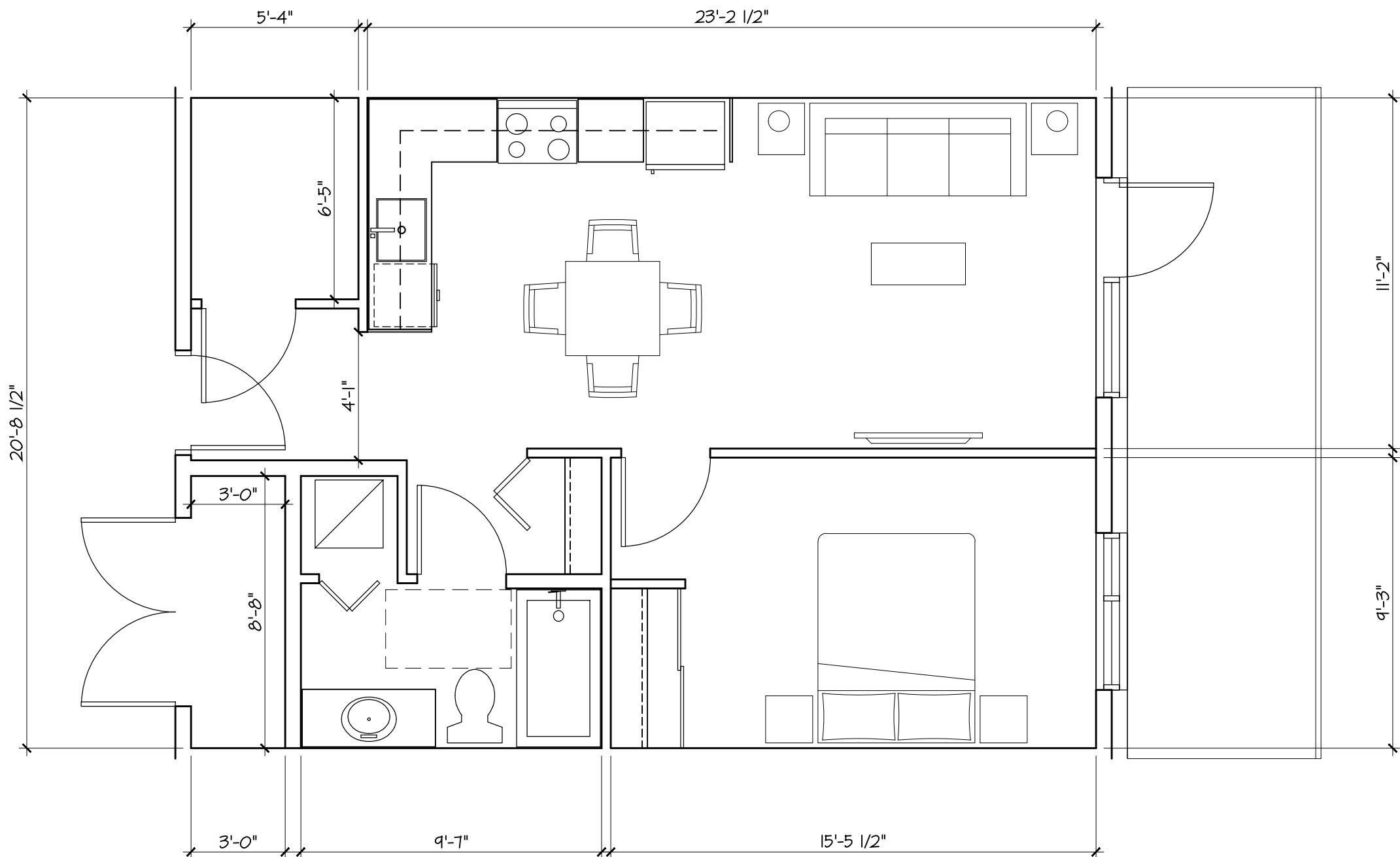
1 UNIT A - 1-BEDROOM
508.9 SQ.FT.



3 UNIT C - 1-BEDROOM
564.5 SQ.FT.



2 UNIT B - 1-BEDROOM
508.2 SQ.FT.



4 UNIT D - 1-BEDROOM
530.8 SQ.FT.

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UNIT PLANS

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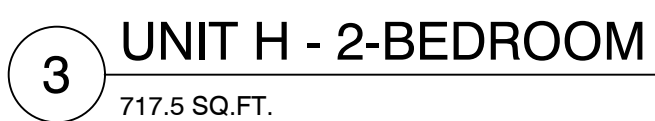
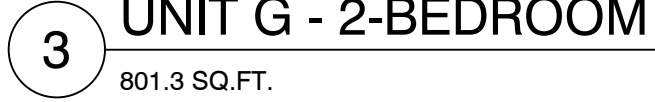
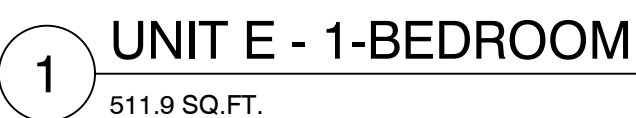
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DATE NOV 20, 2020



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MATERIAL LEGEND

- | | | | |
|--------------------------------------|---|---|--|
| 1 FIBRE CEMENT
COLOUR: CREAM | 5 FIBRE CEMENT
COLOUR: YELLOW/GOLDEN | 9 METAL PANEL
COLOUR: DARK GREY | 13 ALUMINIUM GUARDRAIL
FROSTED GLASS |
| 2 FIBRE CEMENT
COLOUR: NAVY BLUE | 6 FIBRE CEMENT
COLOUR: WOOD PATTERN | 10 GRANITE ACCENT
COLOUR: BLACK | 14 VINYL/FIBERGLASS
WINDOWS AND DOORS |
| 3 FIBRE CEMENT
COLOUR: LIGHT GREY | 7 FIBRE CEMENT
COLOUR: AMBER | 11 ALUMINIUM/GLASS
CANOPY | 15 WINDOW WALL |
| 4 FIBRE CEMENT
COLOUR: DARK GREY | 8 METAL PANEL
COLOUR: LIGHT GREY | 12 ALUMINIUM GUARDRAIL
TRANSPARENT GLASS | 16 PRIVACY SCREEN |

