

MCM

Musson
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Mackey
Partnership

1111-1123 KINGSWAY

Revised Rezoning Booklet

December, 2019

Peterson



M C M

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**1111 - 1123
Kingsway**

Rezoning
Booklet

December
2019

**1111 - 1123 Kingsway
218039**

SUBMITTED BY: MUSSON CATTELL MACKEY ARCHITECTS DESIGNERS PLANNERS
SUBMITTED TO: CITY OF VANCOUVER
SUBMITTED ON: SEPT 2019
RE-SUBMITTED ON: DECEMBER 2019

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PROPOSAL & REZONING RATIONALE



In response to admission into the “**Moderate Income Rental Housing Pilot Program (MIRHPP)**”, and discussions with City staff including a letter dated Nov. 1 2018 and subsequent correspondence, Musson Cattell Mackey Partnership (MCMP) submitted an Application for Rezoning on behalf of Peterson who will develop and own the building long-term. This proposal, at 1111-1123 Kingsway, seeks 14 storeys of 100% rental housing with retail uses at grade. It will comply with all MIRHPP requirements including unit mix and 20% of the residential floor area being offered at specified moderate income rates. This rezoning application responds to City of Vancouver objectives and policies regarding affordable and family housing, transit-oriented communities, and sustainability.

The project site area is 19,211 sq FT (1,785 sq M) and is located within the Kensington Cedar Cottage neighbourhood. The site is well served by transit routes along Kingsway and is close to transit hubs along Main Street, King Edward Avenue and Knight Street.

The site is occupied by two 1-storey automotive repair buildings. This block of Kingsway is zoned C-2 with residential uses and a wide range of commercial uses that serve both local and city-wide needs. Surrounding the site beyond Kingsway are RM-1 and RS-1 zones, comprised mainly of single family residential. Directly across Glen Drive on Kingsway is a C-2-zoned 4-storey mixed use building with retail-at-grade. There is a development trend in the neighborhood towards larger mixed-use projects at arterial intersections along Kingsway as evidenced by the projects noted in the Neighbourhood Context Plan. These developments focus on rental housing, which is starting to develop a revitalized neighborhood fabric.

The project is seeking DCL waivers. Projects creating new rental supply in tenure are eligible for a DCL waiver for the rental portion of the development. Under the Vancouver Area Specific DCL Bylaws, DCLs for rental housing can be waived for rental housing where the tenure is secured through a Housing Agreement.

In order to be eligible for the DCL waiver in 2019, proposed moderate income unit rents must meet or be less than the maximum rents set by the City of Vancouver. This project will meet this requirement.

Under the Secured Market Rental Housing Policy this project proposes:

- 100% Rental Residential Units
- Rental tenure secured for 60 years (or life of the building)
- 35% Family units

This project is also seeking parking relaxations from rental parking rates as set out in the MIRHPP policy. The project complies with the City of Vancouver parking bylaw requirements, however, as per MIRHPP guidelines, a 30% reduction has been applied to the MIRHPP units and as per Transportation Demand Management for developments in Vancouver, 20% and 10% reductions have been applied to the market rental and retail uses respectively given the site’s proximity to transit routes. A loading management plan has been prepared to further analyze the optimal loading requirements and configuration of the site, considering opportunities for sharing between residential and commercial uses.

DESIGN RATIONALE

Totalling 103,293 sq FT (9,596 sq M), the building program includes 7,333 sq FT (681 sq M) of retail at grade fronting Kingsway and 95,960 sq FT (8,915 sq M) of 100% secured rental housing. The proposed rental residential unit mix of 131 units will include several townhomes and will be in accordance with MIRHPP guidelines requiring 35% of the units to be 2 or 3 bedrooms suitable for families.

The main residential lobby is located on Glen Drive allowing retail space to be maximized on the ground floor along Kingsway. The 6th floor includes an interior amenity space and access to a south facing amenity roof terrace that maximizes access to natural light and mitigates overlook. These amenity spaces will be designed in accordance with the High-Density for Families with Children Guidelines and will include elements such as children's play and common social spaces. Where possible, the project will seek to incorporate additional building amenities, such as urban agriculture.

The retail space is oriented to Kingsway on the ground floor and the corner in a contiguous space that has been designed to permit a flexible retail configuration that will animate the public realm.

There are two and a half levels of parking below grade for residential and retail uses accessed from the lane. Residential and commercial parking share an access from the lane while separate loading, garbage and recycling spaces are located on either side of the shared access.

The building massing is oriented towards the intersection of Glen Drive and Kingsway with the residential tower pulled to the southwest corner of the site to address the intersection and create separation and minimize shadowing to the single family residential to the north. The proposed massing steps down to the south and east to a 5 storey podium facing Kingsway. A low podium with two storey townhomes face the lane to create an animated but compatible use for the lane and neighbourhood to the north. The proposal has included an 18' setback from city curbs to allow for landscape, sidewalk and an activated street front.

Varying facade detailing and materiality defines the 14 storey portion of the building as an identifiable tower form and provides differentiation from the low rise 5 storey streetwall facing Kingsway. Brick cladding on the lowrise and retail portion of the building creates identity and texture for the retail uses and supports the pedestrian experience on Kingsway.

The project will be highly sustainable and will meet or exceed all applicable City of Vancouver performance requirements under the Green Buildings Policy for Rezoning as further detailed in the Applicable Policies. Preliminary energy modelling and rainwater management reports are included with this submission which demonstrate the proposal is on track to meet or exceed sustainability requirements.



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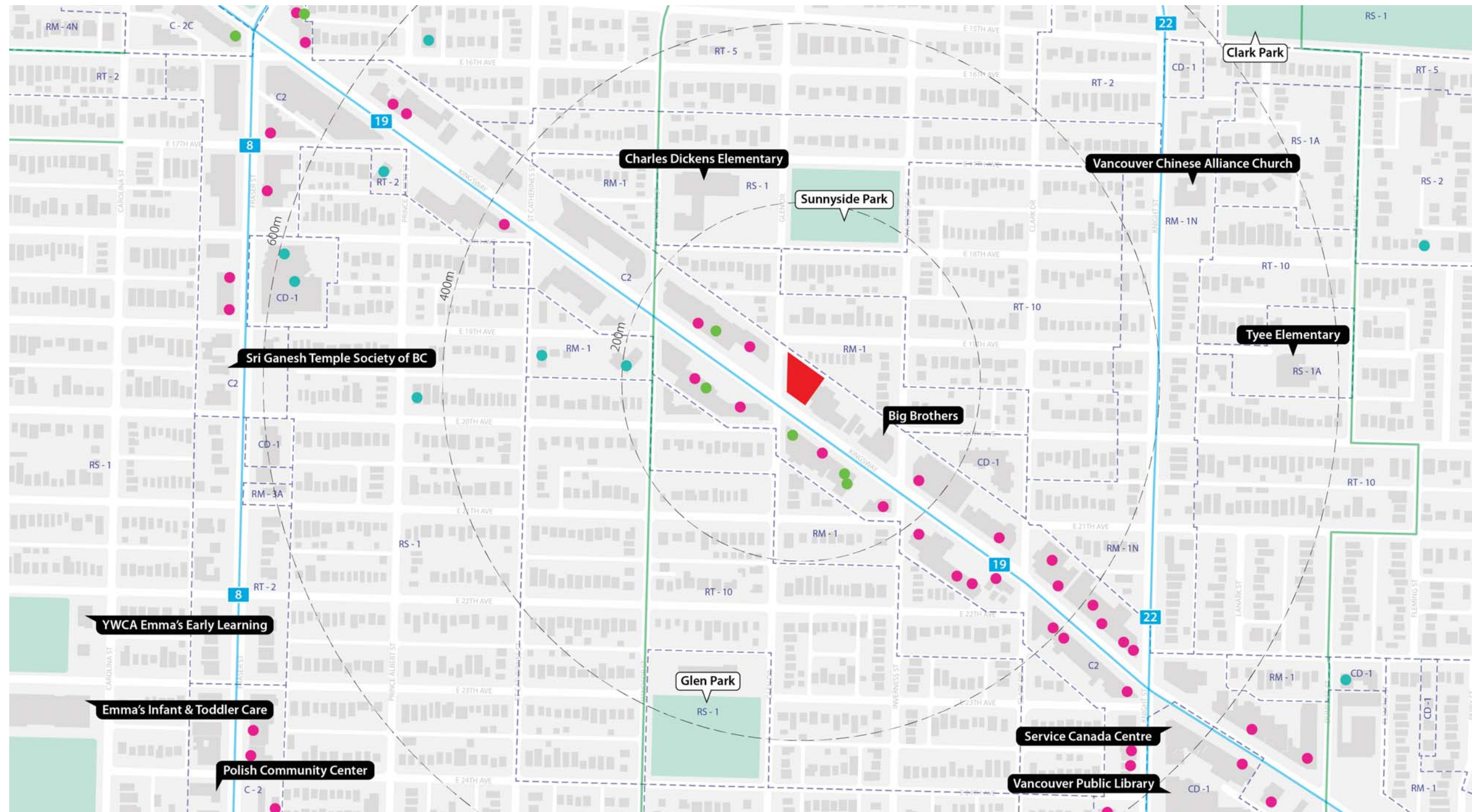
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CONTEXT MAP

