



REFERRAL REPORT

Report Date: May 4, 2021
Contact: Yardley McNeill
Contact No.: 604.873.7582
RTS No.: 14447
VanRIMS No.: 08-2000-20
Meeting Date: May 18, 2021

TO: Vancouver City Council
FROM: General Manager of Planning, Urban Design and Sustainability
SUBJECT: CD-1 Rezoning: 3353 Cambie Street

RECOMMENDATION

- A. THAT the application by Radiant City Architecture on behalf of Cosmo Cambie Holdings Ltd., the registered owner of the land at 3353 Cambie Street [*Lots 5 and 6, Block 520A, District Lot 526, Plan 2412; PIDs 008-585-300 and 008-585-326 respectively*], to rezone the land from C-2 (Commercial) District to CD-1 (Comprehensive Development) District, to increase the maximum floor space ratio (FSR) from 2.5 to 3.01 and the maximum building height from 13.8 m (45 ft.) to 24 m (79 ft.) to permit the development of a six-storey office building, with ground-floor commercial units and a private childcare facility, be referred to a Public Hearing together with:
- (i) plans prepared by Radiant City Architecture, received June 4, 2020 and supplemental plans received January 27, 2021;
 - (ii) draft CD-1 By-law provisions, generally as presented in Appendix A; and
 - (iii) the recommendation of the General Manager of Planning, Urban Design and Sustainability to approve the application in principle, including approval in principle of the form of development, subject to the Conditions of Approval contained in Appendix B;

FURTHER THAT the Director of Legal Services be instructed to prepare the necessary CD-1 By-law generally in accordance with Appendix A for consideration at Public Hearing.

- B. THAT, if the application is referred to a Public Hearing, the application to amend the Sign By-law to establish regulations for this CD-1, generally as set out in Appendix C, be referred to the same Public Hearing;

FURTHER THAT the Director of Legal Services be instructed to prepare the necessary by-law, generally as set out in Appendix C, for consideration at the Public Hearing.

- C. THAT, subject to enactment of the CD-1 By-law, the Noise Control By-law be amended to include this CD-1 in Schedule B, generally as set out in Appendix C;

FURTHER THAT the Director of Legal Services be instructed to bring forward the amendment to the Noise Control By-law at the time of the enactment of the CD-1 By-law.

- D. THAT Recommendations A through C be adopted on the following conditions:
- (i) THAT the passage of the above resolutions creates no legal rights for the Applicant or any other person, or obligation on the part of the City and any expenditure of funds or incurring of costs is at the risk of the person making the expenditure or incurring the cost;
 - (ii) THAT any approval that may be granted following the public hearing shall not obligate the City to enact a by-law rezoning the property, and any costs incurred in fulfilling requirements imposed as a condition of rezoning are at the risk of the property owner; and
 - (iii) THAT the City and all its officials, including the Approving Officer, shall not in any way be limited or directed in the exercise of their authority or discretion, regardless of when they are called upon to exercise such authority or discretion.

REPORT SUMMARY

This report evaluates an application to rezone 3353 Cambie Street from C-2 (Commercial) District to CD-1 (Comprehensive Development) District, to permit the development of a six-storey office building, with ground-floor commercial and a private childcare facility, over three levels of underground parking. A height of 24 m (79 ft.) and a floor space ratio (FSR) of 3.01 FSR are proposed.

Staff have assessed the application and conclude that it generally meets the intent of the *Cambie Corridor Plan*. Staff recommend that the application be referred to Public Hearing, together with the recommendation of the General Manager of Planning, Urban Design and Sustainability to approve it, subject to Public Hearing, and subject to the conditions in Appendix B.

COUNCIL AUTHORITY/PREVIOUS DECISIONS

Relevant Council Policies for this site include:

- Cambie Corridor Plan and Cambie Corridor Public Realm Plan (2018)
- Green Buildings Policy for Rezonings (2010, last amended 2020)
- Community Amenity Contributions – Through Rezonings (1999, last amended 2020)
- Urban Forest Strategy (2014)

- Vancouver Development Cost Levy By-law No. 9755

REPORT

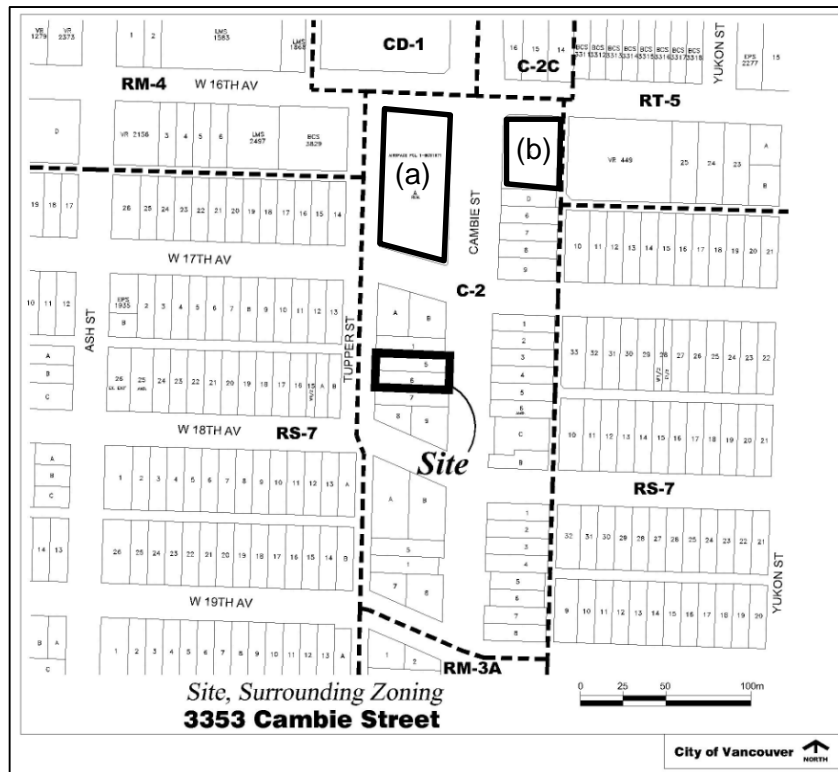
1. Site and Context

The subject site is located midblock on the west side of Cambie Street between 17th and 18th Avenues, with a frontage of approximately 20 m (66 ft.) on Cambie Street and a depth of approximately 43 m (141 ft.). Zoned C-2, it is approximately 871.4 sq. m (9,380 sq. ft.) in size and is currently developed with a one-storey commercial building containing five commercial retail units (CRUs). This existing building was constructed in 1940 and renovated in 1980. It is not deemed to have heritage value.

Significant development nearby includes two six-storey mixed-use developments: one at 3228 Cambie Street which was developed in 2004 and a recently approved rezoning application at 3220 Cambie Street (see Figure 1).

The subject site is located between the King Edward and the Broadway-City Hall Canada Line stations, with convenient bus service on Cambie Street.

Figure 1: Location Map - Site and Context



- (a) 3228 Cambie Street, a rezoning site approved in 2004 for a six-storey mixed-use development.
- (b) 3220 Cambie, a rezoning site recently approved for six-storey mixed-use development.

2. Policy Context

Cambie Corridor Plan – The *Cambie Corridor Plan* (the “*Plan*”) guides the transformation of the corridor into an area where people can live, work, shop, play and learn – all within walking distance to rapid transit. The site is located within the Cambie Village neighbourhood of the *Plan*, which provides direction to allow additional residential and office space above commercial uses to enhance the vitality of the area and to provide local-serving shops and services.

Specifically, the subject site falls under subsection 4.1.1 of the *Plan*, which supports mixed-use buildings up to six storeys. A density range of 2.5 to 3.0 FSR is suggested. The supportable density is determined by analysis based on site-specific urban design and public realm performance. Buildings are expected to activate and enhance adjacent lanes by providing active uses or townhouses at the rear.

Across the lane to west, sites are zoned RS-7 which allows one- and two-family dwellings and encourages the retention and renovation of existing character homes.

Strategic Analysis

1. Proposal

In accordance with the *Cambie Corridor Plan*, this application proposes to rezone the site from C-2 (Commercial) District to CD-1 (Comprehensive Development) District to allow the development of a six-storey office building with commercial at grade, a privately owned childcare facility on Level 2 and office space above (see Figure 2). The overall density is 3.01 FSR and the maximum building height is 24 m (79 ft.).

The building includes four small street-level retail units intended to complement the finer grain, local-serving retail context of the Cambie Village. The childcare facility occupies all of Level 2 and has outdoor play space at the rear. Four storeys of offices are above. Access to the childcare is provided off Tupper Street. A shared outdoor amenity area for the office occupants is located on the roof. There are three levels of underground parking with access provided from Tupper Street.

Figure 2: Aerial View from Tupper Street



2. Land Use

The *Cambie Corridor Plan* anticipates mixed-use development in this area, meaning primarily residential with commercial use at grade. While the *Plan* does not anticipate office use above the ground floor, it can provide much needed local-serving job space, which is supported by the *Plan*. The provision of a private childcare facility is also supported.

3. Height, Density, and Form of Development

(refer to drawings in Appendix E and statistics in Appendix H)

In assessing urban design performance, staff take into consideration the built-form guidance within the *Cambie Corridor Plan* for the Cambie Village neighbourhood and for Mixed-Use Buildings on Arterials.

Existing Zoning – If the site was to redevelop under the existing C-2 zoning, a four-storey commercial building could be constructed, with a density up to 2.5 FSR.

Form of Development – The site is a mid-block lot in an area of particularly deep lots, double-fronting between Cambie and Tupper Streets. The *Plan* anticipates a built form with six-storey massing fronting Cambie Street and three storeys along Tupper Street to provide a transitional scale to the residential context to the west. Retail uses are anticipated at grade in keeping with the local shopping character of Cambie Village. The *Plan* allows consideration of residential, or commercial and institutional uses on the upper storeys. Buildings should activate and enhance Tupper Street by providing townhouses or active uses at the rear. Internal courtyards are recommended to improve livability and access to daylight for residential proposals that include townhouses at the lane. This application proposes a six-storey office building with four retail/restaurant units at grade and no residential uses or townhouses. As such, the building does not provide an internal courtyard. Instead, the commercial units at the ground floor extend to the rear to animate Tupper Street.

Height – The massing profile generally fits within the heights permitted in the *Plan*, with a six-storey building along the Cambie Street frontage and a one-storey portion at the rear of the site where the ground-floor commercial uses extend to Tupper Street.