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NORTH ELEVATION

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DATE NOV 20, 2020



A3.01

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EAST ELEVATION

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DATE NOV 20, 2020

A3.02



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PROJECT

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WEST ELEVATION

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SCALE 1/8"=1'
DATE NOV 20, 2020

A3.04



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NO. | DATE | REVISION

PROJECT

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BUILDING SECTION A

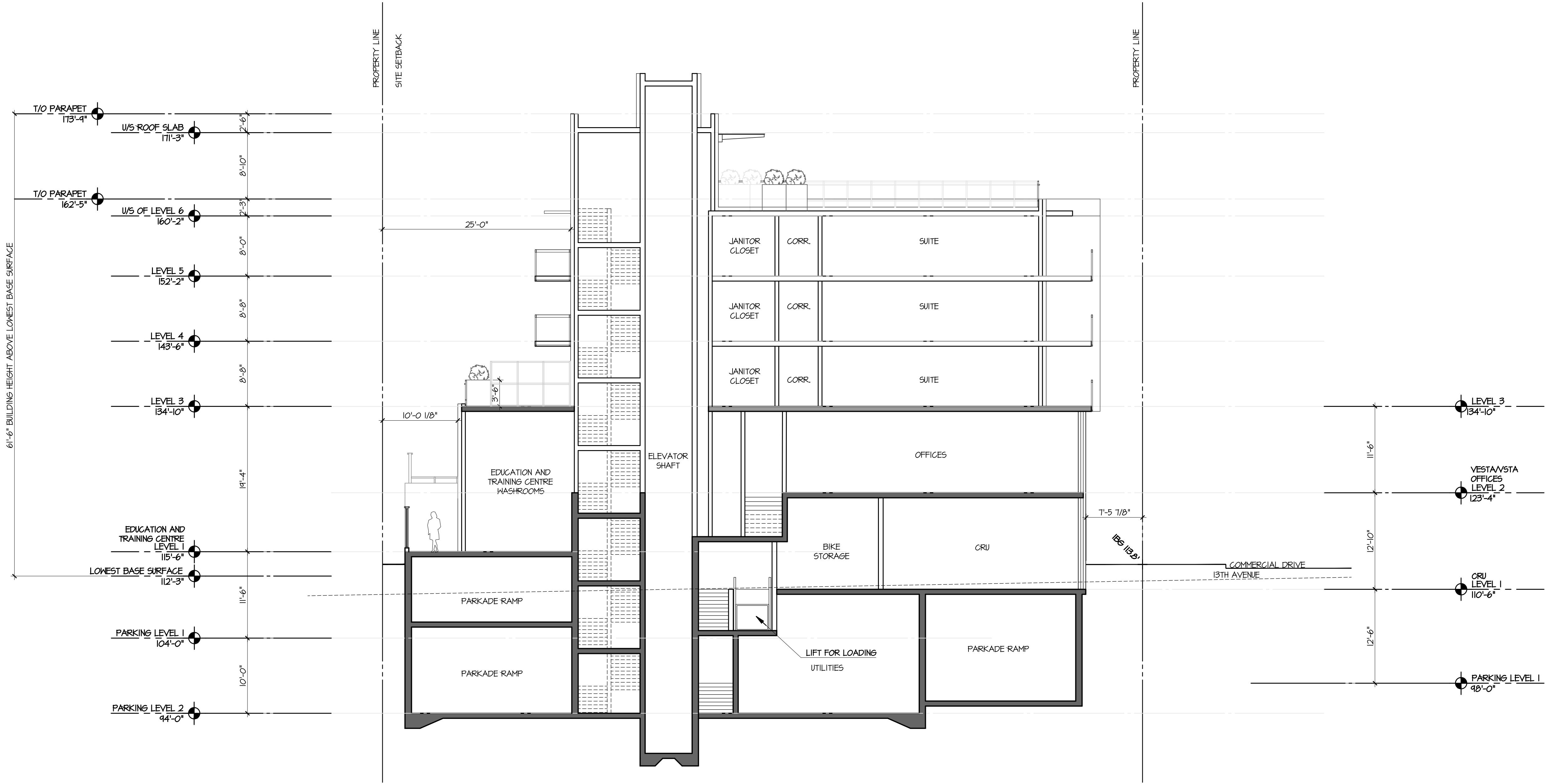
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SCALE 1/8"=1'
DATE NOV 20, 2020