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Legend

- Site
- Amenities
- Restaurants
- Religious Institutions
- Groceries
- Bus Routes
- Bicycle Routes

NEIGHBOURHOOD CONTEXT PLAN



285 East 10th Ave, Vancouver
17 storeys



2770 Sophia St, Vancouver
12 storeys



2788 Prince Edward St,
Vancouver
7 storeys



1303 Kingsway and
3728 Clark Drive, Vancouver
7 storeys



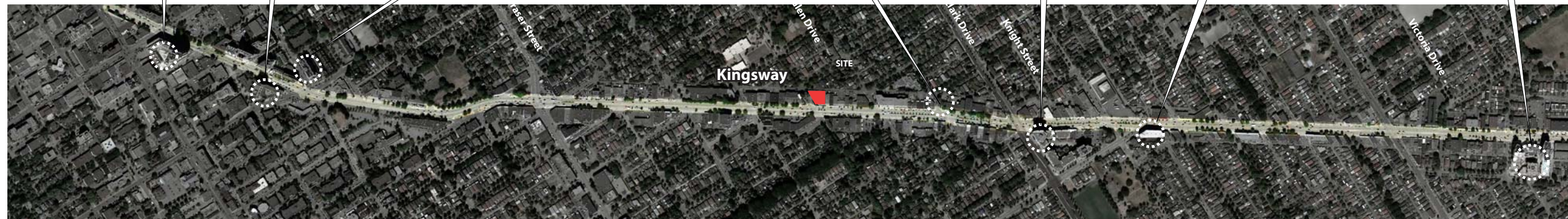
1420 Kingsway, Vancouver
17 storeys



1528 Kingsway, Vancouver
6 storeys



2220 Kingsway, Vancouver
14 storeys



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APPLICABLE POLICIES, BYLAWS & GUIDELINES



Transportation 2040

Plan as adopted by Vancouver City Council on October 23, 2012



Vancouver's Housing and Homelessness Strategy 2012-2021 A home for everyone

Secured Market Rental Housing Policy

Vancouver's
Housing and Homelessness
Strategy
A Home for Everyone

May, 2012



Family Room: Housing Mix Policy for Rezoning Projects

Vancouver
Housing
Initiative
A City Everyone Can Call Home

July 13, 2016



AFFORDABLE HOUSING FOR FAMILIES

Nearly 30% of households in Vancouver spend more than 30% of their income on housing. Increasing the housing stock will make housing more accessible and affordable for the average resident of Vancouver.

Strategic Direction 1 of the City of Vancouver's **Housing and Homelessness Strategy 2012-2021** seeks to increase the supply of affordable housing by enabling 18,000 new market rental housing units by 2021, 5,000 of which are to be purpose-built rental. The project will be a 100% purpose-built rental and will contribute 131 units to the overall supply.

More than half of Vancouver residents rent their dwellings, and the vacancy rate continues to be the lowest in Canada. In the Kensington Cedar Cottage Neighbourhood vacancy is less than 1%. Addressing this issue through rezoning is considered a key strategy for creating new affordable housing options for residents.

The project meets all the criteria set out in the **Moderate Income Rental Housing Pilot Program (MIRHPP)**, which has the goal of increasing the supply of rental and affordable housing stock through rezoning land that meets certain criteria regarding location, affordability, and form of development. Specifically:

- Affordability Criteria: 100% of the residential floor space of the proposed project will be rental housing.
- 20% of units will be Affordable tied to income.

SUSTAINABILITY

The Greenest City 2020 Action Plan aims to prepare Vancouver for the impacts of climate change by reducing energy use, supporting alternative modes of transport, decreasing waste and water use, and improving access to nature and local food. One of the main goals of the plan is to ensure that all Vancouver residents live within a five-minute walk of a park, greenway, or other green space by 2020.

The proposed project is located within a couple blocks of Sunnyside Park and Charles Dickens Elementary School and is less than 15 minutes walking distance to Robson Park to the west. Another goal set out in the plan is to encourage residents to travel by foot, bicycle and public transit. This is discussed further in the Transit Oriented section below.

This rezoning application complies with the City of Vancouver's Green Buildings Policy for Rezoning.

TRANSIT ORIENTED

Concentrating higher density development in close proximity to transit hubs allows people to drive less and walk, cycle, and take transit more. Policy L1.1 of the **Transportation 2040 Plan** for the City of Vancouver encourages a "dense and diverse mix of services, amenities, jobs and housing types in areas well served by frequent, high-capacity transit".

The site is located in close proximity to transit routes along Kingsway and transit hubs near Main Street, King Edward Avenue, and Knight Street.

HIGH-DENSITY HOUSING FOR FAMILIES WITH CHILDREN GUIDELINES

The proposal complies with High Density Housing for Families with Children Guidelines.

PUBLIC BENEFITS

Public benefits are provided by this project's contribution to affordability by way of supplying much needed rental stock. In addition, the range of housing types provided will allow for a variety of household configurations. The project takes advantage of its proximity to transit by providing reduced parking, while providing visitor parking, ample bike storage, and the potential for car share vehicles.

SITE LOCATION



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SITE VIEWS

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View north along Glen Dr



View west along Kingsway



View east at the intersection of Glen Dr and Kingsway

SHADOW STUDY

Summer Solstice



June 10:00am



June 12:00pm



June 02:00pm

Spring/Fall Equinox



March 10:00am



March 12:00pm



March 02:00pm

 C2 Envelope Shadow

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3D VIEWS

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VIEW ALONG KINGSWAY LOOKING EAST

3D VIEWS



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VIEW LOOKING SOUTH WEST

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3D VIEWS

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VIEW ALONG GLEN DRIVE LOOKING NORTH



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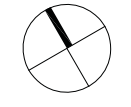
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APPENDIX