The one-storey extension to the rear includes a restaurant and daycare entrance at grade facing Tupper Street, and outdoor space above for the childcare facility at Level 2. While at a lower height than the three storeys anticipated by the *Plan*, this one-storey component will allow for visual interest through variation in the street-wall height along Tupper Street as it changes over time with redevelopment of neighbouring properties. The height of the one-storey portion at Tupper Street is 6.7 m (22 ft.) to account for a 1.2 m (4 ft.) drop in grade and to allow for clearance for the parking entry.

Due to the higher ceiling heights required for the office and childcare uses, the overall height of the proposed six-storey building is taller than what would be expected of a six-storey building with residential. The height as viewed from Cambie Street is 22 m (73 ft.). Due to the slope of the site, the height as viewed from Tupper Street is 24 m (79 ft.). The six-storey massing is located towards Cambie Street and is approximately 19 m (63 ft.) from Tupper Street, which mitigates the impact of the additional height.

Shadows – Staff have assessed the shadow impact of the six-storey proposal and determined that no significant shadowing will occur on properties along Tupper Street to the west. The

proposal will cast shadow onto the courtyard of the adjacent mixed-use building to the north, however there would be no additional impact than that created by a four-storey building under the site's current C-2 zoning.

Setbacks – Along Cambie Street, the *Plan* recommends setbacks above the fourth storey to reduce the prominence of the additional height and to create a street-wall height that better aligns with the height of four-storey buildings permitted under the base zoning. The higher ceiling heights required for the childcare and office uses, as compared to residential uses, result in a higher street wall for this proposal. Staff have included a condition to provide additional setbacks above the third storey to provide better alignment with future development on this block.

Density – For this site, the *Plan* permits a density range of 2.5 to 3.0 FSR based on urban design performance following the built form guidelines. The application meets with the objectives of the guidelines and proposes a density of 3.01 FSR of mostly commercial uses. Floor area is also provided for the private childcare facility and it is expected to accommodate 37 spaces, subject to licensing requirements and design.

Neighbourhood Character – The shopping area of Cambie Village has a strong local identity and serves as a neighbourhood shopping area. The building proposes four small retail/restaurant units at the ground floor along Cambie Street, consistent with a local shopping function. Staff have also included conditions to be addressed at the next stages of design to ensure the new building continues to build upon the local identity through building materials, treatments, and the public realm interface.

Public Realm – Tupper Street to the rear of the site currently functions as a lane with back-of-house uses for the commercial units at Cambie Street. The *Cambie Corridor Public Realm Plan* identifies Tupper Street as a “Lane Connector.” These are lanes or streets within one block of Cambie Street which are intended to become part of an expanded pedestrian movement network connecting key transit nodes and arterials. The *Plan* anticipates new sidewalks and building features that animate and improve the character and pedestrian experience of Tupper Street. New buildings may provide animation in a variety of ways, including through secondary entries, public spaces and design elements to enliven the ground plane. The proposal includes entrances to the daycare and the restaurant from Tupper Street, as well as access to required building services, such as to the parkade and to a hydro transformer (PMT). A condition of rezoning seeks further improvements to provide greater vibrancy and enhancement to the public realm at Tupper Street, including screening of service functions.

Urban Design Panel – A review by the Urban Design Panel was not required as the proposal is consistent with the provisions of the *Plan*.

Figure 3: Perspective View

Staff have reviewed the site-specific conditions, and have concluded that the proposed uses and form of development are generally consistent with the expectations of the *Plan*. Further refinements to the massing, architectural expression, materiality, and public realm are required at the next stage to improve the fit with the neighbourhood character, as outlined in the rezoning conditions. Staff support the application subject to the Urban Design conditions detailed in Appendix B.

4. Childcare Facility

This development will include a 37-space, private childcare facility on Level 2. It occupies a total 772 sq. m (8,305 sq. ft.), with 442 sq. m (4,698 sq. ft.) of indoor space and 335 sq. m (3,607 sq. ft.) of contiguous outdoor space. The childcare's outdoor activity space will face west overlooking Tupper Street. The facility will go through further design development during the subsequent phases of the approval process and it will be required to meet the *City of Vancouver's Childcare Design Guidelines*. Design development will also be necessary to ensure that the facility is licensable by Vancouver Coastal Health's *Community Care Facilities Licensing*.

5. Transportation and Parking

Vehicle and bicycle parking is provided on three levels of underground parking, accessed from Tupper Street. The application proposes a total of 36 vehicle parking spaces and two Class A loading spaces. Parking and loading is to meet the requirements of the Parking By-law. A reduction of one Class B loading space is supported if two Class A loading spaces are provided in lieu.

The application proposes 10 Class A bicycle spaces and six Class B bicycle spaces, meeting the Parking By-law requirement.

Engineering conditions of approval are set out in Appendix B, which also address the above parking requirements.

6. Environmental Sustainability and Natural Assets

Green Buildings – The *Green Buildings Policy for Rezonings* requires that residential rezoning applications satisfy either the near zero emission buildings or the low emissions green buildings conditions outlined in the policy.

This application has opted to satisfy the *Green Buildings Policy for Rezonings* under the low emissions green buildings requirements. The low emissions green buildings pathway represents City priority outcomes, establishing limits on heat loss, energy use, and greenhouse gases, and drawing on industry best practices to create more efficient, healthy and comfortable homes and workplaces. The Applicant has submitted preliminary energy modeling analysis detailing building performance strategies to meet the energy use intensity, greenhouse gas and thermal demand targets. Additionally, all developments will need to meet rainwater management requirements for retention, rate control, cleaning, and safe conveyance. Conditions are included in Appendix B.

Natural Assets – The *Urban Forest Strategy* was developed to find ways to help preserve, protect and strengthen Vancouver’s urban forest and tree canopy for the future. The *Protection of Trees By-law* aims to maintain a healthy urban forest by requiring permission be sought to remove trees which meet certain conditions. The intent is to retain and protect as many healthy, viable trees as possible, while still meeting the challenges of development, housing priorities and densification. This is in keeping with City goals to achieve resilient and healthy natural systems in our urban area.

Three City street trees are associated with this development, which will be retained and protected. See Appendix B for landscape and tree conditions.

7. Public Input

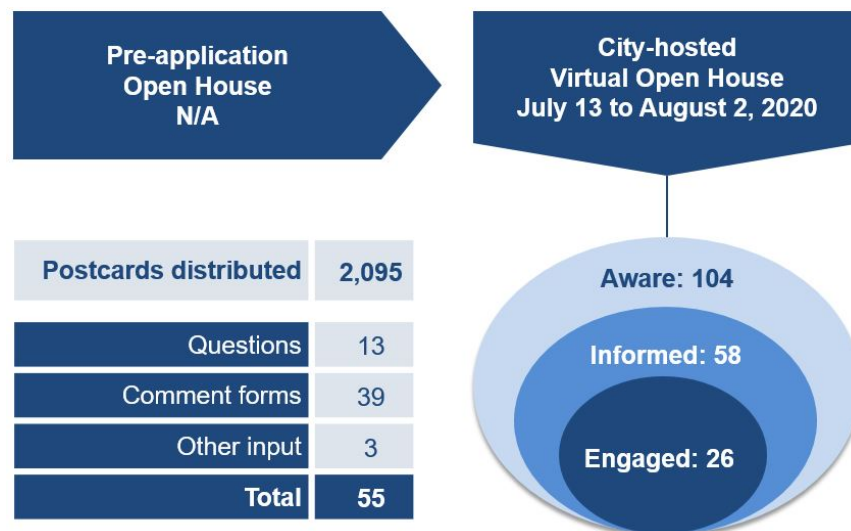
Public Notification – A rezoning information sign was installed on the site on July 2, 2020. Approximately 2,095 notification postcards were distributed within the neighbouring area on or about June 24, 2020. Notification and application information, as well as an online comment form, was provided on the City’s new digital engagement platform *Shape Your City Vancouver* (shapeyourcity.ca/).

Virtual Open House – In-person open houses were put on hold based on the provincial health authority’s restrictions for public gatherings due to the COVID-19 pandemic. In lieu of an in-person event, a virtual open house was held from July 13 to August 2, 2020 on the *Shape Your City* platform. The virtual open house consisted of an open-question online event where questions were submitted and posted with a response over a period of three weeks. Digital presentations from the City and the Applicant were posted for online viewing, along with a digital model representation of the proposed application.

Due to the pandemic, a virtual engagement strategy was put in place to ensure the City’s process for public discussion and obtaining feedback was maintained. This virtual approach allowed people to access materials online and engage at different levels at a time and location of their choosing. An extended virtual open house period allowed people to ask questions regarding the proposal, which staff actively monitored and responded to publicly.

Public Response and Comments – Public input was received throughout the application process through online questions and comment forms, and by email and phone. A total of 55 submissions were received. A summary of all public responses is found in Appendix D.

Figure 4: Overview of Notification, Responses and Overall Position



Below is a summary of feedback received from the public by topic and ordered by frequency. Generally, comments of support fell within the following areas:

- **Building height, density, massing and context:** Proposal fits well with the Cambie Village area and conforms to the *Cambie Corridor Plan*.
- **Building design:** The rooftop amenity and childcare spaces are well designed.
- **Employment opportunities:** The proposal provides more opportunities for local employment and is beneficial to the community.
- **Childcare:** Additional childcare provided in this area of the Cambie Corridor is greatly appreciated and welcomed.

Generally, comments of concern fell within the following areas:

- **Building height, density, and massing and context:** The proposal does not fit with the surrounding neighbourhood context and lacks character. The height proposed is too tall for the Cambie Village area.
- **Building design:** The proposed building design does not compliment the buildings in the surrounding area. It looks out of place and feels very clinical and monolithic, which gives the surrounding area an industrial feel that clashes with the rest of the Cambie Village aesthetic. The glass/metal retail frontage is very homogenous and is too similar to designs found in downtown Vancouver, which strips away the uniqueness of the varied architectural designs of the Cambie Village. The backside of the building, which

acts as the entrance to the parkade, is a concern for residents as it faces Tupper Street directly, creating a visual discrepancy for residents facing the back of the building.

- **Local businesses:** Small local businesses are being pushed out by this redevelopment with no promises that they will return, creating a great loss for community members and a loss of character for the Cambie Village area. Concerns over the type of replacement business which may be chain restaurants and stores, and over the impact that this will have on the unique nature of the Cambie Village.
- **Shadowing:** Concerns over shadowing for the surrounding buildings, as well as the houses directly west of the proposed building.
- **Traffic:** Influx of traffic onto Tupper Street is a concern, as this street has seen an increased amount of traffic in recent years.