A4.01

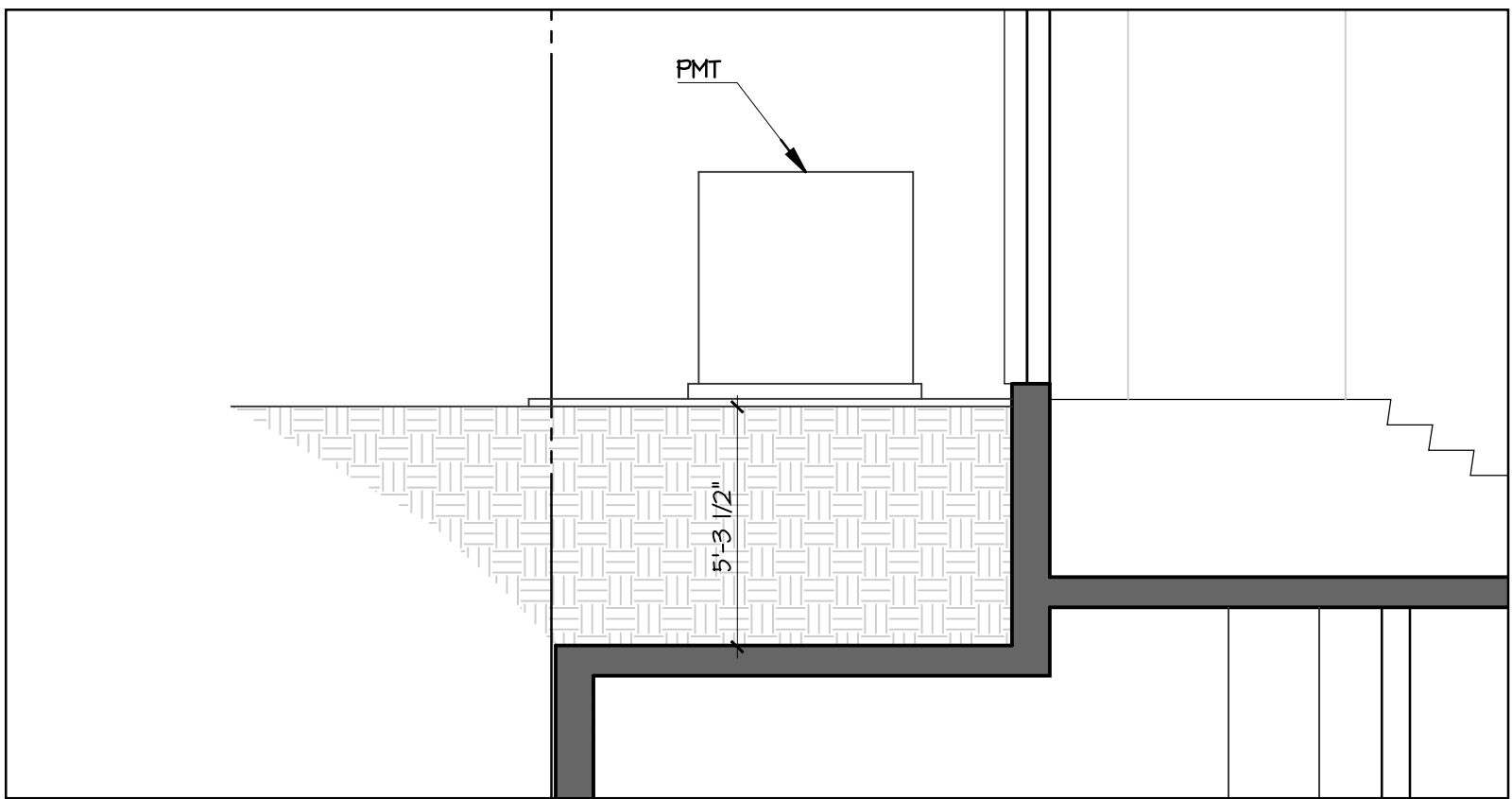
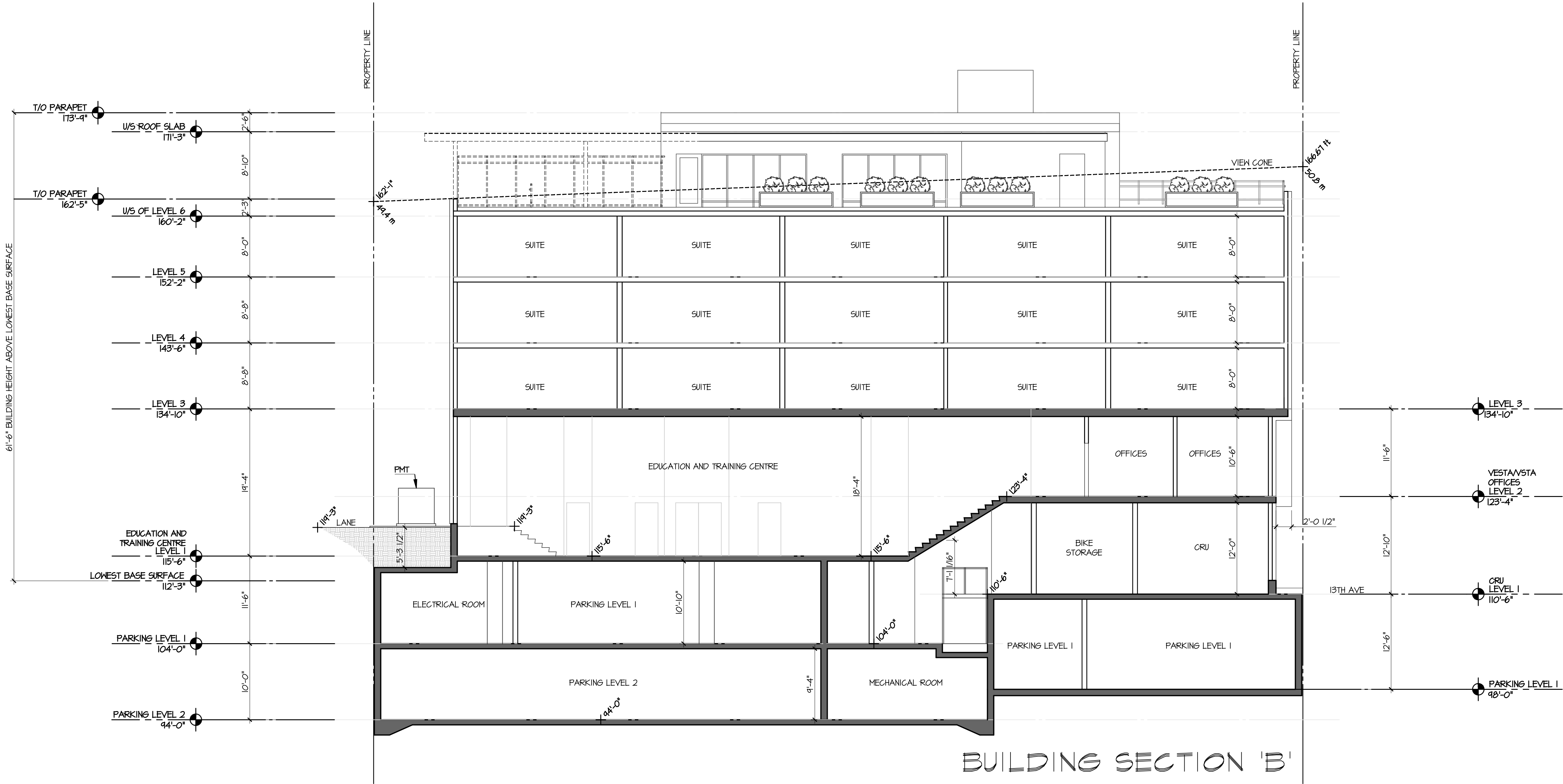