ARCHITECTURAL DRAWINGS

Appendix

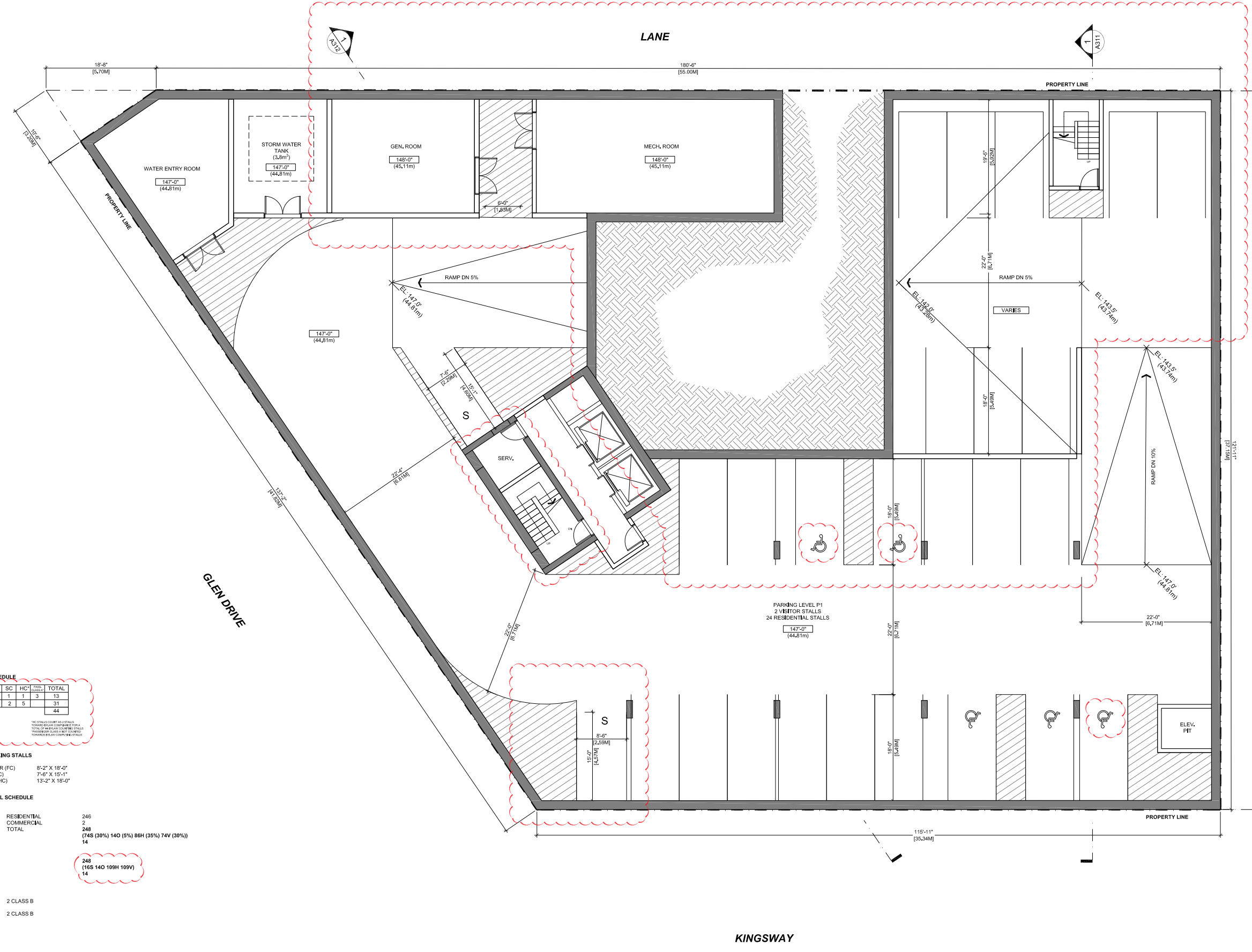


3	22 JANUARY 2020	RE-ISSUED FOR REZONING
2	11 DECEMBER 2019	RE-ISSUED FOR REZONING
1	28 JUNE 2019	ISSUED FOR REZONING
Revisions		YYYY-MM-DD

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Project
**PARKING
 LEVEL P1**

Drawing
 Scale 1/8" = 1'-0"
 Project 218039
 Sheet **A202**



PARKING SCHEDULE

	FC	SC	HC	TOTAL
P0.5	10	1	1	13
P1	19	2	5	31
				44

INCLUDES COURT AND STALLS
 TOWARDS BRUSH CORNER AND
 TOTAL OF 46 STALLS INCLUDING STALLS
 TOWARDS BRUSH CORNER AND STALLS
 TOWARDS BRUSH CORNER AND STALLS

TYPICAL PARKING STALLS
 STANDARD CAR (FC) 8'-2" X 18'-0"
 SMALL CAR (SC) 7'-6" X 15'-1"
 ACCESSIBLE (HC) 13'-2" X 15'-0"

BICYCLE STALL SCHEDULE

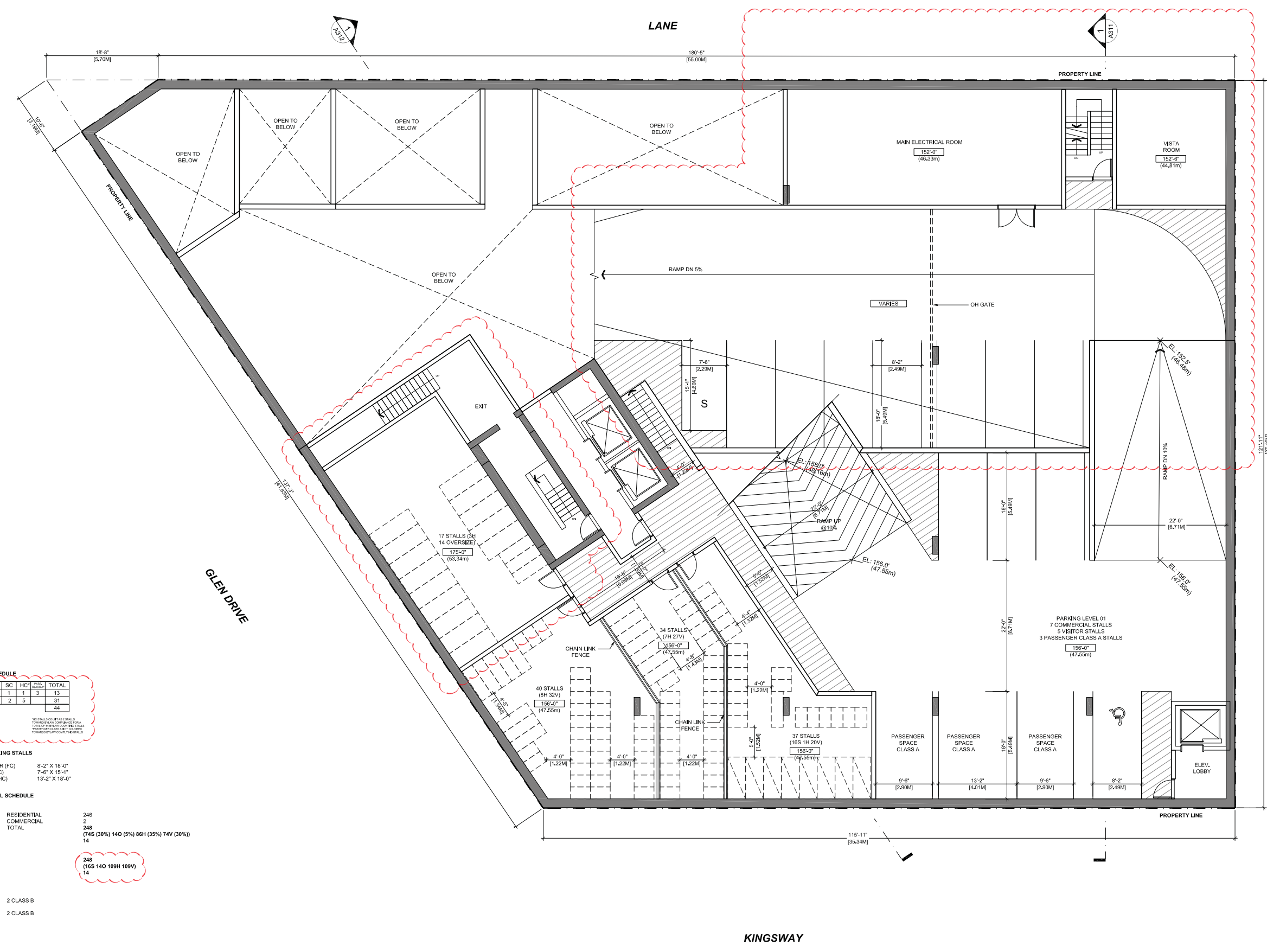
REQUIRED:
 CLASS A: RESIDENTIAL 246
 COMMERCIAL 2
 TOTAL 248
 (74S (30%) 14O (5%) 88H (35%) 74V (30%))

CLASS B: 14

PROVIDED:
 CLASS A: 248
 (16S 14O 109H 109V)

CLASS B: 14

LOADING
REQUIRED: 2 CLASS B
PROVIDED: 2 CLASS B



PARKING SCHEDULE

	FC	SC	HC	TOTAL
P0.5	10	1	3	13
P1	19	2	5	31
				44

INCLUDES COURT AND STALLS
 TOWARDS BELOW CORNER OF P1
 TOTAL OF 44 STALLS IN COURT STALLS
 TOWARDS BELOW CORNER OF P1
 TOWARDS BELOW CORNER OF P1

TYPICAL PARKING STALLS

STANDARD CAR (FC)	8'-2" X 18'-0"
SMALL CAR (SC)	7'-6" X 15'-1"
ACCESSIBLE (HC)	13'-2" X 18'-0"

BICYCLE STALL SCHEDULE

REQUIRED:		246
CLASS A:	RESIDENTIAL	2
	COMMERCIAL	244
	TOTAL	246
	(74S (30%) 140 (5%) 88H (35%) 74V (30%))	
CLASS B:		14
PROVIDED:		248
CLASS A:	(16S 140 109H 109V)	
CLASS B:		14
LOADING		
REQUIRED:	2 CLASS B	
PROVIDED:	2 CLASS B	