Response to Public Comments

Height, Density, and Form of Development – The proposed use and form of development is generally consistent with the expectations of the *Cambie Corridor Plan*.

Neighbour Character and Architectural Fit – The built form guidelines in the *Plan* for this area include guidance for retail frontages to encourage street character with identifiable, inviting, continuous and transparent shop fronts. The intent is to achieve smaller retail spaces, which reinforce the scale of a walkable shopping street. The application is proposing four spaces to maintain the small scale of the storefronts. Conditions related to refinements to the massing, architectural expression, materiality, and public realm are included in Appendix B and will be further reviewed through the development permit process.

Displacement of small businesses – Leases in the proposed new building will be managed by the owner/lessor. The City currently does not have policy to regulate commercial displacement through redevelopment. The owner/lessor is encouraged to work with the current tenants to keep them informed of development timelines and provide options for first right-of-refusal. The City has ongoing work to develop options for supporting commercial tenants. On October 22, 2020, Council received the *Employment Lands & Economy Review Phase 2 Report: Emerging Directions for Consideration Through Vancouver Plan* and directed staff to continue working with community stakeholders, the public and key partners to refine and expand the directions through the Vancouver Plan process. Supports for commercial tenants, including options for mitigating the impacts of commercial redevelopment, were identified as important directions for consideration as part of the Vancouver Plan and will be further developed through this initiative.

Traffic and Parking – Engineering staff reviewed the proposed development for transportation safety issues on site and adjacent to the site, and have included conditions in Appendix B to deliver improvements. Parkade access is required to be located at Tupper Street as it cannot be located along Cambie Street, as it would significantly impact pedestrian and vehicular traffic for this busy arterial street. The number of parking spaces is to meet the Parking By-law. Given the use and scale of the development, anticipated improvements, and its close proximity to frequent transit and cycling infrastructure, staff do not anticipate any meaningful impacts to existing roadway network operations or safety.

8. Public Benefits

Development Cost Levies (DCLs) – The site is subject to the City-wide DCL and the Utilities DCL, which will be calculated on the proposed 2,621 sq. m (28,213 sq. ft.) of commercial floor area. Based on rates in effect as of September 30, 2020, total DCLs of approximately \$577,520 are anticipated from this development. The private childcare facility proposed in this development is not eligible for the reduced childcare DCL rate because it would not meet the not-for-profit requirement stipulated in Vancouver DCL and Utilities DCL By-laws.

DCL rates are subject to future adjustment by Council including annual inflationary adjustments. DCLs are payable at building permit issuance based on rates in effect at that time. A development may qualify for 12 months of in-stream rate protection from DCL rate increases, provided that an application has been received prior to the rate adjustment. See the City's [DCL Bulletin](#) for details on DCL rate protection.

Public Art Program – The *Public Art Program for Rezoned Developments* requires rezoning applications, having a floor area of 9,290 sq. m (100,000 sq. ft.) or greater, to provide on-site artwork or cash-in-lieu as a condition of rezoning. As the proposed floor area is below the minimum threshold, no public art contribution will arise from this application.

Community Amenity Contributions (CACs) – Within the context of the City's *Financing Growth Policy* and the *Cambie Corridor Plan*, an offer of a CAC to address the impacts of rezoning can be anticipated from the owner of a rezoning site. CAC offers typically include either the provision of on-site amenities or a cash contribution towards other public benefits and they take into consideration community needs, area deficiencies and the impact of the proposed development on City services.

To provide more certainty and clarity and to improve processing efficiency for rezoning applications, an approach to CACs based on a target CAC rate has been implemented for mixed-use sites within the *Cambie Corridor Plan*. The target CAC for this area is based on a mixed-use development with commercial at grade and strata residential above. As this proposal is for an entirely commercial development with a privately-owned childcare facility, the fixed-rate CAC does not apply and the application underwent a negotiated CAC approach.

Staff have reviewed the applicant's development pro forma. The review compared the land value under existing C-2 zoning which allows for 2.5 FSR of strata residential with at-grade commercial, and comparing that to the proposed rezoning to 3.01 FSR of office use with childcare and at-grade commercial. Real Estate Services staff have concluded that the proposed rezoning does not provide greater land value above the existing zoning. As such, no CAC offering is proposed for this rezoning.

See Appendix F for details of the *Cambie Corridor Plan* Public Benefits Implementation Tracking and Appendix G for a summary of all of the public benefits for this application.

Financial Implications

Based on rates in effect as of September 30, 2020, total DCLs of approximately \$577,520 would be expected from this development.

No public art contribution or CAC is expected from this rezoning.

CONCLUSION

Staff review of the application has concluded that the proposed land use, density, housing mix, form of development and public benefits are consistent with the intent of the *Cambie Corridor Plan*. Staff further conclude that the proposed form of development represents an appropriate urban design response to the site and context.

The General Manager of Planning, Urban Design and Sustainability recommends that the application be referred to Public Hearing together with the draft CD-1 By-law provisions generally shown in Appendix A with a recommendation that these be approved, subject to the Public Hearing, along with the conditions of approval listed in Appendix B, including approval in principle of the form of development as shown in plans included as Appendix E.

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**3353 Cambie Street
DRAFT BY-LAW PROVISIONS**

Note: A By-law to rezone an area to CD-1 will be prepared generally in accordance with the provisions listed below, subject to change and refinement prior to posting.

Zoning District Plan Amendment

1. This By-law amends the Zoning District Plan attached as Schedule D to By-law No. 3575, and amends or substitutes the boundaries and districts shown on it, according to the amendments, substitutions, explanatory legends, notations, and references shown on the plan marginally numbered Z-() attached as Schedule A to this By-law, and incorporates Schedule A into Schedule D of By-law No. 3575.

[Note: Schedule A, not attached to this appendix, is a map that amends the City of Vancouver zoning map. Should the rezoning application be referred to public hearing, Schedule A will be included with the draft by-law that is prepared for posting.]

Designation of CD-1 District

2. The area shown within the heavy black outline on Schedule A is hereby designated CD-1 ().

Uses

3. Subject to Council approval of the form of development, to all conditions, guidelines and policies adopted by Council, and to the conditions set out in this By-law or in a development permit, the only uses permitted within CD-1 (), and the only uses for which the Director of Planning or Development Permit Board will issue development permits are:
 - (a) Cultural and Recreational Uses;
 - (b) Office Uses;
 - (c) Retail Uses;
 - (f) Service Uses;
 - (g) Institutional Uses;
 - (h) Accessory uses, customarily ancillary to the uses permitted in this section.

Conditions of use

4. All commercial uses and accessory uses must be carried on wholly within a completely enclosed building, except for the following:
 - (a) Farmers' Market;

- (b) Neighbourhood Public House;
- (c) Public Bike Share;
- (d) Restaurant; and
- (d) Display of flowers, plants, fruits and vegetables in conjunction with a permitted use.

Floor area and density

- 5.1 Computation of floor area must assume that the site area is 871.4 m², being the site area at the time of the application for the rezoning application evidenced by this By-law, and before any dedications.
- 5.2 The floor space ratio for all uses combined must not exceed 3.01.
- 5.3 The total floor area must include a minimum of 400 m² for a Child Day Care Facility.
- 5.4 Computation of floor area must include all floors of all buildings, having a minimum ceiling height of 1.2 m, both above and below ground level, measured to the extreme outer limits of the buildings.
- 5.5 Computation of floor area must exclude:
 - (a) balconies and decks and any other appurtenances which, in the opinion of the Director of Planning, are similar to the foregoing, provided that:
 - (i) the total area of these exclusions does not exceed 12% of the floor area being provided;
 - (ii) the balconies must not be enclosed for the life of the building.
 - (b) patios and roof gardens, if the Director of Planning first approves the design of sunroofs and walls;
 - (c) where floors are used for off-street parking and loading, the taking on or discharging of passengers, bicycle storage, heating and mechanical equipment, or uses, which in the opinion of the Director of Planning are similar to the foregoing, those floors or portions thereof so used, which are at or below base surface, except that the exclusion for a parking space must not exceed 7.3 m in length.
- 5.6 Computation of floor area may exclude amenity areas, except that the total exclusion for amenity areas must not exceed 10% of the total floor area.

Building Height

- 6. Building height, measured from base surface, must not exceed 24 m.

Zoning and Development By-law

7. Sections 2 through 14 of the Zoning and Development By-law apply to this CD-1 ().

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3353 Cambie Street
CONDITIONS OF APPROVAL

Note: If the application is referred to a public hearing, these Conditions of Approval will be referenced in the Summary and Recommendations included in the hearing agenda package. Any changes to the conditions approved by Council will be contained in its decision. Applicants are advised to consult the hearing minutes for any changes or additions to these conditions.

PART 1: CONDITIONS OF APPROVAL OF THE FORM OF DEVELOPMENT

Note: Consideration by Council at the public hearing of the proposed form of development is in reference to plans prepared by Radiant City Architecture, received June 4, 2020, and supplemental drawings received January 21, 2021, and provides that the Director of Planning may allow minor alterations to this form of development when considering the detailed scheme of development submitted with the development application.

THAT, prior to approval by Council of the form of development, the Applicant shall obtain approval of a development application by the Director of Planning who shall have particular regard to the following:

Urban Design

- 1.1 Design development to better integrate the design with the Cambie Village neighbourhood character, including:
 - (a) On Cambie Street, the design should reference the highly detailed facades and smaller-scale storefronts in the context; and,
 - (b) On Tupper Street, the design should introduce elements to modify scale to better relate to the residential context, animate the public realm, and integrate required services such as the PMT and parkade entrance into the overall design.

Note to Applicant: A better fit with the neighbourhood character can be achieved through careful choice and location of high-quality materials, and further consideration of window proportions, storefront treatments, and weather protection. A more solid expression with durable materials consistent with the context (such as brick) should be provided for Level 1 to 3, with areas of greater transparency limited to the uppermost levels. Canopies at the rear daycare and restaurant entrances, and enclosure of the parkade entry with a high-quality gate should be provided. Exposed sidewalls should be articulated to create visual interest and minimize their impact in the neighbourhood. At Tupper Street, the guardrail height for the roof deck may be increased to create a higher wall at the western edge of the daycare play area, which would also provide a noise buffer for this use.

- 1.2 Design development to improve the pedestrian experience of Tupper Street consistent with the expectations of the *Cambie Corridor Public Realm Plan*.

Note to Applicant: Improvements to the public realm interface should include additional open space at the childcare and restaurant entrances at Tupper Street for patio seating, benches for waiting and gathering, landscaping, and other treatments to add character

to Tupper Street. A building setback of 1.2-1.8 m (4-6 ft.) should be provided to accommodate such features as recommended in the *Cambie Corridor Public Realm Plan*.