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PROJECT

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BUILDING SECTION B

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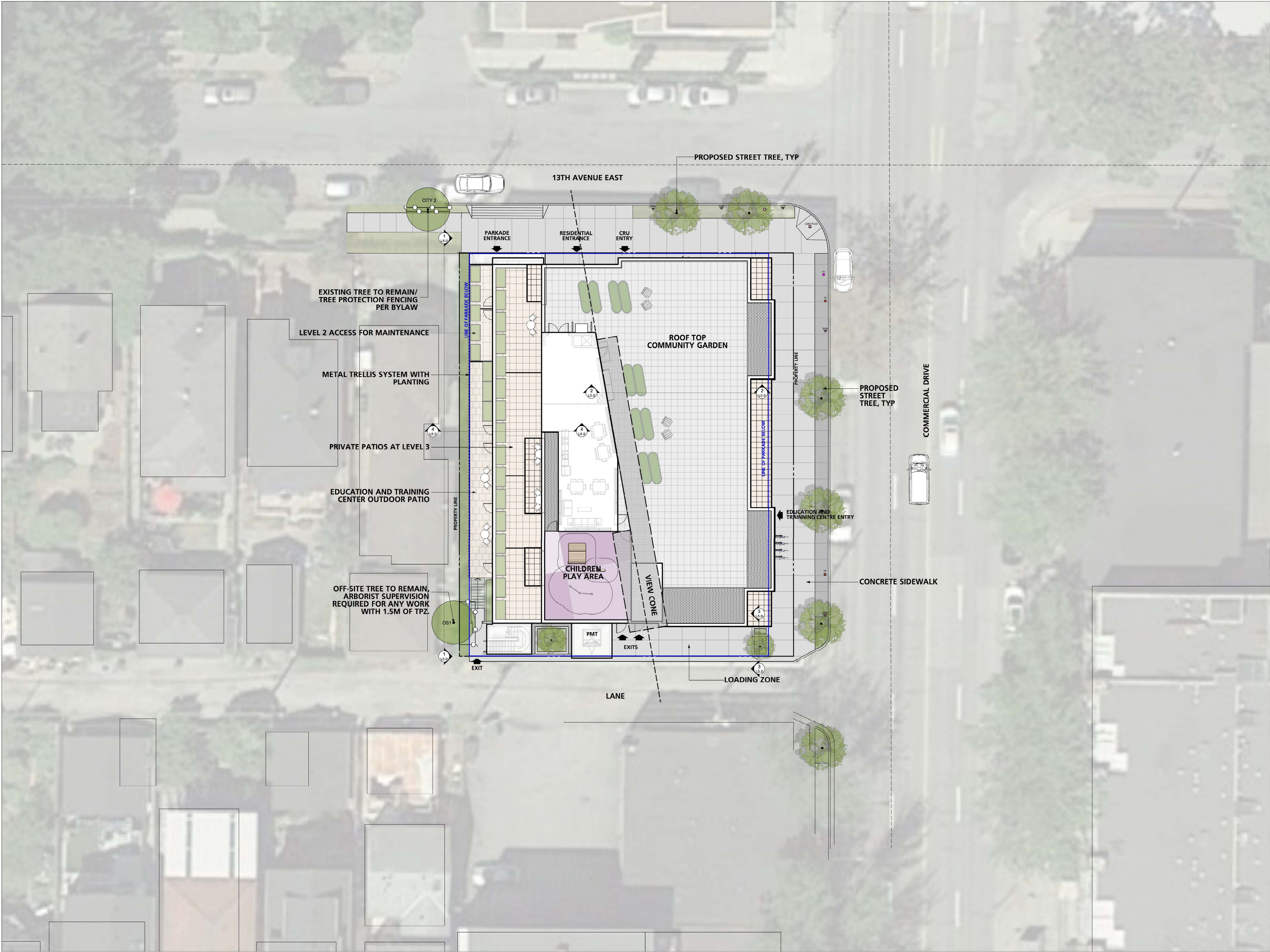
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PROJECT A219452
DRAWN NM CHECKED DJ