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2	11 DECEMBER 2019	RE-ISSUED FOR REZONING
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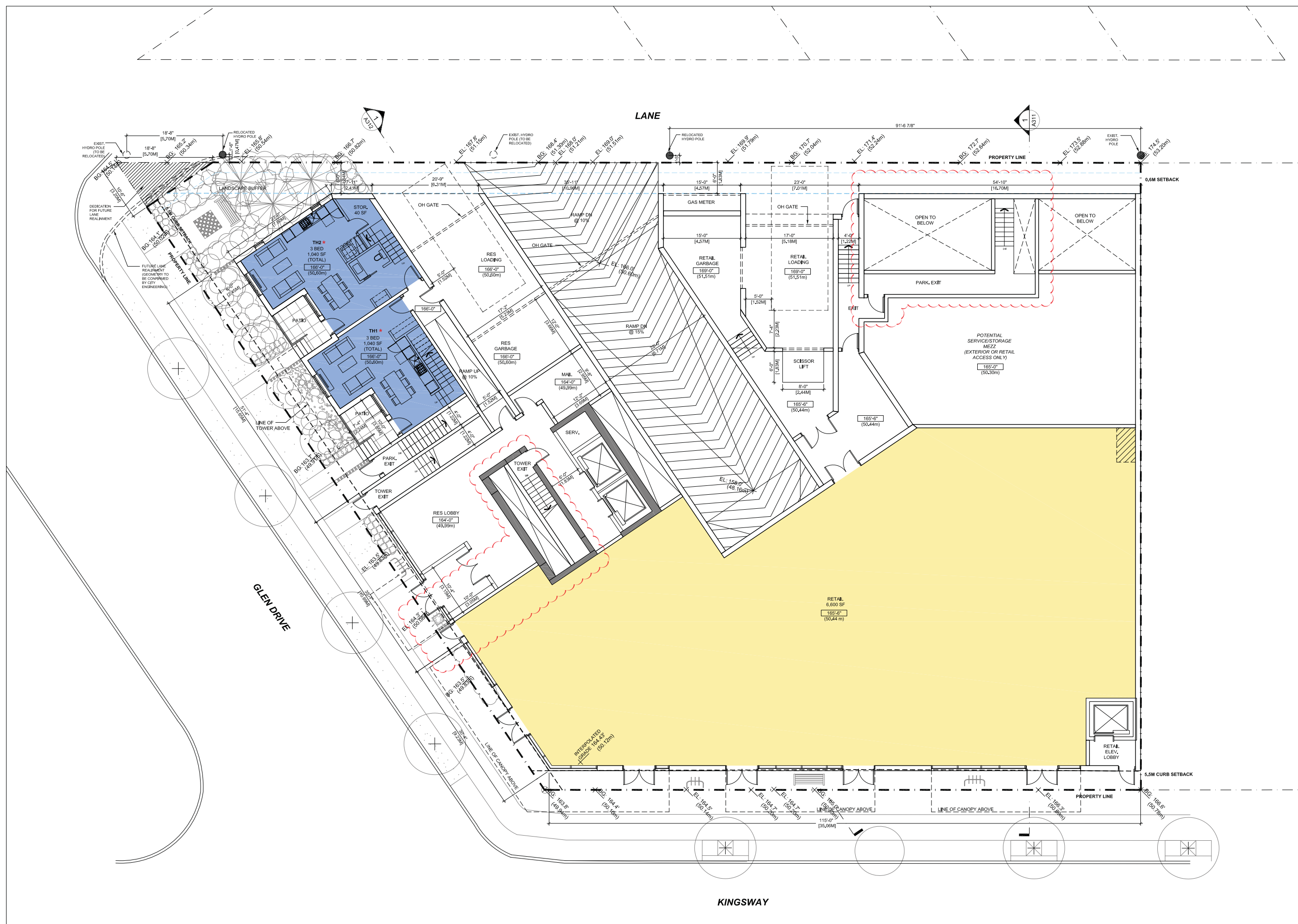
Project
**PARKING
 LEVEL 0.5**

Drawing
 Scale 1/8" = 1'-0"
 Project 218039
 Sheet **A203**





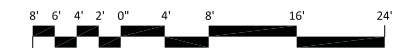
- RETAIL
 - AMENITY
 - STUDIO
 - 1 BED
 - 2 BED
 - 3 BED
 - MIRHPP UNIT
- THE FOLLOWING UNITS ARE DESIGNATED MIRHPP UNITS:
 LEVEL 1: TH1, TH2
- | | | |
|---|------------------|------------------------|
| 3 | 22 JANUARY 2020 | RE-ISSUED FOR REZONING |
| 2 | 11 DECEMBER 2019 | RE-ISSUED FOR REZONING |
| 1 | 28 JUNE 2019 | ISSUED FOR REZONING |
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Project
**GROUND FLOOR
 LEVEL 01**

Drawing
 Scale 1/8" = 1'-0"
 Project 218039
 Sheet **A204**



- RETAIL
- AMENITY
- STUDIO
- 1 BED
- 2 BED
- 3 BED
- * MIRHPP UNIT

THE FOLLOWING UNITS ARE DESIGNATED MIRHPP UNITS:
 LEVEL 1.5: TH1, TH2, TH3

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Project
**RESIDENTIAL
 LEVEL 1.5**

Drawing
 Scale 1/8" = 1'-0"
 Project 218039
 Sheet **A205**

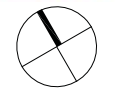




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- RETAIL
- AMENITY
- STUDIO
- 1 BED
- 2 BED
- 3 BED
- MIRRPP UNIT

THE FOLLOWING UNITS ARE DESIGNATED MIRRPP UNITS:
LEVEL 2: TH3, 201, 203, 204, 205, 206, 209, 214

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Project
**RESIDENTIAL
LEVEL 02**

Drawing
Scale 1/8" = 1'-0"
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Sheet **A206**



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- RETAIL
- AMENITY
- STUDIO
- 1 BED
- 2 BED
- 3 BED
- MIRHPPP UNIT

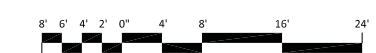
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LEVEL 3: 301, 303, 304, 305, 306, 315

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Project
**RESIDENTIAL
LEVEL 03**

Drawing
Scale 1/8" = 1'-0"
Project 218039
Sheet **A207**

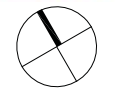




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- RETAIL
- AMENITY
- STUDIO
- 1 BED
- 2 BED
- 3 BED
- * MIRHPP UNIT

THE FOLLOWING UNITS ARE DESIGNATED MIRHPP UNITS:
LEVEL 4: 403, 404, 405, 406, 415

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Project
**RESIDENTIAL
LEVEL 04**

Drawing
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- RETAIL
- AMENITY
- STUDIO
- 1 BED
- 2 BED
- 3 BED
- MIRHPP UNIT

THE FOLLOWING UNITS ARE DESIGNATED MIRHPP UNITS:
LEVEL 5: 503, 504, 515

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Project

**RESIDENTIAL
LEVEL 05**

Drawing

Scale 1/8" = 1'-0"

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Sheet **A209**

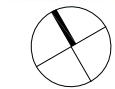




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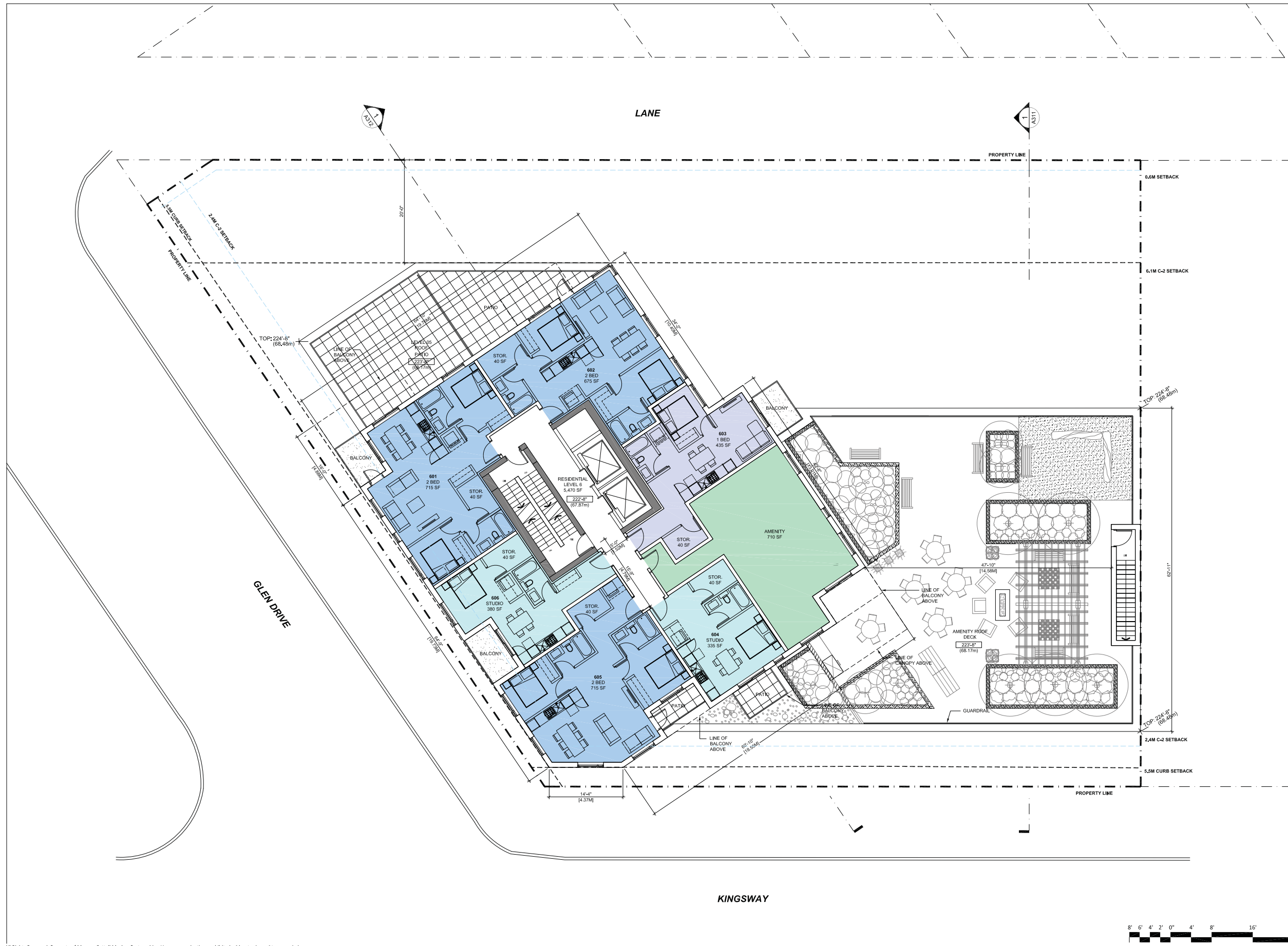
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- AMENITY
- STUDIO
- 1 BED
- 2 BED
- 3 BED
- MIRHPP UNIT