- 1.3 Design development to the street-wall height along Cambie Street by providing additional setbacks above Level 3 to improve the transition to existing and future development.

Note to Applicant: This will provide better alignment with height and setbacks for C-2 buildings.

- 1.4 Design development to ensure viable retail height as recommended in the *Cambie Corridor Plan*.

Note to Applicant: An increase in the floor-to-floor height should be provided for the ground-floor commercial units to a minimum 4.6 m (15 ft.). An increase in the overall building height is not anticipated with this change.

- 1.5 Design development for provision of a knockout panel at bottom of entry ramp for future access to neighbouring lot to the south.

Note to Applicant: This could be provided by reconfiguring garbage/recycling area to be in alignment with the adjacent parking stalls to provide a minimum 7 m (23 ft.) wide panel. Provision of a future shared access agreement may be required should there be future development to the south.

- 1.6 Design development to provide robust green roof. Ensure proposed green roof meets the expectations of the *Roof-mounted Energy Technologies and Green Roofs Bulletin*.

Note to Applicant: The minimum percentage of intensive or extensive green roof specified in the bulletin should be provided.

- 1.7 Identification on the architectural drawings of any built features intended to create a bird friendly design.

Note to Applicant: Refer to the *Bird Friendly Design Guidelines* for examples of built features that may be applicable, and provide a design rationale for the features noted. For more information, see the guidelines at <http://former.vancouver.ca/commsvcs/guidelines/B021.pdf>.

Crime Prevention through Environmental Design (CPTED)

- 1.8 Design development to respond to CPTED principles, having particular regard for:

- (a) Theft in underground parking;
- (b) Visibility at doors, lobbies;
- (c) Encouraging natural surveillance;
- (d) Site lighting developed with considerations for safety and security; and
- (e) Reduced opportunities for graffiti.

Landscape Design

- 1.9 Design development to enhance active pedestrian environment at Cambie Street.

Note to Applicant: This can be achieved by including public realm features such as benches, planters, weather protection, etc. Refer to Urban Design condition 1.2.

- 1.10 Design development to improve south and west edge treatments at the childcare outdoor space on second floor.

Note to Applicant: This can be achieved by combining the proposed fence around the play area with soft landscaping to provide visual depth, screening and layering.

- 1.11 Design consideration to expand landscape programming on roof amenity to include opportunities for common social interactions.

- 1.12 Design development to upgrade and enhance the lane interface.

Note to Applicant: Landscape materials should be incorporated adjacent to the lane through provision of climbing plants, hanging plants from roof above, and/or shrubs and trees of suitable growing habit.

- 1.13 Design development to the Integrated Rainwater Management Strategy to explore opportunities for on-site rainwater infiltration and soil absorption, as follows:

- (a) maximize natural landscape best management practices;
- (b) minimize the necessity for hidden mechanical water storage;
- (c) increase the amount of planting to the rooftop areas, where possible;
- (d) use permeable paving;
- (e) employ treatment chain systems (gravity fed, wherever possible); and
- (f) use grading methods to direct water to soil and storage areas.

Note to Applicant: Refer to the City of Vancouver Integrated Rainwater Management Plan (I.R.M.P), Vol.1 & 2 for further information. A consulting engineer (subject matter expert) will need to be engaged and early-phase soil analysis will be needed. Further comments may be outstanding at the development permit stage.

- 1.14 Provision of plans, plan details and documentation/calculations that support integrated rainwater management, including absorbent landscapes, soil volumes and detention systems, as follows:

- (a) detailed storm water report with calculations describing how the various best management practices contribute to the quality and quantity targets;

- (b) a separate soil volume overlay plan with schematic grading indicating intent to direct rainwater to infiltration zones; and
- (c) an overlay plan that shows amount and ratio of vegetative cover (green roof), permeable/impermeable hardscaping and notations describing the storage location of rainwater falling on each surface, including roofs.

Note to Applicant: The sustainable summary water balance calculations assume soil volumes are capable of receiving rainwater are only valid if water is directed from hard surfaces to infiltration zones.

1.15 Provision of a detailed Landscape Plan illustrating soft and hard landscaping.

Note to Applicant: The plans should be at 1/8 in.: 1 ft. scale minimum. The Plant list should include the common and botanical name, size and quantity of all existing/proposed plant material. Plant material should be clearly illustrated on the Plan and keyed to the Plant List. The landscape plan should include the public realm treatment (to the curb) and all existing or proposed street trees, adjoining walkways, surface materials, PMT/Vista transformers and public utilities such as lamp posts, hydro poles, fire hydrants.

1.16 Provision of detailed architectural and landscape cross-sections (minimum 1/4-in. scale) through common open spaces, patio areas and the public realm.

Note to Applicant: The sections should illustrate, the slab design and location, the soil profile, tree root ball, tree canopy and any associated landscaping. For private patios and amenity areas, illustrate and dimension planters on slab, planter sizes (inside dimension), soil, root ball, retaining walls, steps, patios and portions of the adjacent building, such as residential units or amenity rooms.

1.17 Coordination for the provision of new street trees or any proposed City-owned tree removals adjacent to the development site, where applicable.

Note to Applicant: New street trees to be shown and confirmed on the development permit plans. Contact Engineering Services (Streets Design Branch) at 604-871-6131 to confirm tree planting locations and Park Board at 3-1-1 for tree species selection and planting requirements. Provide a notation on the plan as follows, "*Final spacing, quantity and tree species to the satisfaction of the General Manager of Engineering Services. New trees must be of good standard, minimum 6cm caliper, and installed with approved root barriers, tree guards and appropriate soil. Root barriers shall be 8 feet long and 18 inches in. Planting depth of root ball must be below sidewalk grade. Call Park Board for inspection after tree planting completion*".

1.18 Provision of high efficiency irrigation for all planted areas and hose bibs for all patios and common areas greater than 9.3 sq. m (100 sq. ft.).

Note to Applicant: On the plan, illustrate irrigation connection points and hose bib symbols accurately and provide a highlighted note to verify the irrigation is to be designed and constructed. Hose bibs are requested to encourage patio gardening and hand watering on private patio and amenity decks.

- 1.19 Provision of an outdoor Lighting Plan.

Sustainability

- 1.20 All new buildings in the development will meet the requirements of the Green Buildings Policy for Rezonings (amended May 2, 2018), including all requirements for Near Zero Emissions Buildings (i.e. Passive House certified or alternate near zero emissions standard approved by the Director of Sustainability), or Low Emissions Green Buildings. The requirements for Low Emissions Green Buildings are summarized at <http://guidelines.vancouver.ca/G015.pdf>

Note to Applicant: The Applicant will be required to demonstrate that the development is on track to achieve the above requirements at each stage of permit. For more detail on the above requirements and what must be submitted at each stage, refer to the most recent bulletin *Green Buildings Policy for Rezonings –Process and Requirements* (amended April 28, 2017 or later).

Engineering

- 1.21 Parking, loading, and bicycle spaces shall be provided and maintained according to the provisions of the Vancouver Parking By-law.

Note to Applicant: Staff may support provision of 2 Class A loading spaces in lieu of a reduction of 1 Class B loading space, for a total of 3 Class A and 1 Class B loading spaces to be provided on site.

- 1.22 Design development to improve access and design of loading spaces and comply with the Parking and Loading Design Supplement.

Note to Applicant: Staff may support provision of 2 Class A loading spaces in lieu of a reduction of 1 Class B loading space, for a total of 3 Class A and 1 Class B loading spaces to be provided on site.

- 1.23 Water Sustainability Act: Construction dewatering is a Water Use Purpose under the Water Sustainability Act requiring a provincial Approval or License. Applications for provincial Approvals or Licenses can be completed online. The application will be received and accepted into the province's online system, and the provincial authorizations team strives for 140 days to get the approval to the Applicant. The approval holder must be able to produce their approval on site so that it may be shown to a government official upon request. Dewatering before this approval is granted is not in compliance with the provincial Water Sustainability Act. Provide a letter confirming acknowledgement of the condition.

For more information: <https://www2.gov.bc.ca/gov/content/environment/air-land-water/water/water-licensing-rights/water-licences-approvals>

- 1.24 Provision of any gas service to connect directly to the building without any portion of the service connection above grade within the road right of way.

- 1.25 Provision of construction details to determine ability to meet municipal design standards for shotcrete removal (Street Restoration Manual section 02596 and Encroachment By-law (#4243) section 3A) and access around existing and future utilities adjacent your site. Current construction practices regarding shotcrete shoring removals have put City utilities at risk during removal of encroaching portions of the shoring systems. Detailed confirmations of these commitments will be sought at the building permit stage with final design achievements certified and confirmed with survey and photographic evidence of removals and protection of adjacent utilities prior to building occupancy. Provision of written acknowledgement of this condition is required. Please contact Engineering Services for details.
- 1.26 The owner or representative is advised to contact Engineering to acquire the project's permissible street use. Prepare a mitigation plan to minimize street use during excavation and construction (i.e. consideration to the building design or sourcing adjacent private property to construct from) and be aware that a minimum 60 days lead time for any major crane erection / removal or slab pour that requires additional street use beyond the already identified project street use permissions.
- 1.27 Provision of generous and continuous weather protection on Cambie Street.
- 1.28 Design development to improve access and design of bicycle parking and comply with the Bicycle Parking Design Supplement:
- (a) Provision of wayfinding signage to the Class B bicycle parking spaces located at the lane.
 - (b) Provision of minimum 10% bicycle parking lockers accommodating a maximum of one bicycle each.
 - (c) Provision of minimum 5% oversized bicycle parking as per Parking By-law.
 - (d) Provision of automatic door openers for all doors providing access to Class A bicycle storage.
- 1.29 The following information is required for drawing submission at the development permit stage to facilitate a complete Transportation review:
- (a) A complete tech table is required showing the calculations for the minimum required parking, loading, bicycle spaces and the number of spaces being provided.
 - (b) All types of parking and loading spaces individually numbered, and labelled on the drawings.
 - (c) Dimension of column encroachments into parking stalls.
 - (d) Show all columns in the parking layouts.
 - (e) Dimensions for typical parking spaces.