SCALE 1/8"=1'
DATE NOV 20, 2020



A4.02



3	Issued for Rezoning	2020/01/05
2	Issued for Review	2020/07/13
1	Issued for Discussion	2019/04/08
Revision No.		Date

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Client:
DYS Architecture

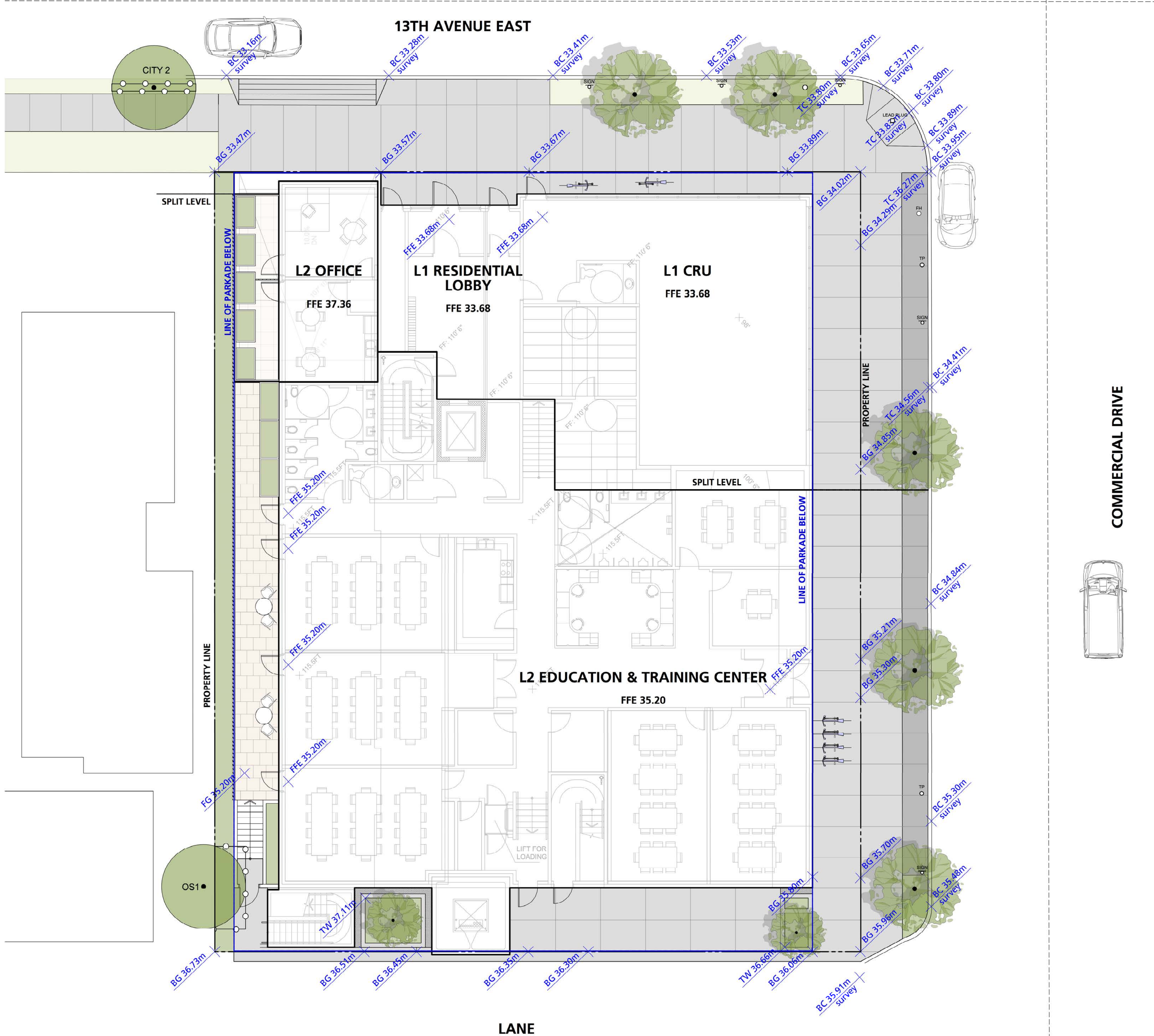
Project Title:
**Vesta/VSTA
Mixed Use**

Drawing Title:
**Landscape
Context Layout Plan**

Project North:	Drawn By:	TT
	Checked By:	JP
Scale:	Job No.:	17-074
Sheet No.:		



- | | | | |
|---|------------------------------------|---|---------------------------|
| ① | C.I.P CONCRETE PAVING | ⑩ | PRIVACY SCREEN BY ARCH |
| ② | EXPOSED AGGREGATE PAVING | ⑪ | MOVABLE TABLES AND CHAIRS |
| ③ | STREET TREES | ⑫ | BIKE RACKS, LOCATION TBD |
| ④ | 2'X2' HYDRAPRESSED SLABS | ⑬ | PLANTER POT |
| ⑤ | GRAVEL STRIPS | ⑭ | GUARD RAIL BY ARCH |
| ⑥ | RUBBER SURFACING | ⑮ | COMPOST BIN |
| ⑦ | RAISED CONCRETE PLANTER | ⑯ | POTTING BENCH |
| ⑧ | METAL PLANTER | ⑰ | MOVABLE CHAIRS |
| ⑨ | METAL TRELLIS SYSTEM WITH PLANTING | ⑱ | CHILDREN PLAY EQUIPMENT |



- GRADING NOTES**
1. Ensure hard surfaces are sloped to drain away from buildings.
 2. Ensure topsoil slopes and drains away from buildings.
 3. Soft landscape finished grade to be min 200 mm below any finished building elevation.
 4. Report any grading discrepancies.
 5. Slope all surfaces to drains as shown.
 6. Refer to Architectural and Mechanical drawings for drain locations over slab.
 7. Refer to Civil drawings for road grading.

3	Issued for Rezoning	2020/10/06
2	Issued for Review	2020/07/13
1	Issued for Discussion	2019/04/08
Revision No.		Date

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Client: **DYS Architecture**

Project Title: **Vesta/VSTA Mixed Use**

Drawing Title: **Landscape Grading Plan Level 1&2**

Project North:	Drawn By:	TT
	Checked By:	RB
Scale:	Job No.:	17-074
Sheet No.:		



LEGEND

①	C.I.P. CONCRETE PAVING	⑩	PRIVACY SCREEN BY ARCH
②	EXPOSED AGGREGATE PAVING	⑪	MOVABLE TABLES AND CHAIRS
③	STREET TREES	⑫	BIKE RACKS, LOCATION TBD
④	2'X2' HYDRAPRESSED SLABS	⑬	PLANTER POT
⑤	GRAVEL STRIPS	⑭	GUARD RAIL BY ARCH
⑥	RUBBER SURFACING	⑮	COMPOST BIN
⑦	RAISED CONCRETE PLANTER	⑯	POTTING BENCH
⑧	METAL PLANTER	⑰	MOVABLE CHAIRS
⑨	METAL TRELLIS SYSTEM WITH PLANTING	⑱	CHILDREN PLAY EQUIPMENT

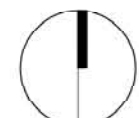
4	Issued for Rezoning	2020/10/06
3	Issued for Review	2020/07/13
2	Issued for Coordination	2020/06/09
1	Issued for Discussion	2019/04/08
Revision No.		Date

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Client: **DYS Architecture**