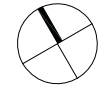
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Project
**RESIDENTIAL
LEVEL 06**

Drawing
Scale 1/8" = 1'-0"
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Sheet **A210**





- RETAIL
- AMENITY
- STUDIO
- 1 BED
- 2 BED
- 3 BED
- MRHPP UNIT

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Project
**RESIDENTIAL
LEVEL 07-14**

Drawing
Scale 1/8" = 1'-0"
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Sheet **A211**



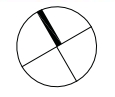
231'-10"	LEVEL 07	288'-4"	LEVEL 11
(70.69m)		(81.84m)	
241'-0"	LEVEL 08	277'-5"	LEVEL 12
(73.46m)		(84.63m)	
250'-2"	LEVEL 09	286'-10"	LEVEL 13
(76.25m)		(87.43m)	
259'-4"	LEVEL 10	296'-0"	LEVEL 14
(78.94m)		(90.22m)	





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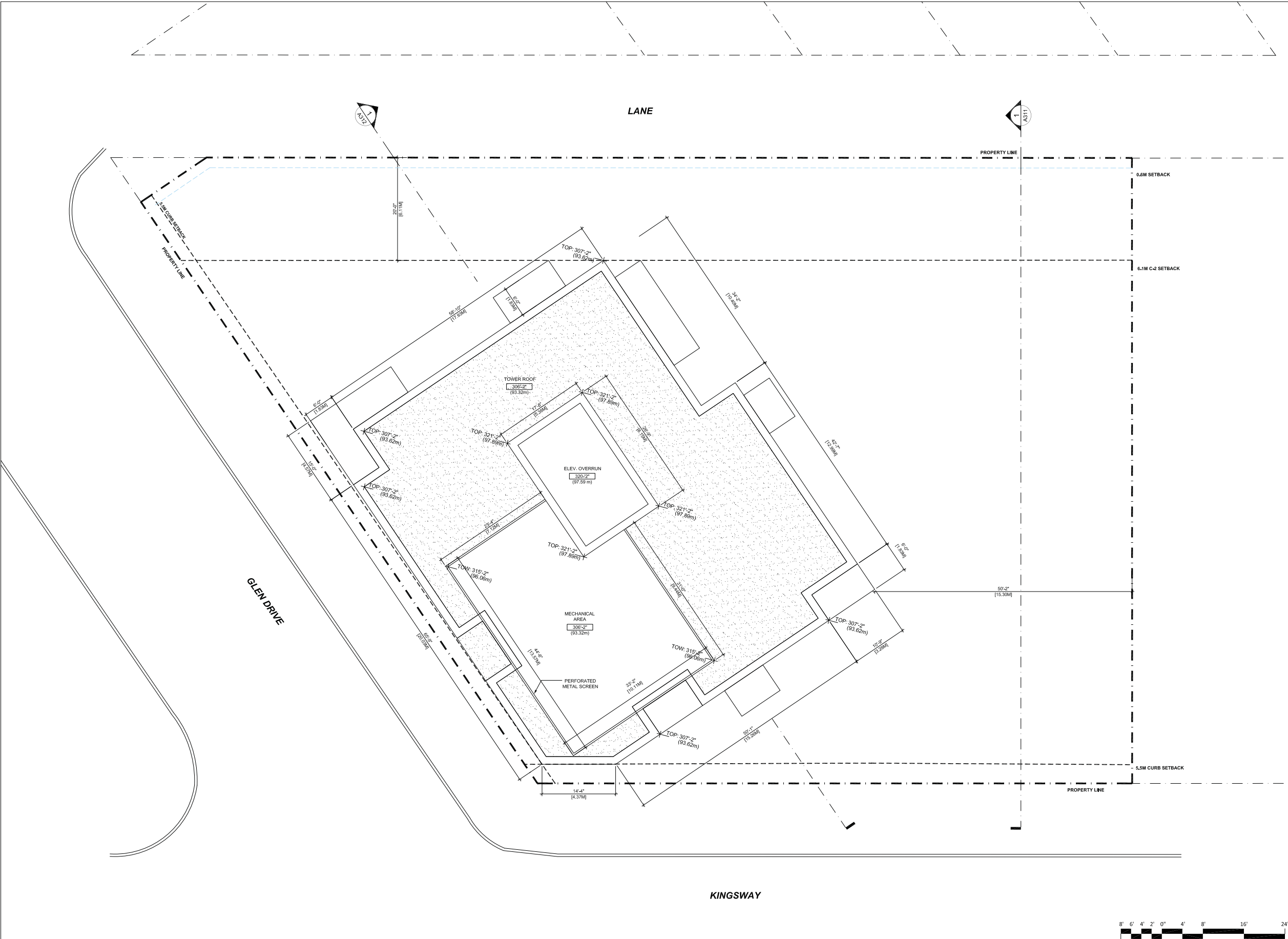


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Project
ROOF LEVEL

Drawing
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⊖ SOUTH STREETScape ELEVATION (KINGSWAY)



⊖ WEST STREETScape ELEVATION (GLEN)

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Project

**STREETScape
ELEVATIONS**

Drawing

Scale As Indicated

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Sheet **A301**

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**SOUTH
ELEVATION**

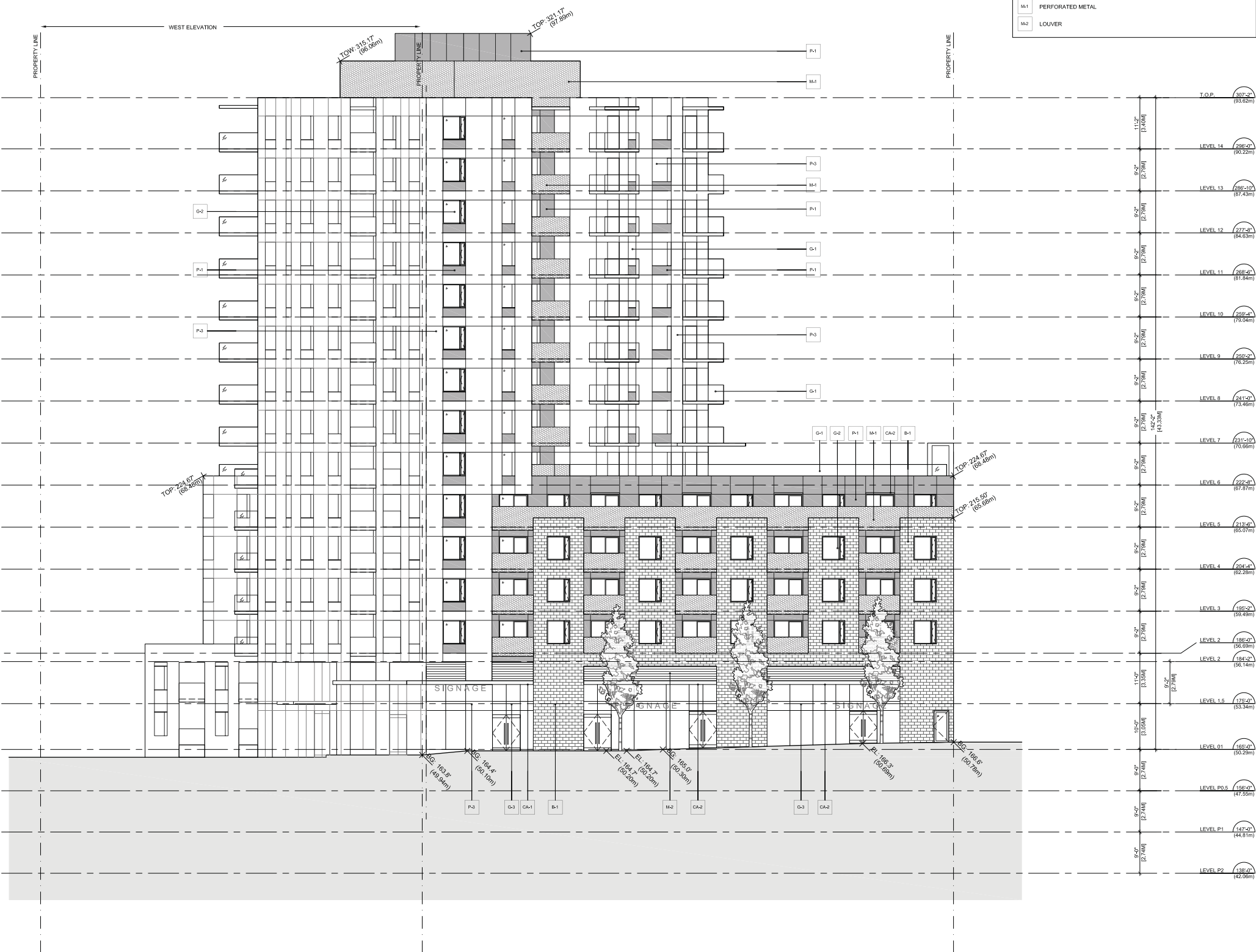
Drawing

Scale 3/32" = 1'-0"