- (f) Dimensions of additional setbacks for parking spaces due to columns and walls.
 - (g) Dimensions of manoeuver aisles and the drive aisles at the parkade entrance and all gates.
 - (h) Section drawings showing elevations and minimum vertical clearances for parking levels, loading bays, ramps, and security gates. These clearances must consider mechanical projections and built obstructions.
 - (i) Areas of minimum vertical clearances labelled on parking levels.
 - (j) Design elevations on both sides of the ramps and drive aisles at all breakpoints, loading bays, disability spaces, and at all entrances. The slope and length of the ramped sections at all breakpoints to be shown on the submitted drawings.
 - (k) Indicate the stair-free access route from the Class A bicycle spaces to reach the outside. Stair ramps are not generally acceptable.
 - (l) Existing street furniture including bus stops, benches etc. to be shown on plans.
 - (m) The location of all poles and guy wires to be shown on the site plan.
- 1.30 Prior to Development Permit, provide a Final Hydrogeological Study which addresses the following conditions:
- (a) Per the Preliminary Hydrogeological Study dated December 19th, 2019, include the results of the proposed hydrogeological investigation in a Final Hydrogeological Report;
 - (b) Provide a quantitative estimate (in litres per minute) of both the anticipated construction dewatering/drainage rate and the permanent (post-construction) dewatering/drainage rate. Provide calculations and details of the methodology used to determine the dewatering rates. Note that the *Groundwater Management Bulletin* defines groundwater as all water occurring below the surface of the ground within voids within a soil or rock matrix, and includes perched aquifers. Note also that terms such as “negligible” are not acceptable; and
 - (c) The Preliminary Hydrogeological Study did not consider long term groundwater seepage from perched groundwater, however the Environmental Site Assessment provided by Keystone Environmental identifies perched groundwater on site. Permanent discharge of groundwater (perched or static) to the sewer will be reviewed for approval by the City Engineer.
- 1.31 Remove existing driveway on Tupper Street and replace with full height curb, boulevard and sidewalk to current City standards.
- 1.32 Remove existing structures from future property dedication area along Cambie Street and replace with sidewalk.

- 1.33 Show all City of Vancouver supplied building grades on landscape and architectural plans.
- 1.34 Follow Cambie Village streetscape guidelines.
- 1.35 The following statement is to be placed on the landscape plan: *This plan is “NOT FOR CONSTRUCTION” and is to be submitted for review to Engineering Services a minimum of 8 weeks prior to the start of any construction proposed for public property. No work on public property may begin until such plans receive “For Construction” approval and related permits are issued. Please contact Engineering, Development Services and/or your Engineering, Building Site Inspector for details.”*

Green Infrastructure

- 1.36 Provision of a draft final Rainwater Management Plan (RWMP) prior to Development Permit issuance. As it is acknowledged that not all design components are advanced fully at this stage, placeholders will be accepted in this resubmission with the expectation the final report will include all relevant details.

Note to Applicant: The resubmission at Development Permit must include the following amendments:

- (a) Provide an updated report outlining how retention of the required 24 mm of rainwater will be achieved. Provide details of the existing and proposed development conditions including the total area, land use area breakdown and associated runoff coefficients in the body of the report. Ensure that any detention tanks provided are sized equal to the greater of either the pre-development peak flow rate storage volume or the volume of 24 mm rainfall not captured in Tier 1 & Tier 2 practices.
- (b) Justifications must be provided and be found acceptable to the City of Vancouver if not prioritizing the Tier 1 practices of Rainwater Harvesting & Reuse and Green Roofs.
- (c) Provide a summary chart of all the catchment areas which include the required retention, any direct retention achieved, and storage capacities for that catchment to provide a full picture of 24 mm retention across the site.
- (d) Ensure all calculations are provided for pre and post development peak flow rates, including R-value calculations, any assumptions used as well as references of the source of any runoff coefficients used.
- (e) Peak flow calculations to use 1:10 year return period. Inlet time = 5 minutes. Travel time to be estimated by Applicant. Ensure that the pre-development calculation uses the 2014 IDF curve values and the post-development calculation uses the 2100 IDF curve values.
- (f) Exploration into grading hardscapes into adjacent (or lower level) landscaping as referenced in the report but not detailed on the site plan. Coordination with the

landscape architect, soil storage capacities and a grading plan will be required to support this proposal.

Please use rainfall storage of 8-18% of soil volume as per Volume 2 of the City of Vancouver's Best Management Practice Toolkit dated March 2016 as opposed to soil void ratios. Please consider this as more space and greater depth of landscaped areas and/or other Best Management Practices (BMPs) may be required to achieve both Volume Reduction and Water Quality Targets.

- (g) Any proprietary treatment device proposed must be TAPE or ETV certified for 80% TSS reduction. Certification of treatment efficiency with appropriate sizing calculations should be included as part of the appendix. Provide total contributing area to the device, percent imperviousness, TSS removal criteria and total annual capture requirements. 24mm relates to a 70% capture of annual average rainfall. 48mm relates to a 90% capture of annual average rainfall.

Note to Applicant: A legal agreement related to Rainwater Management will be required prior to issuance of a Development Permit.

Note to Applicant: The Applicant is required to schedule a meeting with DWRM Branch prior to moving forward with the RWMP and submission with the DP application. To schedule the meeting, contact rainwater@vancouver.ca.

- 1.37 Provision of a final RWMP, which includes a written report, supporting calculations, computer models and drawings to the satisfaction of Engineering Services prior to the issuance of any Building Permit.

Childcare

- 1.38 Design development to ensure that the childcare facility is licensable by Vancouver Coastal Health's Community Care Facilities Licensing (CCFL) and meets the intent of the City of Vancouver's *Childcare Design Guidelines (1993)*, to the satisfaction of the General Manager of Arts, Culture and Community Services.

- (a) The childcare facility must meet all requirements of the *Childcare Design Guidelines*, including minimum indoor and outdoor space requirements as per Table 1 of the Childcare Design Guidelines.
- (b) Each licensed childcare group must have its own, separate and dedicated outdoor play space, with direct and contiguous access between indoor and outdoor program space.

Note to Applicant: Sunlight should penetrate into the outdoor area for a minimum of three hours per day at the winter solstice, two hours of which should occur during the typical playtime of 9:30 to 11:30 am or 1:30 to 4:00 pm.

- (c) Applicant to refer to the *Childcare Design Guidelines* to ensure all indoor activity spaces, support spaces and outdoor space requirements are met for each licensed group in childcare design.

Note to Applicant: Design development should ensure that the indoor and outdoor spaces are designed to maximize opportunities for healthy child development while ensuring a functional space for the operator.

- (d) One drop-off parking stall should be provided for every eight full-time equivalent childcare spaces, in addition to a minimum of two on-site parking spaces for facility staff.

Note to Applicant: Design development to ensure that the location of parking and drop-off stalls are safe and in proximity to the childcare facility elevator. Parking should avoid the need for parents and children to cross a drive aisle.

PART 2: CONDITIONS OF BY-LAW ENACTMENT

THAT, prior to enactment of the CD-1 By-law, the registered owner shall on terms and conditions satisfactory to the Director of Legal Services, the General Manager of Planning, Urban Design and Sustainability, the General Manager of Engineering Services and the General Manager of Arts, Culture and Community Services, as necessary, and at the sole cost and expense of the owner/developer, make arrangements for the following:

Engineering Services

- 2.1 Consolidation of Lots 5 and 6, Block 520A, District Lot 526, Plan 2412 to create a single parcel and subdivision of that site to result in the dedication of the easterly 3.1 m (10 ft.) for road purposes.

A subdivision plan and application to the Subdivision and Strata Group is required. For general information see the subdivision website at: <http://vancouver.ca/home-property-development/apply-to-subdivide-or-join-properties.aspx>

- 2.2 If required by the General Manager of Planning, Urban Design and Sustainability and the Director of Legal Services in their discretion, provision of a knockout panel and arrangements (legal agreements including without limitation easements, section 219 covenants, etc.) to secure access to underground parking for a future development at 3377 Cambie Street (Lot 7, Block 520A, District Lot 526, Plan VAP2412) (the Adjacent Property) as well as any other cross-boundary issues, on terms and conditions satisfactory to the Director of Legal Services and the General Manager of Engineering Services (refer to Urban Design condition 1.5).
- 2.3 Provision of a Services Agreement to detail the on-site and off-site works and services necessary or incidental to the servicing of the site (collectively called the “services”) such that they are designed, constructed and installed at no cost to the City and all necessary street dedications and rights of way for the services are provided. No development permit for the site will be issued until the security for the services are provided.
 - (a) Provision of adequate water service to meet the fire flow demands of the project.

Based on the confirmed Fire Underwriter’s Survey Required Fire Flows and domestic flows submitted by CitiWest Consulting Ltd. dated January 10, 2020, no water main upgrades are required to service the development.

Note to Applicant: The main servicing the proposed development is 150 mm along Tupper Street. Should the development require water service connections larger than 150 mm, the developer shall upsize the existing main. The developer is responsible for 100% of the cost of the upgrading.

Note to Applicant: Should the development's Fire Underwriter's Survey Required Fire Flow calculation change as the building design progresses, a resubmission to the City of Vancouver Waterworks Engineer is required for re-evaluation of the Water System.

- (b) Provision of adequate sewer (storm and sanitary) service to meet the demands of the project.

The post-development 10-year flow rate discharged to the storm sewer shall be no greater than the 10-year pre-development flow rate. The pre-development estimate shall utilize the 2014 IDF curves, whereas the post-development estimate shall utilize the 2100 IDF curves to account for climate change.

Note to Applicant: Development to be serviced to the existing 200 mm SAN and 250 mm STM sewers on Tupper Street.

- (c) Provision of street improvements along Cambie Street adjacent to the site and appropriate transitions that follow the City's "Cambie Village" streetscape design detail including the following:
- (i) 1.2 m (4 ft.) wide front boulevard with street trees where space permits;
 - (ii) Broom finish saw-cut concrete sidewalk from the edge of the front boulevard to the property line;
 - (iii) Upgraded street lighting (roadway and sidewalk) adjacent to the site to current City standards and IESNA recommendations; and
 - (iv) Adjustment to all existing infrastructure to accommodate the proposed street improvements.
- (d) Provision of street improvements along Tupper Street adjacent to the site and appropriate transitions including the following:
- (i) Front boulevard at existing width with street trees where space permits;
 - (ii) 2.14 m (7 ft.) wide broom finish saw-cut concrete sidewalk;
 - (iii) Upgraded street lighting (roadway and sidewalk) adjacent to the site to current City standards and IESNA recommendations.
 - (iv) Removal of the existing driveway crossing and reconstruction of the boulevard, sidewalk, and curb to current standards; and

- (v) Adjustment to all existing infrastructure to accommodate the proposed street improvements.