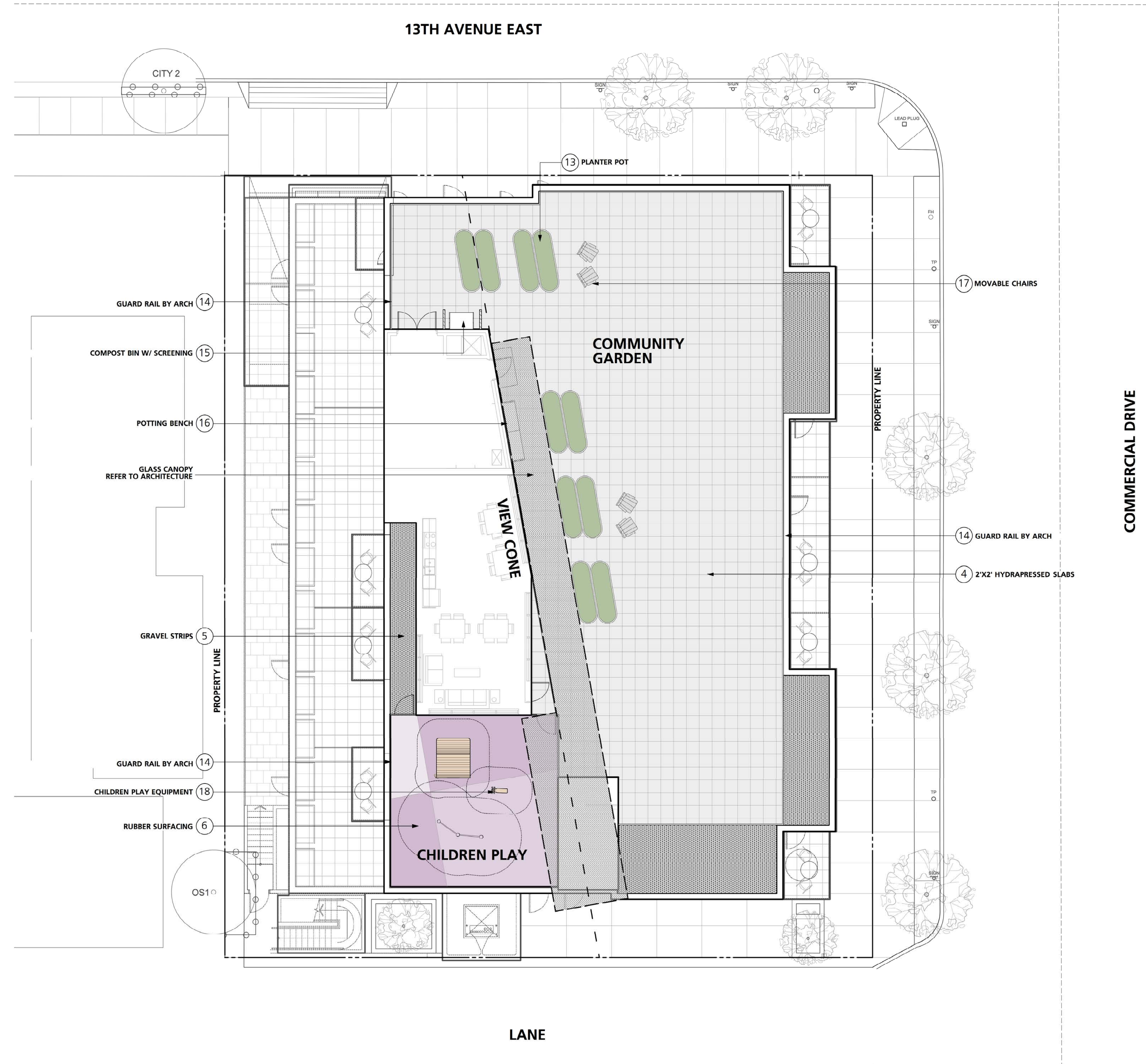
Project Title: **Vesta/VSTA Mixed Use**

Drawing Title: **Landscape Layout Plan Level 3**

Project North:  Drawn By: **TT**
Checked By: **JP**

Scale: **1:100** Job No.: **17-074**

Sheet No.: **L2.0**



LEGEND

- | | |
|--------------------------------------|-----------------------------|
| ① C.I.P CONCRETE PAVING | ⑩ PRIVACY SCREEN BY ARCH |
| ② EXPOSED AGGREGATE PAVING | ⑪ MOVABLE TABLES AND CHAIRS |
| ③ STREET TREES | ⑫ BIKE RACKS, LOCATION TBD |
| ④ 2'X2' HYDRAPRESSED SLABS | ⑬ PLANTER POT |
| ⑤ GRAVEL STRIPS | ⑭ GUARD RAIL BY ARCH |
| ⑥ RUBBER SURFACING | ⑮ COMPOST BIN |
| ⑦ RAISED CONCRETE PLANTER | ⑯ POTTING BENCH |
| ⑧ METAL PLANTER | ⑰ MOVABLE CHAIRS |
| ⑨ METAL TRELLIS SYSTEM WITH PLANTING | ⑱ CHILDREN PLAY EQUIPMENT |

4	Issued for Rezoning	2020/10/06
3	Issued for Review	2020/07/13
2	Issued for Coordination	2020/06/09
1	Issued for Discussion	2019/04/08
Revision No.		Date

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Client: **DYS Architecture**