Project 218039

Sheet **A302**

MATERIAL LEGEND			
B-1	BRICK	G-1	GLASS GUARDRAIL
P-1	CHARCOAL GREY PANEL	G-2	HIGH EFFICIENCY GLAZING
P-2	LIGHT GREY PANEL	G-3	STOREFRONT GLAZING
P-3	WHITE PANEL	CA-1	STEEL AND GLASS CANOPY
P-4	COLOR PANEL	CA-2	METAL CANOPY
M-1	PERFORATED METAL		
M-2	LOUVER		





Musson Cattell Mackey Partnership

Architects Designers Planners

Oceanic Plaza
1066 West Hastings Street
Suite 1900
Vancouver, British Columbia
Canada V6E 3X1
T. 604. 687. 2990
F. 604. 687. 1771
MCMPartners.com



2	11 DECEMBER 2019	RE-ISSUED FOR REZONING
1	28 JUNE 2019	ISSUED FOR REZONING
Revisions		YYYY-MM-DD

Seal
**1111-1123
Kingsway**

Project
**WEST
ELEVATION**

Drawing
Scale 1/8" = 1'-0"
Project 218039
Sheet **A303**

MATERIAL LEGEND			
B-1	BRICK	G-1	GLASS GUARDRAIL
P-1	CHARCOAL GREY PANEL	G-2	HIGH EFFICIENCY GLAZING
P-2	LIGHT GREY PANEL	G-3	STOREFRONT GLAZING
P-3	WHITE PANEL	CA-1	STEEL AND GLASS CANOPY
P-4	COLOR PANEL	CA-2	METAL CANOPY
M-1	PERFORATED METAL		
M-2	LOUVER		





**Musson
Cattell
Mackey
Partnership**

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T. 604. 687. 2990
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MCMPartners.com



MATERIAL LEGEND			
B-1	BRICK	G-1	GLASS GUARDRAIL
P-1	CHARCOAL GREY PANEL	G-2	HIGH EFFICIENCY GLAZING
P-2	LIGHT GREY PANEL	G-3	STOREFRONT GLAZING
P-3	WHITE PANEL	GK-1	STEEL AND GLASS CANOPY
P-4	COLOR PANEL	GK-2	METAL CANOPY
M-1	PERFORATED METAL		
M-2	LOUVER		



Revisions	YYYY-MM-DD
2	11 DECEMBER 2019 RE-ISSUED FOR REZONING
1	28 JUNE 2019 ISSUED FOR REZONING

Seal
**1111-1123
Kingsway**

Project
**NORTH
ELEVATION**

Drawing
Scale 1/8" = 1'-0"
Project 218039

Sheet **A304**





3	22 JANUARY 2020	RE-ISSUED FOR REZONING
2	11 DECEMBER 2019	RE-ISSUED FOR REZONING
1	28 JUNE 2019	ISSUED FOR REZONING

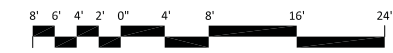
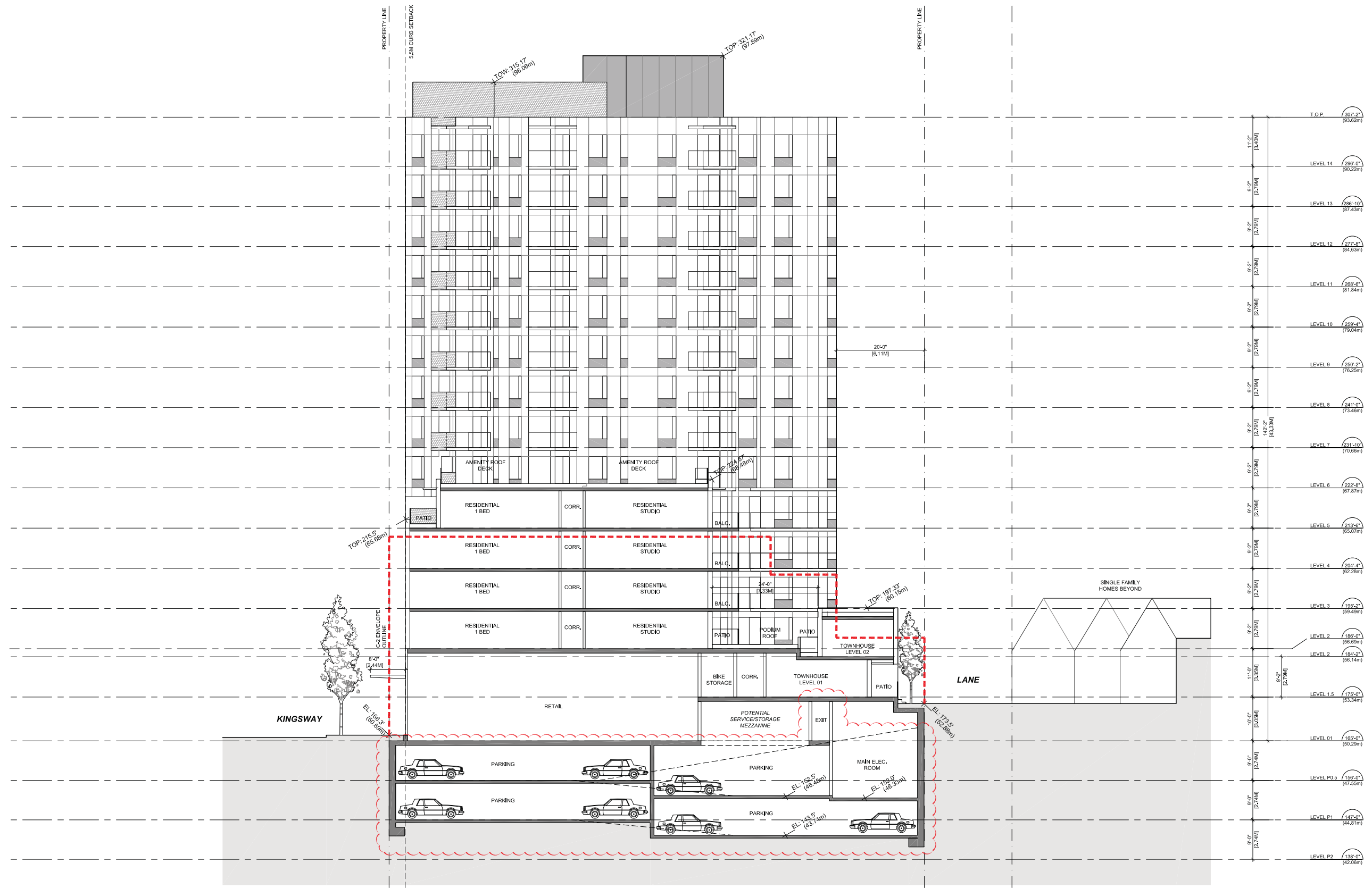
Revisions YYY-MM-DD