Note to Applicant: Designs details of off-site street improvements to be finalized at the development permit stage.

- (e) Provision of new or replacement duct banks adjacent the development site that meet current City standards. Duct banks are to consist of electrical and communication ducts sized to meet City needs in a configuration acceptable by the General Manager of Engineering Services and in conformance with applicable electrical codes and regulations. A detailed design will be required prior to the start of any associated street work.

Note to Applicant: As-constructed documentation will be required that includes photographic and measured evidence of the installed number of conduits, their final locations and depths.

- (f) Provision for the installation of parking regulatory signage on streets adjacent to the site.

- 2.4 Engineering Services will require all utility services to be underground for this “conditional” development. All electrical services to the site must be primary with all electrical plant, which include but not limited to System Vista, Vista switchgear, pad mounted transformers and kiosks (including non-BC Hydro kiosks) are to be located on private property with no reliance on public property for placement of these features. The Applicant shall provide written confirmation from BC Hydro that all required electrical plant be provided for on-site.

This proposed development is adjacent to existing BC Hydro electrical works. The Applicant shall submit a surveyed clearance drawing to BC Hydro showing all BC Hydro plant and dimensioned clearances from the plant to the development. The Applicant shall provide written confirmation from BC Hydro that all required clearances from BC Hydro plant have been satisfied. See BULLETIN 2015-002-EL - Clearances from Existing BC Hydro High Voltage Overhead Conductors and Transformers for more information (<https://vancouver.ca/files/cov/2015-002-clearances-from-the-existing-bc-hydro-high-voltage-overhead-conductors-and-transformers.pdf>).

Note to Applicant: Submission of a Key Plan to the City for review and approval prior to submission of any third party utility drawings. The Key Plan shall meet the specifications in the City of Vancouver Engineering Design Manual Section 2.4.4 Key Plan (<https://vancouver.ca/files/cov/2015-002-clearances-from-the-existing-bc-hydro-high-voltage-overhead-conductors-and-transformers.pdf>). All third party service lines to the development shall be shown on the plan (e.g., BC Hydro, Telus, Shaw, etc. The review of third party utility service drawings will not be initiated until the Key Plan is defined.

For questions on this requirement, please contact Utilities Management Branch at 604-829-9447 or at umb@vancouver.ca.

Sustainability

- 2.5 Enter into such agreements as the General Manager of Planning, Urban Design and Sustainability and the Director of Legal Services determine are necessary, which requires the future owner of the building to report energy use data, on an aggregated basis, for the building as a whole and certain common areas and building systems. Such an agreement will further provide for the hiring of a qualified service provider to assist the building owner for a minimum of three years in collecting and submitting energy use data to the City.

Environmental Contamination

- 2.6 As applicable:
- (a) Submit a site profile to Environmental Services (Environmental Protection);
 - (b) As required by the Manager of Environmental Services and the Director of Legal Services in their discretion, do all things and/or enter into such agreements deemed necessary to fulfill the requirements of Section 571(B) of the Vancouver Charter; and
 - (c) If required by the Manager of Environmental Services and the Director of Legal Services in their discretion, enter into a remediation agreement for the remediation of the site and any contaminants which have migrated from the site on terms and conditions satisfactory to the Manager of Environmental Services, the General Manager of Engineering Services and Director of Legal Services, including a Section 219 covenant that there will be no occupancy of any buildings or improvements on this site constructed pursuant to this rezoning until separate Certificates of Compliance satisfactory to the City for the on-site and off-site contamination, issued by the Ministry of Environment, have been issued to the City.

Note to Applicant: Where the Director of Legal Services deems appropriate, the preceding agreements are to be drawn, not only as personal covenants of the property owners, but also as registerable charges pursuant to the Land Title Act.

The preceding agreements are to be registered in the appropriate Land Title Office, with priority over such other liens, charges and encumbrances affecting the subject site as is considered advisable by the Director of Legal Services, and otherwise to the satisfaction of the Director of Legal Services prior to enactment of the By-law and at no cost to the City.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable charges, letters of credit and withholding of permits, as deemed necessary by and in a form satisfactory to the Director of Legal Services. The timing of all required payments, if any, shall be determined by the appropriate City official having responsibility for each particular agreement, who may consult other City officials and City Council.

* * * * *

**3353 Cambie Street
DRAFT CONSEQUENTIAL AMENDMENTS**

DRAFT AMENDMENTS TO THE SIGN BY-LAW NO. 11879

Amend Schedule A (Comprehensive Development Areas) by adding the following:

“3353 Cambie Street [CD-1#] [By-law #] C-2”

DRAFT AMENDMENTS TO THE NOISE BY-LAW NO. 6555

Amend Schedule B (Intermediate Zone) by adding the following:

“[CD-1 #] [By-law #] 3353 Cambie Street”

* * * * *

3353 Cambie Street
ADDITIONAL INFORMATION

1. PUBLIC CONSULTATION SUMMARY

List of Engagement Events, Notification, and Responses

	Dates	Results
Events		
Virtual open house (City-led)	July 13 – August 2, 2020	104 participants (aware)* <ul style="list-style-type: none"> • 58 informed • 26 engaged
Public Notification		
Postcard distribution – Notice of rezoning application and virtual open house	June 24, 2020	2095 notices mailed
Public Responses		
Online questions	July 13 – August 2, 2020	13 submittals
Online comment forms <ul style="list-style-type: none"> • via Shape Your City platform 	June – December, 2020	39 submittals
Overall position <ul style="list-style-type: none"> • support • opposed • mixed 	June – December, 2020	38 submittals <ul style="list-style-type: none"> • 4 responses • 31 responses • 3 responses
Other input	June – December, 2020	3 submittals
Online Engagement – Shape Your City Vancouver		
Total participants during online engagement period	June – December, 2020	398 participants (aware)* <ul style="list-style-type: none"> • 184 informed • 40 engaged

Note: All reported numbers above are approximate.

* The Shape Your City platform allows staff to capture more nuanced levels of engagement associated with the rezoning application, categorized as:

- **Aware:** Number of unique visitors to the application webpage that viewed only the main page.
- **Informed:** Visitors who viewed documents or the video/photo gallery associated with the application; *informed* participants are a subset of *aware* participants.
- **Engaged:** Visitors that submitted a comment form or asked a question; *engaged* participants are a subset of *informed* and *aware* participants.

Map of Notification Area



Analysis of All Comments Received

Below is a summary of feedback received from the public by topic and ordered by frequency.

Generally, comments of support fell within the following areas:

- **Building height, density, massing and context:** Proposal fits well with the Cambie Village area and conforms to the Cambie Corridor Plan.
- **Building design:** The rooftop amenity and daycare spaces are well designed.
- **Employment opportunities:** The proposal provides more opportunities for local employment and is beneficial to the community.
- **Childcare:** Additional childcare to the Cambie Corridor is greatly appreciated and welcomed.

Generally, comments of concern fell within the following areas:

- **Building height, density, and massing and context:** The proposal does not fit with the surrounding neighbourhood context and lacks character. The height proposed is too tall for the Cambie Village area.
- **Building design:** The proposed building design does not compliment the adjacent buildings in the surrounding area. The building design looks out of place and feels very clinical and monolithic, which gives the surrounding area an industrial feel that clashes

with the rest of the Cambie Village aesthetic. The glass/metal retail frontage is very homogenous and is too similar to designs found in downtown Vancouver, which strips away the uniqueness of the varied architectural designs of the Cambie Village. The backside of the building, which acts as the entrance to the parkade, is a concern for residents as it faces Tupper Street directly which creates a visual discrepancy for residents facing the back of the building.

- **Local businesses:** Small local businesses are being pushed out as a result of this redevelopment with no promises that they will return, which creates a great loss of character for the Cambie Village area and for community members as well. Concerns over the type of replacement business being chain restaurants and stores and the impact that this will have on the unique nature of the Cambie Village.
- **Shadowing:** Concerns over shadowing for the surrounding buildings as well as the houses directly behind the proposed building.
- **Traffic:** Influx of traffic onto Tupper Street is a concern as this street has seen an increased amount of traffic in recent years.

The following miscellaneous comments were received from the public (note: these were topics that were not ranked as highly as above).

Neutral comments/suggestions/recommendations:

- Proposal should consider scalding down to four-storeys instead so it can be better integrated to the Cambie Village area.
- Windows in the north and south walls should be considered.
- Inclusion of ride sharing stalls should be considered for this type of office development.

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**3353 Cambie Street
FORM OF DEVELOPMENT**

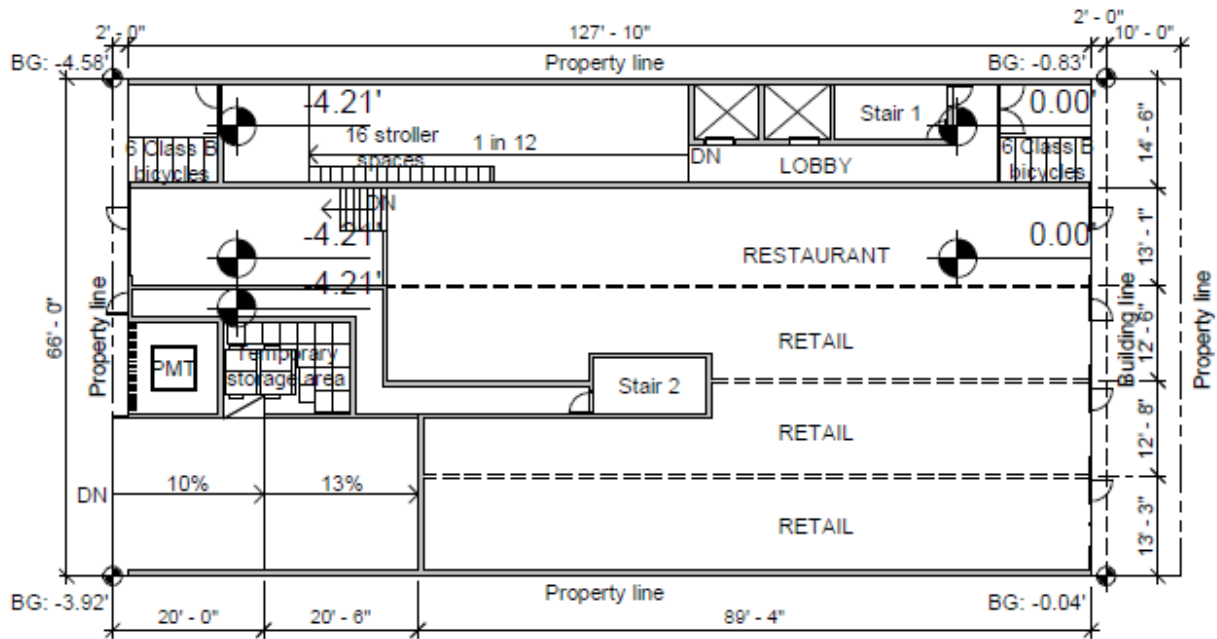
Perspective – Aerial View on Cambie Street