Project Title: **Vesta/VSTA Mixed Use**

Drawing Title: **Landscape Layout Plan Level 6**

Project North:	Drawn By: TT
	Checked By: RB

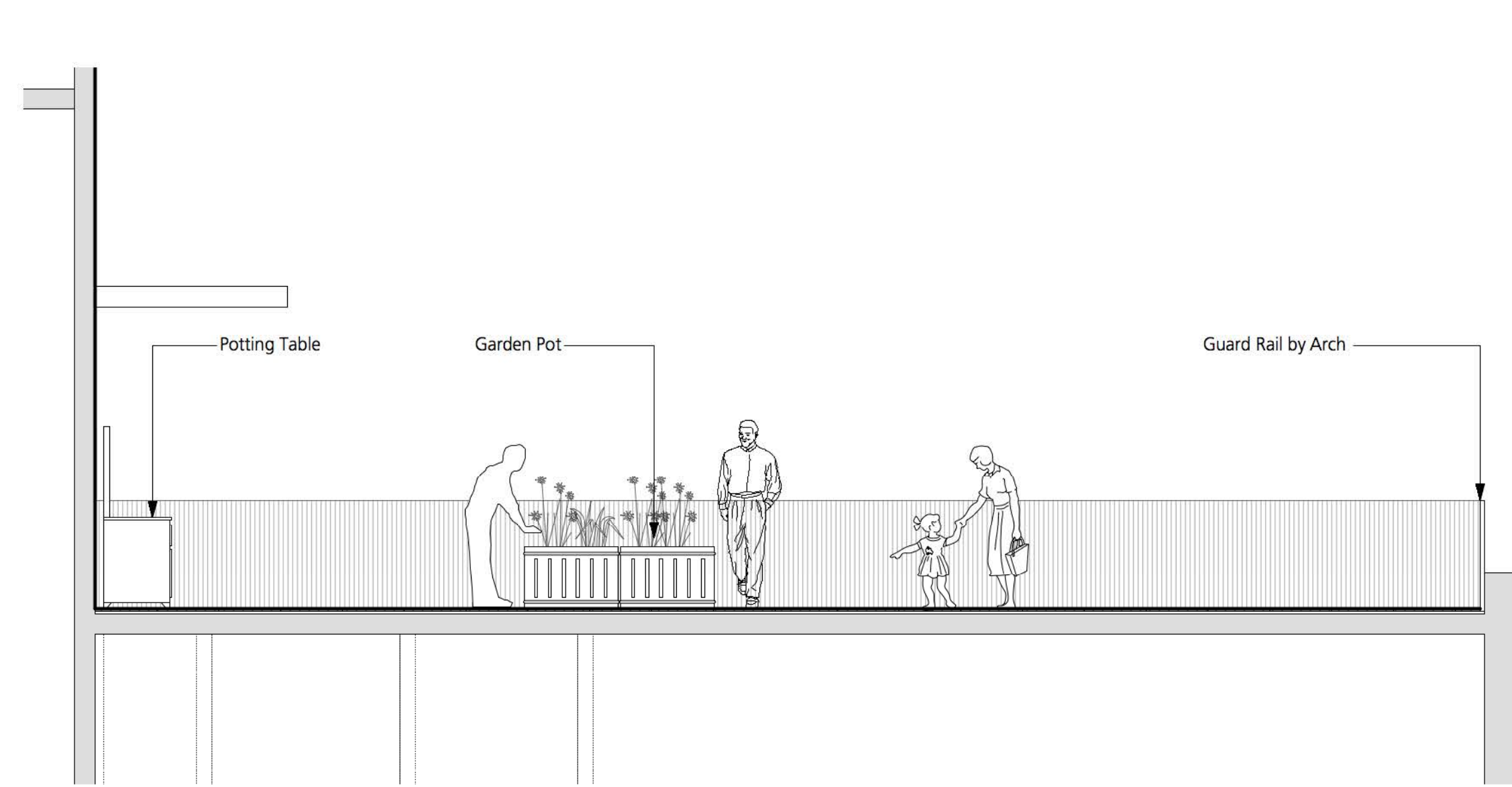
Scale:	Job No.: 17-074
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Sheet No.:

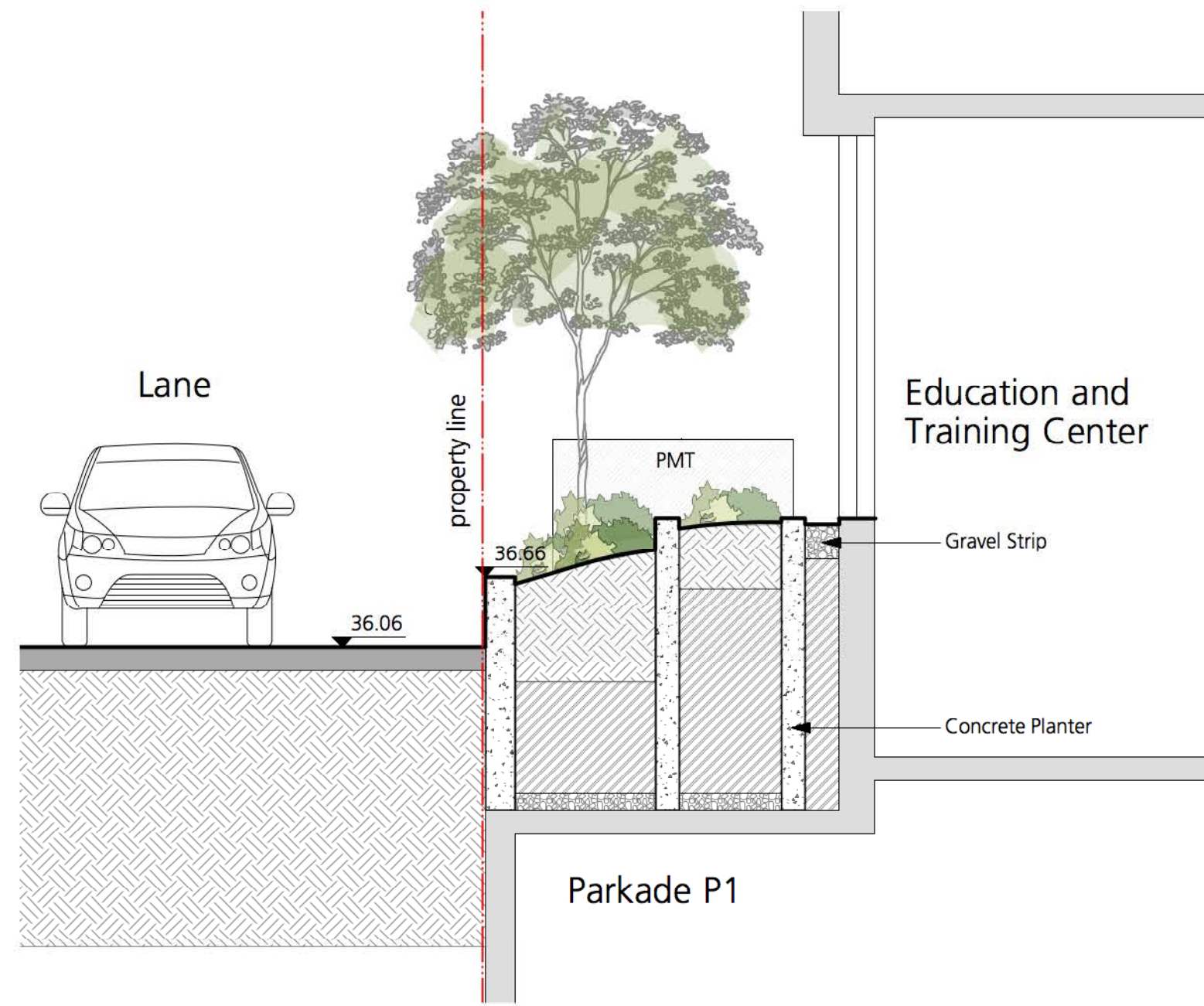
L4.0



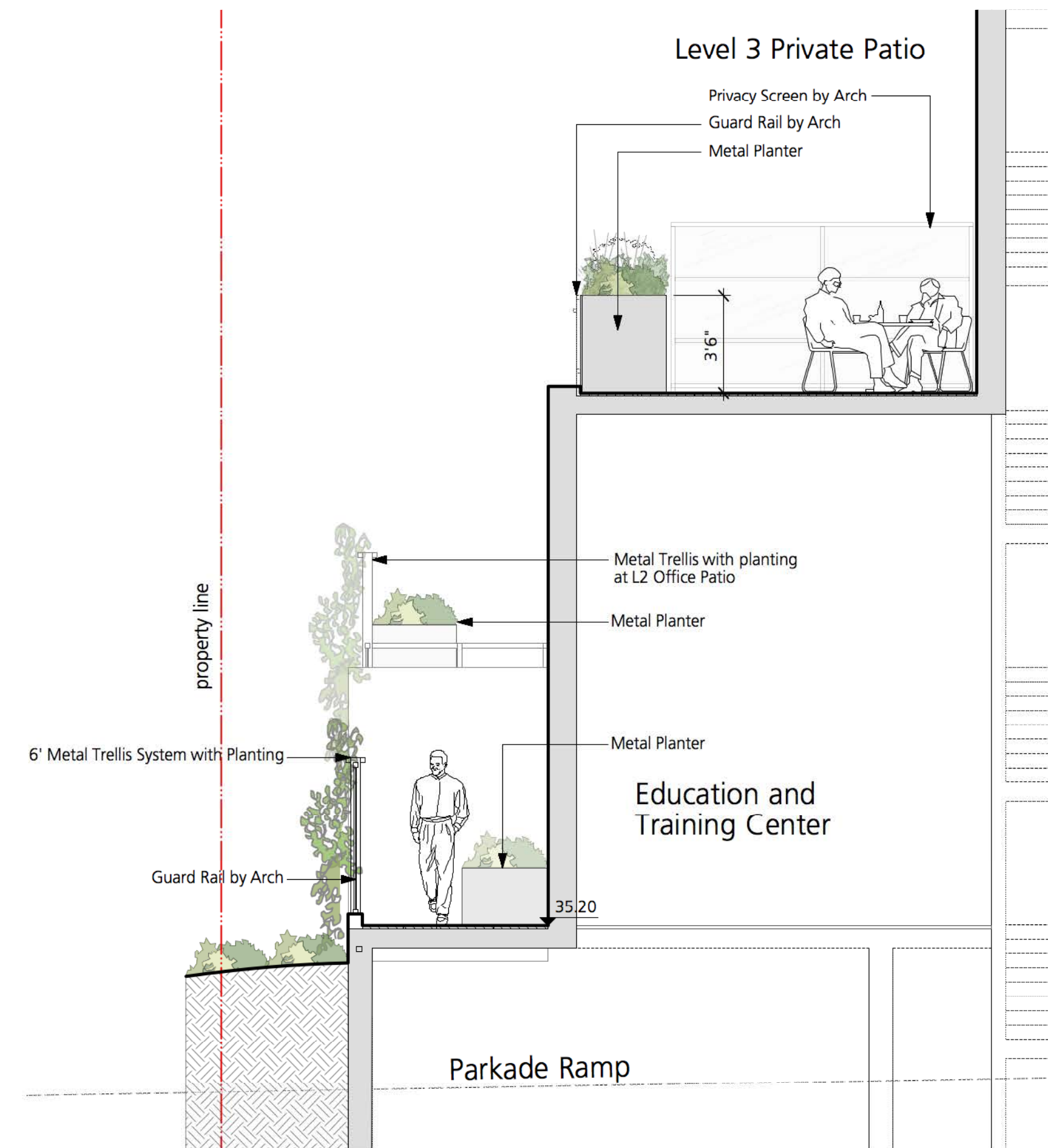
1 Section 1 - Metal Trellis System with Planting
1:50



2 Section 2 - L6 Roof Top Community Garden
1:50



3 Section 3 - Stepped Planter at Lane
1:50



4 Section 4 - Common Patio and L3 Patio
1:50

3	Issued for Rezoning	2020/10/06
2	Issued for Review	2020/07/13
1	Issued for Discussion	2019/04/08
Revision No.		Date

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Client:
DYS Architecture

Project Title:
**Vesta/VSTA
Mixed Use**

Drawing Title:
**Landscape
Illustrative Section**

Project North:	Drawn By:	TT
	Checked By:	JP
Scale:	Job No.:	17-074
As Shown		
Sheet No.:		

Proposed Design Elements



Hydrapressed Slab at Common Patio



Cast in Place Concrete Paving



Concrete Planters



Metal Planters



Movable Table & Chair



Bike Racks

L6 Roof Top Amenity



Hydrapressed Slab at Roof Top



Play Area



Garden Pot



Potting Table



Cedar Chair



Wood Bench with Tool Storage

Metal Trellis System with Planting



Metal Trellis System
- Cable with Wall Attachment



Metal Trellis System
- Cable with Trellis Column



Clematis armandii



Clematis montana



Lonicera ciliosa

Plant Material



Lonicera pileata



Cotoneaster procumbent



Acer rubrum

4	Issued for Rezoning	2020/10/06
3	Issued for Review	2020/07/13
2	Issued for Coordination	2020/06/09
1	Issued for Discussion	2019/04/08
Revision No.		Date

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Client:
DYS Architecture

Project Title:
**Vesta/VSTA
Mixed Use**

Drawing Title:
**Landscape
Precedent Images**

Project North:	Drawn By:	TT
	Checked By:	RB
Scale:	Job No.:	17-074
Sheet No.:		

13TH AVENUE



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**LEVEL 01
PARKING LEVEL 01
AREA OVERLAY**

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DATE NOV 20, 2020

A2.02a



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**FLOOR PLAN
LEVEL 02**

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DATE NOV 20, 2020

A2.03a

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AREA OVERLAY
LEVEL 03

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PROJECT A219452
DRAWN NM CHECKED DJ

SCALE 1/8" = 1'
DATE NOV 20, 2020

A2.04a



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AREA OVERLAY LEVEL 04-05

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DATE NOV 20, 2020

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AKED DJ