Seal
1111-1123
Kingsway

Project

SECTION 01

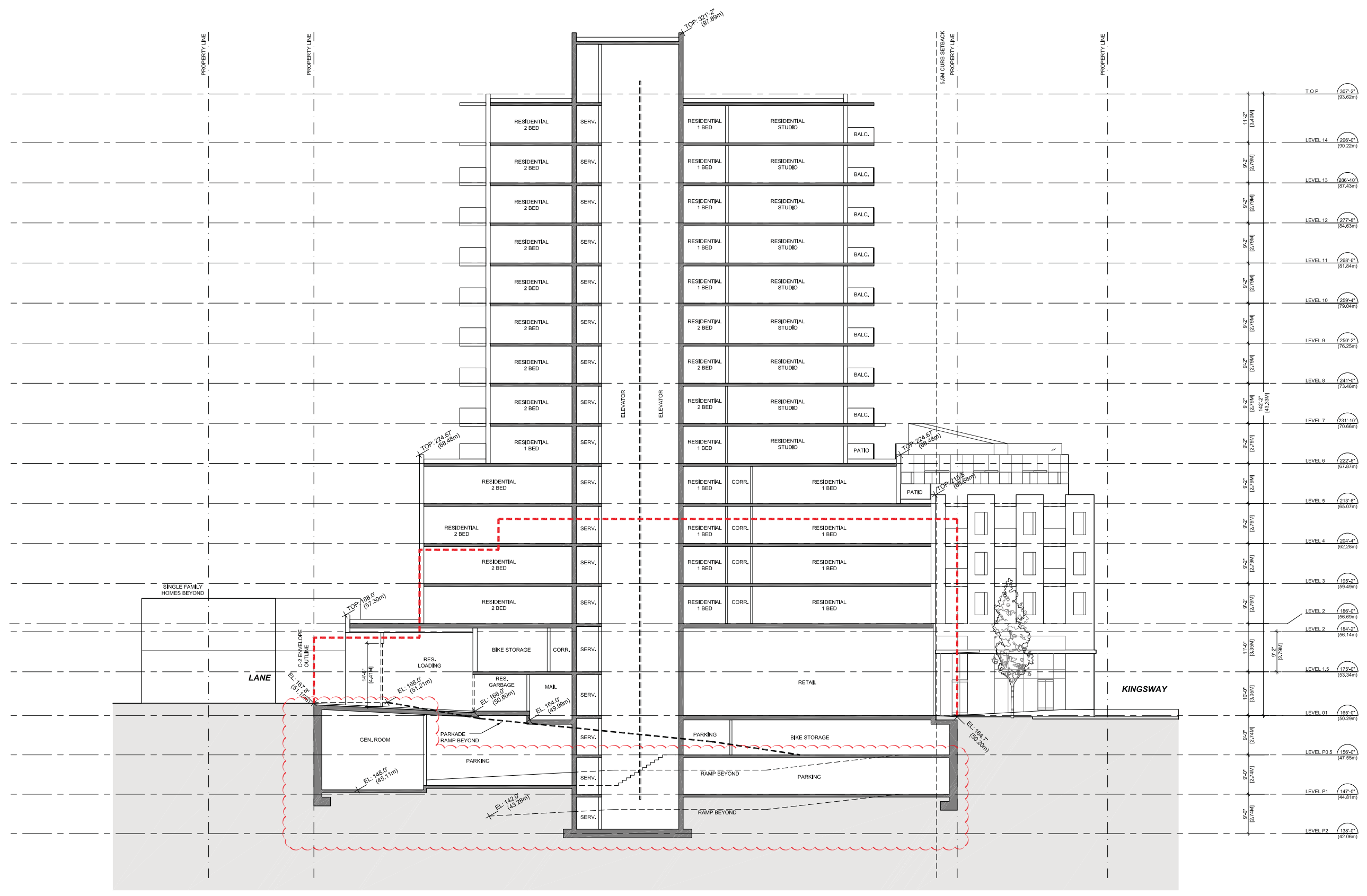
Drawing
Scale 1/8" = 1'-0"
Project 218039
Sheet **A311**