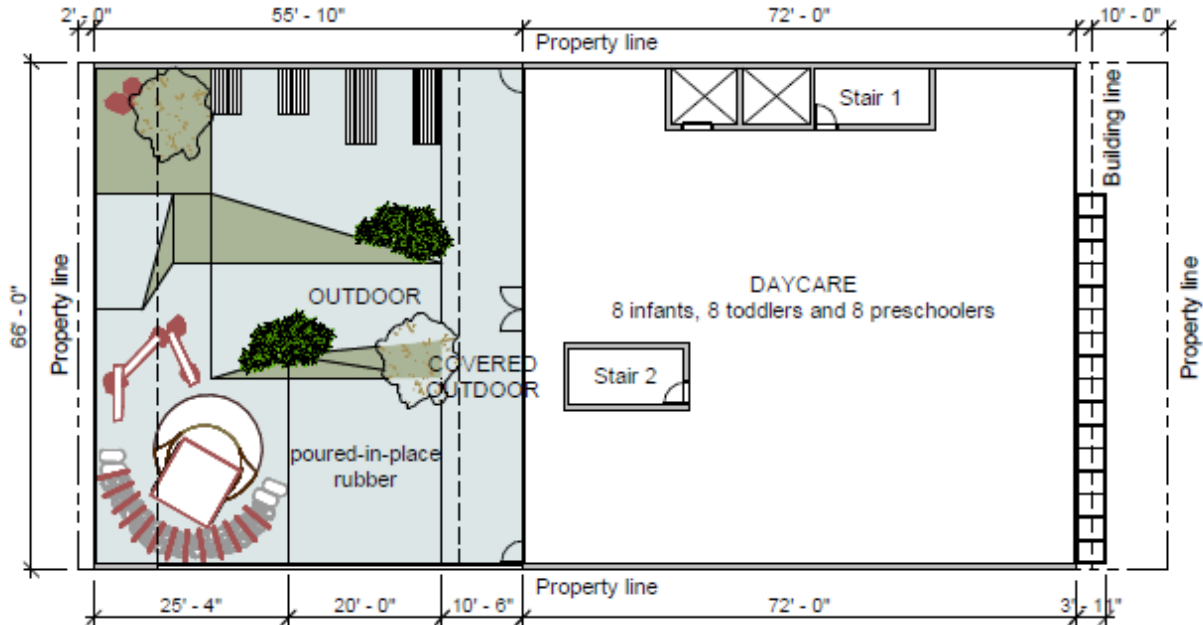
Perspective – Aerial View on Tupper Street



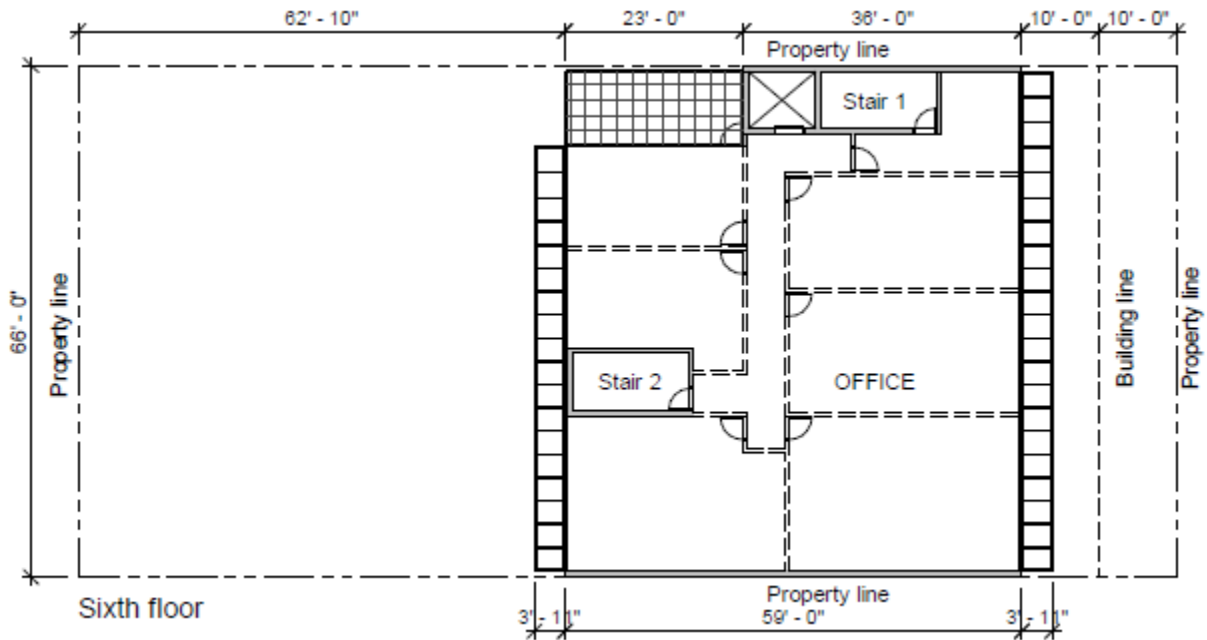
Ground Floor Plan



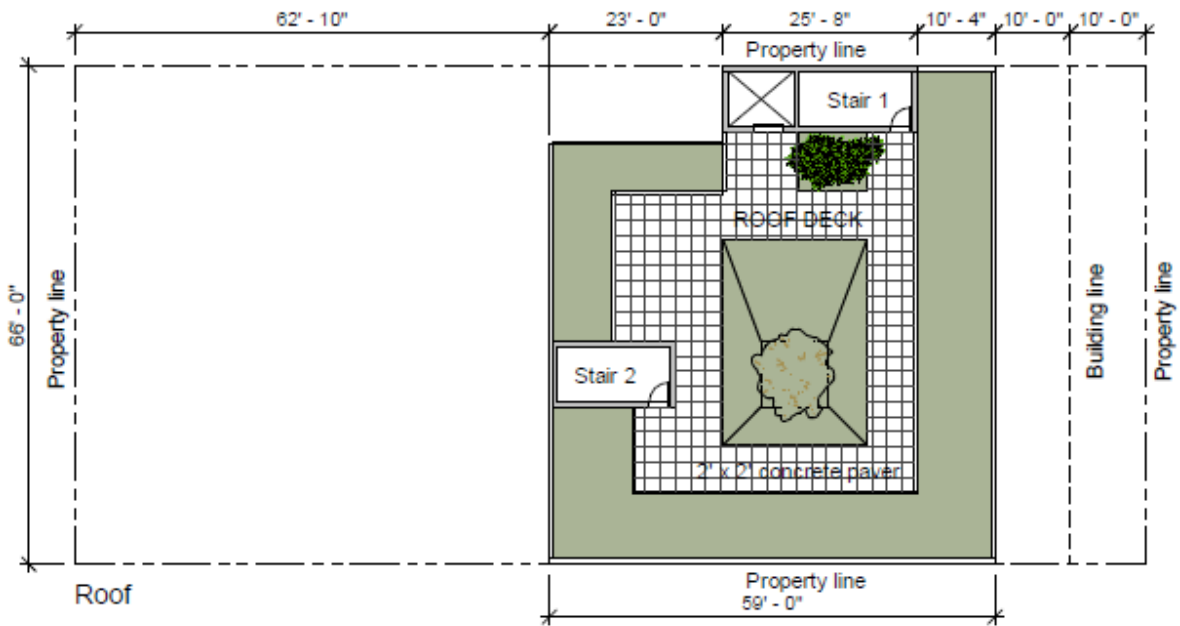
Second Floor Plan – Childcare



Typical Floor Plan – Level 3-6



Roof Plan



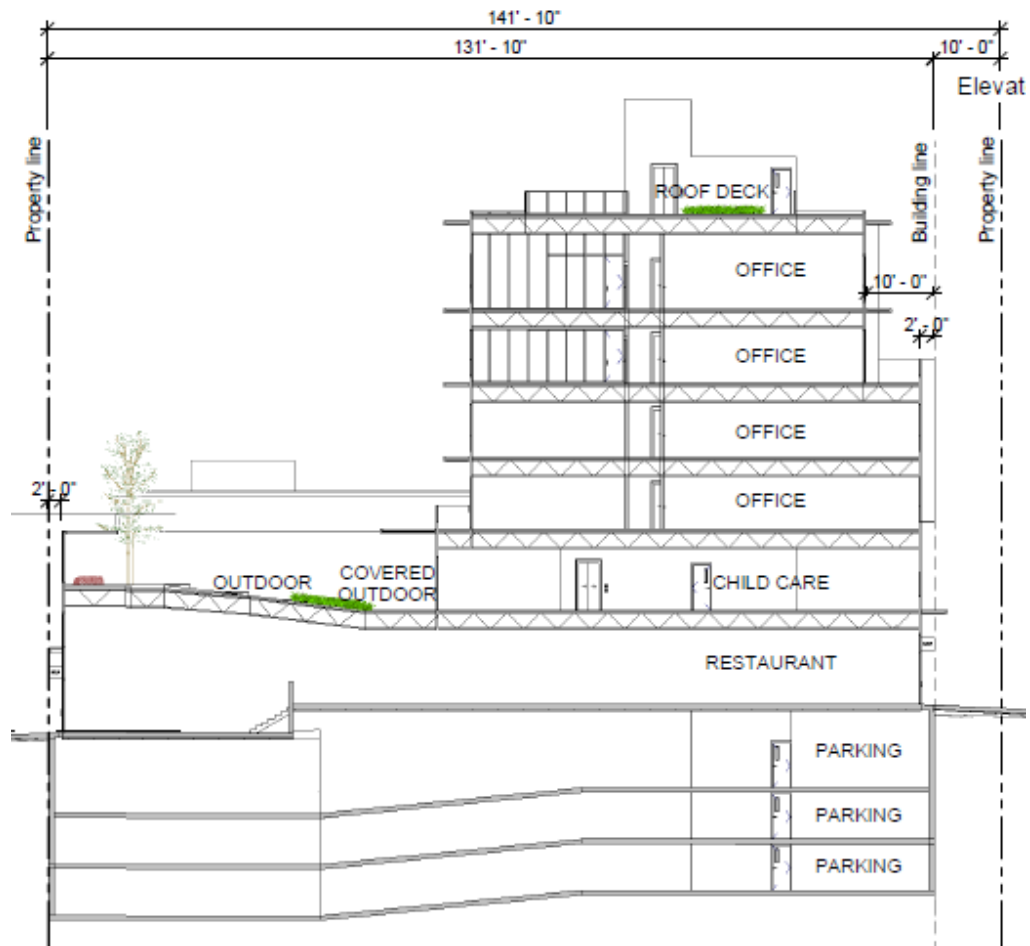
East Elevation



South Elevation

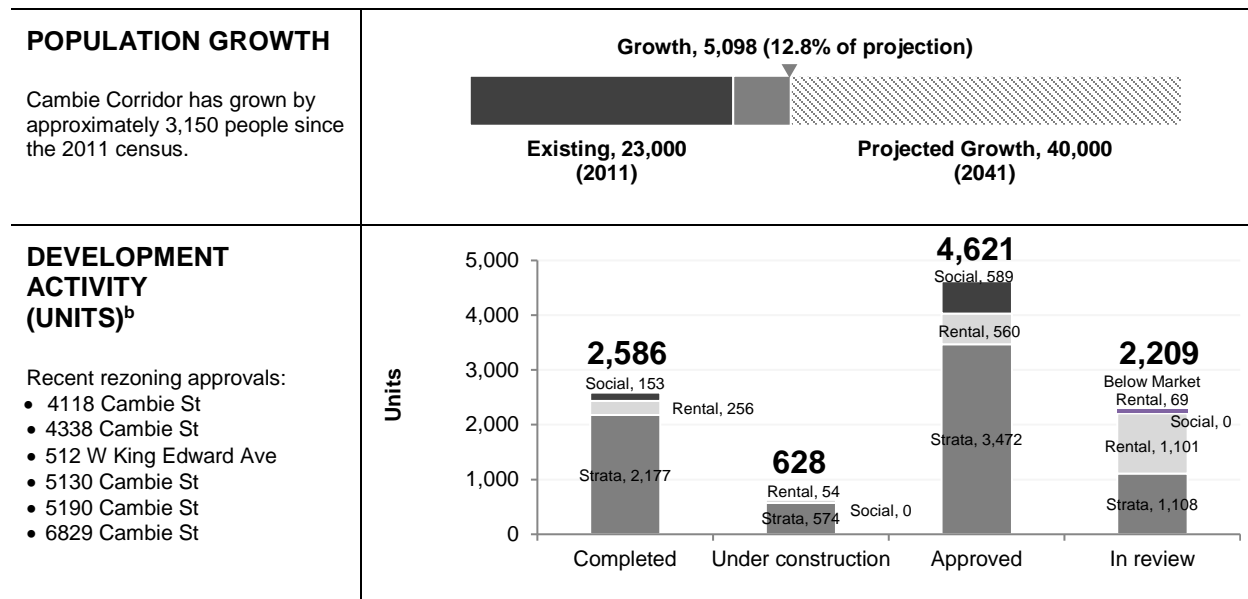


Section



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PUBLIC BENEFITS IMPLEMENTATION TRACKING
CAMBIE CORRIDOR PLAN (2018) – North of 57th Avenue^a
Updated Mid-Year 2020



PUBLIC BENEFITS ACHIEVED – North of 57th Avenue^a

Category	Anticipated Public Benefits by 2048 (+) ^c	Completed (•) or In Progress (○)	% ^d
Housing ^b	+ 2,250 additional social housing units + 4,700 secured market rental units + 400 below-market rental units	<ul style="list-style-type: none"> • 55 social housing units (4899 Heather St, 5688 Ash St) • 98 temporary modular housing units^e • 256 rental units (210-262 W King Edward Ave, 408 W King Edward Ave, 460 W 41st Ave, 611 W 41st Ave) <ul style="list-style-type: none"> ○ 54 rental units (4663 Cambie St, 6137 Cambie St) ○ 290 social housing units (Oakridge) 	5%
Childcare	+ 1,080 spaces for all age groups	<ul style="list-style-type: none"> • Restoration of outdoor play area at 8 Oaks Acorn childcare 	0%
Transportation/ Public Realm	+ Upgrade/expand walking and cycling networks + Complete Street design on Cambie St and major streets + “Car-light” greenway on Heather St	<ul style="list-style-type: none"> • Traffic calming • 45th Ave Bikeway • 29th Ave and Cambie St Plaza 	10%
Culture	+ 5 new artist studios	<ul style="list-style-type: none"> • Public art from rezonings 	N/A
Civic/Community	+ Oakridge Civic Centre (includes renewal and expansion of Seniors’ Centre) + Oakridge Library renewal and expansion + Additional library branch + Hillcrest Community Centre – Fitness centre expansion + Fire Hall #23 + Community Policing Centre		0%
Heritage	+ 5% allocation from cash community amenity contributions in Cambie Corridor	<ul style="list-style-type: none"> • James Residence (567 King Edward Ave) • Milton Wong Residence (5010 Cambie St) <ul style="list-style-type: none"> ○ 5% allocation from cash community amenity contributions in Cambie Corridor 	5%
Social Facilities	+ Additional Seniors’ Centre + Youth Hub + Non-profit organization centre		0%
Parks	+ New parks on large sites + Queen Elizabeth Park Master Plan and Phase 1 upgrades + 6 plazas and enhanced open spaces + Neighbourhood park improvements	<ul style="list-style-type: none"> • Upgrades to Riley Park and Hillcrest Park • Lillian To Park (17th Ave and Yukon St) • Playground Renewal at Douglas Park <ul style="list-style-type: none"> ○ Riley Park Pavilion (design) 	5%

EXPLANATORY NOTES

The Public Benefits Implementation Tracker assists in monitoring progress toward the delivery of public benefits anticipated from the community plans. Data in this tracker reflects activity within the plan boundaries since Plan approval.

Population Growth

Base population is determined by the latest census year available when the Plan was approved. Projected growth numbers are determined by the numbers quoted in the Plan (if available). Growth is calculated by taking the difference between the latest census year and the base population and adding an estimate based on floor area completed between the latest census and the present quarter.

Development Activity

The Development Activity Chart tracks projects with three or more housing units and includes Development Permits, Building Permits, rezoning applications and enquiries:

- “Completed” projects have achieved Building Permit completion.
- “Under Construction” projects have achieved Building Permit issuance, but have yet to be completed.
- “Approved” projects include rezoning applications approved by Council and Development Permits that have been approved by the City. Any rezoning applications approved by Council that advance into the Development Permit stage are still counted as “Approved” projects until it achieves Building Permit issuance.
- “In review” projects include any rezoning applications, enquiries, or Development Permits that are under review by the City.

Recent rezoning approvals listed in this section reflect the last five rezonings (excluding minor text amendments) approved by Council within the last five years in the plan area.

Public Benefits Achieved

Public benefits projects that have either been completed or are under construction are included in this section. This tracker also includes information about the progression of larger projects in the scoping/planning/design phase, and City programs.

Other Notes

- ^a The Cambie Corridor Plan was a three-phase plan with its final phase approved in 2018. Phase 2 of the Cambie Corridor Plan was approved in 2011 and included land use policies for key sites and arterials. Monies collected between Phase 2 and Phase 3 were allocated/spent corridor-wide through the interim public benefits strategy. Benefits delivered south of 57th Ave include, but are not limited to: affordable housing site; 2 childcare locations; new Family Place; 2 artist studios; Joy Kogawa House acquisition; Marpole Neighbourhood House restoration; and land acquisition toward Marpole Civic Centre.
- ^b Gross numbers of units reported. In some instances, existing units may be demolished and replaced with new units. These numbers represent units that have been replaced and any additional units included as a part of new developments.
- ^c See chapter 13 of the [Cambie Corridor Plan](#) for detailed information about the City’s commitments to deliver public benefits along the Cambie Corridor.
- ^d Percentages reflect estimated progress toward overall Public Benefits Strategy targets outlined in chapter 13 of the [Cambie Corridor Plan](#).
- ^e In Prior PBS Trackers, temporary modular housing units were considered social housing units. Here, they are separated.

**3353 Cambie Street
PUBLIC BENEFITS SUMMARY**

Project Summary

Six-storey office building with commercial uses at grade and a privately-owned childcare facility.

Public Benefit Summary:

The project would generate a DCL payment.

	Current Zoning	Proposed Zoning
Zoning District	C-2	CD-1
FSR (site area = 871.4 sq. m / 9,380 sq. ft.)	2.5	3.01
Buildable Floor Space (sq. ft.)	21,752	28,213
Land Use	Commercial	Commercial and Office

Summary of development contributions expected under proposed zoning

City-wide DCL ¹	\$429,120
City-wide Utilities DCL ¹	\$148,400
Community Amenity Contribution	\$0
TOTAL VALUE OF PUBLIC BENEFITS	\$577,520

¹ Based on rates that are anticipated to be in effect as at September 30, 2020; rates are subject to future adjustment by Council including annual inflationary adjustments. DCLs are payable at building permit issuance based on rates in effect at that time. A development may qualify for 12 months of in-stream rate protection, see the City's [DCL Bulletin](#) for details.

**3353 Cambie Street
APPLICANT, PROPERTY, AND DEVELOPMENT PROPOSAL INFORMATION**

Property Information

Address	Property Identifier (PID)	Legal Description
3353 Cambie Street	008-585-300	Lot 5, Block 520A, District Lot 526, Plan 2412
3353 Cambie Street	008-585-326	Lot 6, Block 520A, District Lot 526, Plan 2412

Applicant Information

Architect	Radiant City Architecture
Developer/Property Owner	Cosmo Cambie Holdings Ltd.

Development Statistics

	Permitted Under Existing Zoning	Proposed	Recommended
Zoning	C-2	CD-1	
Site Area	871.4 sq. m (9,380 sq. ft.)	871.4 sq. m (9,380 sq. ft.)	
Land Use	Commercial	Commercial and Office	
Maximum FSR	2.5	3.01	
Maximum Height	13.8 m (45 ft.)	24 m (79 ft.) (top of parapet)	
Floor Area	2,021 sq. m (21,752 sq. ft.)	2,621 sq. m (28,213 sq. ft.)	
Parking and Bicycle Spaces	As per Parking By-law	36 vehicle spaces, 2 loading spaces, 10 class A and 6 class B bicycle spaces	A reduction of 1 Class B loading space is supported with provision of 2 Class A loading spaces to be provided in lieu.
Natural Assets	3 City street trees	3 City street trees	

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