3	22 JANUARY 2020	RE-ISSUED FOR REZONING
2	11 DECEMBER 2019	RE-ISSUED FOR REZONING
1	28 JUNE 2019	ISSUED FOR REZONING

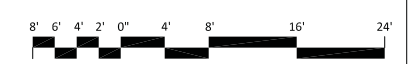
Revisions YYY-MM-DD



Seal
**1111-1123
Kingsway**

Project
SECTION 02

Drawing
Scale 1/8" = 1'-0"
Project 218039
Sheet **A312**





Musson
Cattell
Mackey
Partnership

Peterson

**1111 - 1123
Kingsway**

Rezoning
Booklet

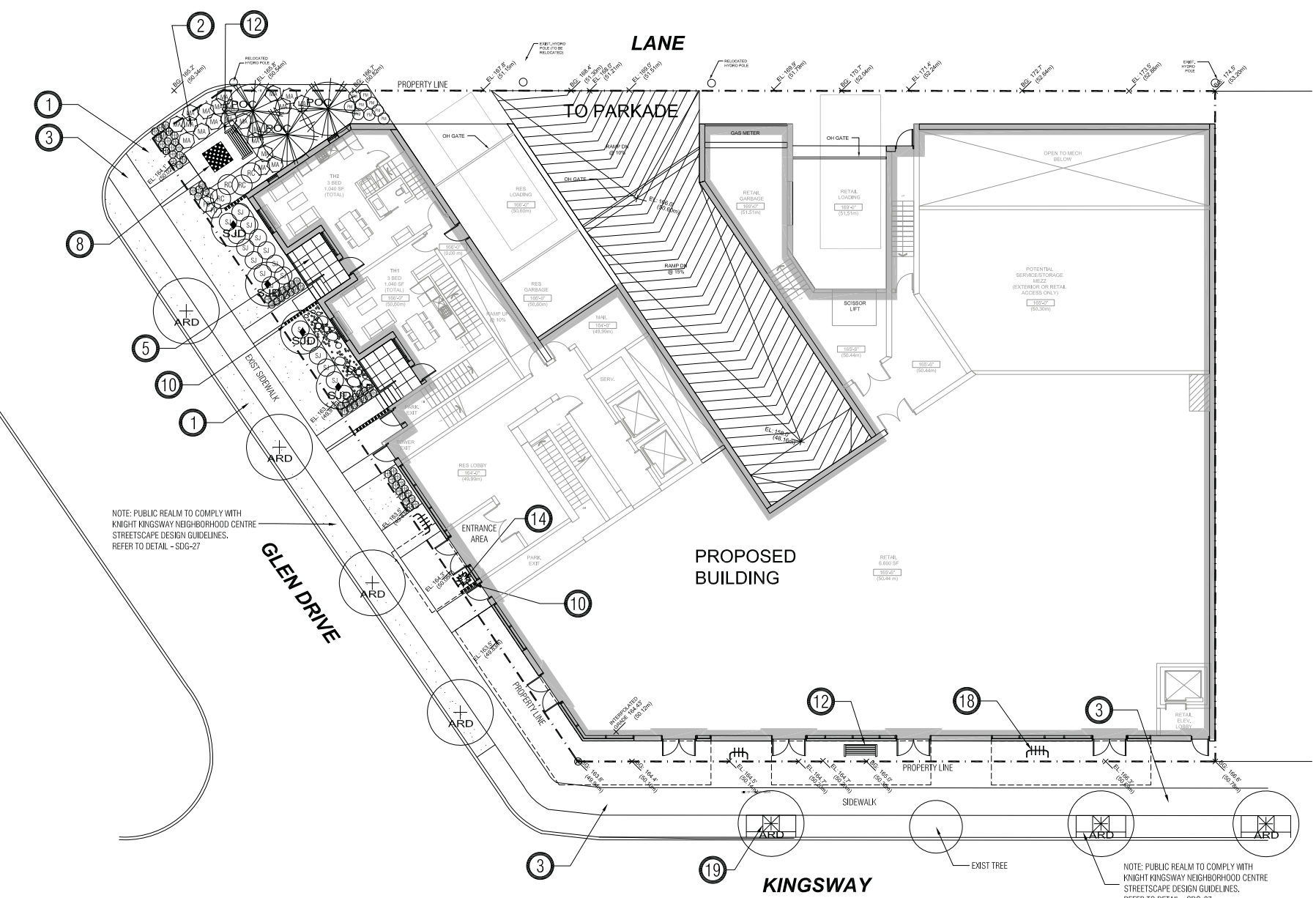
December
2019

APPENDIX

LANDSCAPE DRAWINGS

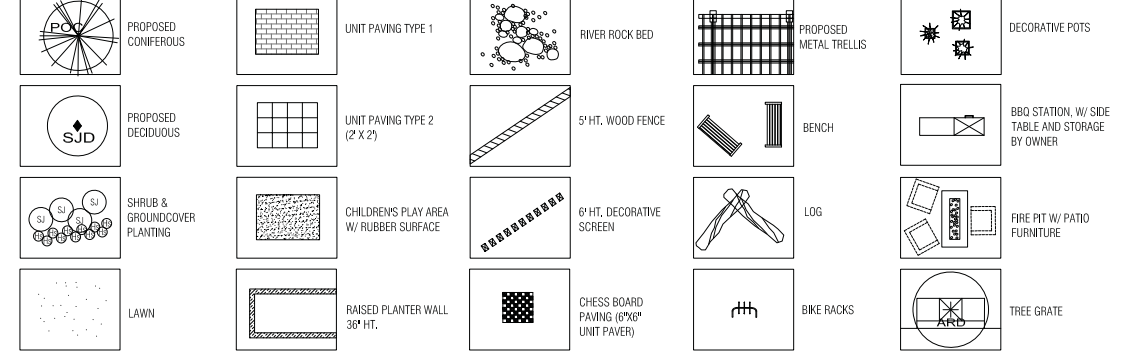
Appendix

45

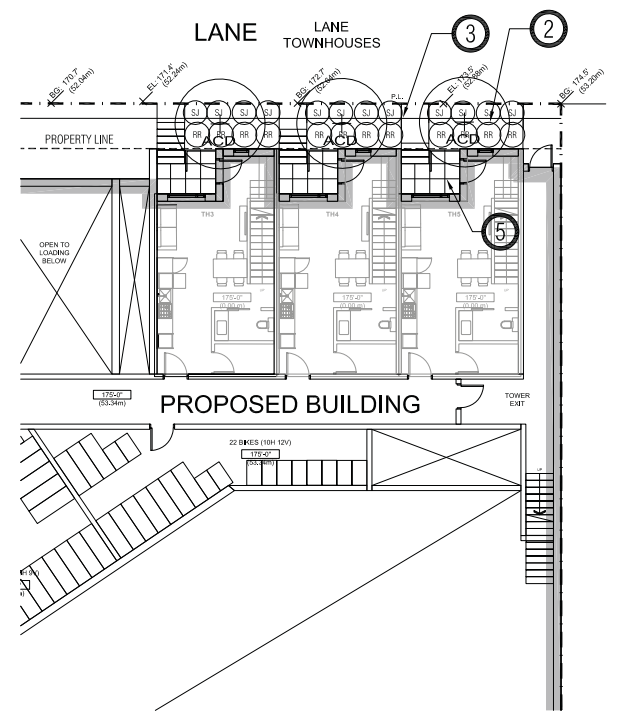
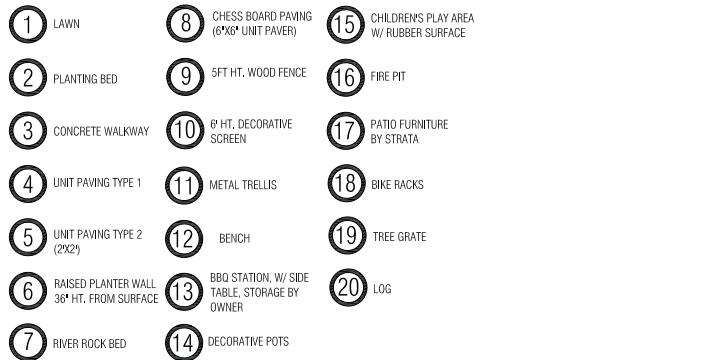


1 LANDSCAPE: GROUND LEVEL PLAN
SCALE: 3/32" = 1' - 0"

LEGEND:



LANDSCAPE COMPONENTS:



2 LANDSCAPE: LEVEL 1.5 TOWNHOUSES
SCALE: 3/32" = 1' - 0"

GENERAL LANDSCAPE NOTES:

- THIS DRAWING IS INTENDED FOR RE-ZONING OR DP APPLICATION. ALL INTENDED LANDSCAPE COMPONENTS SHALL BE DESIGNED IN COMPLIANCE WITH THE CITY OF VANCOUVER ENGINEERING AND BUILDING BYLAWS, STREETSCAPE REQUIREMENTS AND COMMUNITY PLAN DESIGN GUIDELINES.
- ALL LANDSCAPE MATERIAL SHALL MEET OR EXCEED STANDARDS REQUIRED BY BCNTA OR BCCLA GUIDELINES.
- TOPSOIL SUPPLIED SHALL BE FROM A REPUTABLE SOURCE. A FULL ANALYSIS OF THE TOPSOIL WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE. SUBMIT TO LANDSCAPE CONSULTANT FOR APPROVAL.
- AMEND TOPSOIL PER SOIL ANALYSIS RECOMMENDATIONS PRIOR TO SPREADING ON SITE. REJECTED TOPSOIL SHALL BE REMOVED OFF SITE IMMEDIATELY AT THE LANDSCAPE CONTRACTOR'S EXPENSE.
- TOPSOIL DEPTHS FOR PLANTING AS FOLLOWS:
A. GRASSED AREAS: 12" (300MM) ON SLAB, 8" (200MM) ON GRADE
B. GROUND COVERS: 14" (360MM)
C. SHRUBS: 18" (450MM)
D. TREE PITS: 36" (1000MM) WITH 12" (300MM) BELOW ROOT BALL
- LAWN AREAS SHALL BE SOODED WITH #1 PREMIUM RESIDENTIAL SOD, NON NETTED.
- ALL SHRUB PLANTING AREAS SHALL HAVE GROUND COVERS 1" O.C.
- 2" DEPTH OF 1" MINUS COMPOST MULCH TO BE INSTALLED IN ALL SHRUB PLANTING AREAS.
- PAVING TYPES AND MATERIALS AS FOLLOWS:
• WALKWAYS AND COMMON AREA: CAST IN PLACE CONCRETE W/ BROOM FINISH
• ROOFTOP OUTDOOR AMENITY & PRIVATE PATIO AREAS: CONCRETE UNIT PAVERS, COLOR TAN/ BROWN/CHARCOAL, AVAILABLE FROM ABBOTSFORD CONCRETE PRODUCTS.
- ROCK AND GRANULAR MATERIALS
ALL ROCK AND GRANULAR MATERIALS SHALL BE SMOOTH FINISH SOURCED FROM RIVER OR FIELD..
- ROAD GRADING AND OVERALL SITE GRADING BY CIVIL ENGINEERING OR ARCHITECTURAL.
- IRRIGATION: AUTOMATIC IRRIGATION SYSTEM (DESIGN BULD) TO BE REQUIRED FOR ALL COMMON LANDSCAPE AREA. HOSE BIBS TO BE INSTALLED ON THE ROOF LEVEL PRIVATE PATIOS.
- BENCHES BY MAGLIN SITE FURNITURE - MB970W BENCH W/ IPE SLATS.
- BIKE RACK: 13 BIKE STALLS PROVIDED.

PLANT LIST:

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	COND.
ACD	3	ACER CIRINATUM	WINE MAPLE	2.5M HT.	B & B
APD	5	ACER PALMATUM	JAPANESE MAPLE	2.75M HT.	B & B
ARD	7	ACER RUBRUM BOWHALL	BOWHALL RED MAPLE	6CM CAL.	B & B
POC	3	PICEA OMORICA	SERBIAN SPRUCE	3.0M HT.	B & B
SJD	5	STYRAX JAPONICA	JAPANESE SNOWBELL	2.75M HT.	B & B
HCD	4	HIBISCUS COELESTIS BLUE BIRD	BLUE BIRD HIBISCUS	1.75M HT.	ON STANDARD
RTD	3	RHUS TYPHINA DISSECTA	LACELEAF SUMAC	2.0M HT.	B & B
MA	1	MAHONIA AQUIFOLIUM	OREGON GRAPE	#3	CONTAINER
PO	20	PRUNUS L. OTTO LUYKENS	OTTO LUYKEN LAUREL	#3	CONTAINER
PM	32	POLYSTICHUM MUNITEM	WESTERN SWORD FERN	#3	CONTAINER
RC	4	RHODODENDRON CHEER	CHEER RHODO.	#3	CONTAINER
RH	13	RHODODENDRON HACHMANN'S FANTASTIC	FANTASTIC RHODODENDRON	#3	CONTAINER
RR	27	RHODO. ROYAL PINK	ROYAL PINK RHODO.	#3	CONTAINER
RJ	14	RHODODENDRON LINOUE	UNIQUE RHODO.	#3	CONTAINER
SJ	30	SKIMMIA JAPONICA REEVESIANA	JAPANESE SKIMMIA	#3	CONTAINER
CM	24	COREOPSIS VERTICILLATA MOONBEAM	MOONBEAM TICKSEED	#1	CONTAINER
CZ	28	COREOPSIS VERTICILLATA ZAGREB	ZAGREB TICKSEED	#1	CONTAINER
HS	87	HEMEROCALIS STELLA D'ORO	DAY LILY	#1	CONTAINER
RF	22	RUDBECKIA FULGIDA var 'GOLDSTRUM'	BLACK EYED SUSAN	#1	CONTAINER

REVISIONS ISSUED
1. JUNE 28, 2016. ISSUED FOR RE-ZONING.
2. JUNE 28, 2016. ISSUED FOR RE-ZONING.
3. JUNE 28, 2016. ISSUED FOR RE-ZONING.

REISSUED FOR RZ.
DEC. 08-2019

PROPOSED MIXED USE DEVELOPMENT
1111 - 1123 KINGSWAY, VANCOUVER, B.C.
CLIENT: PETERSON
ARCHITECT: M C M ARCHITECTS

PROJECT

MARYAMA
LANDSCAPE ARCHITECTS

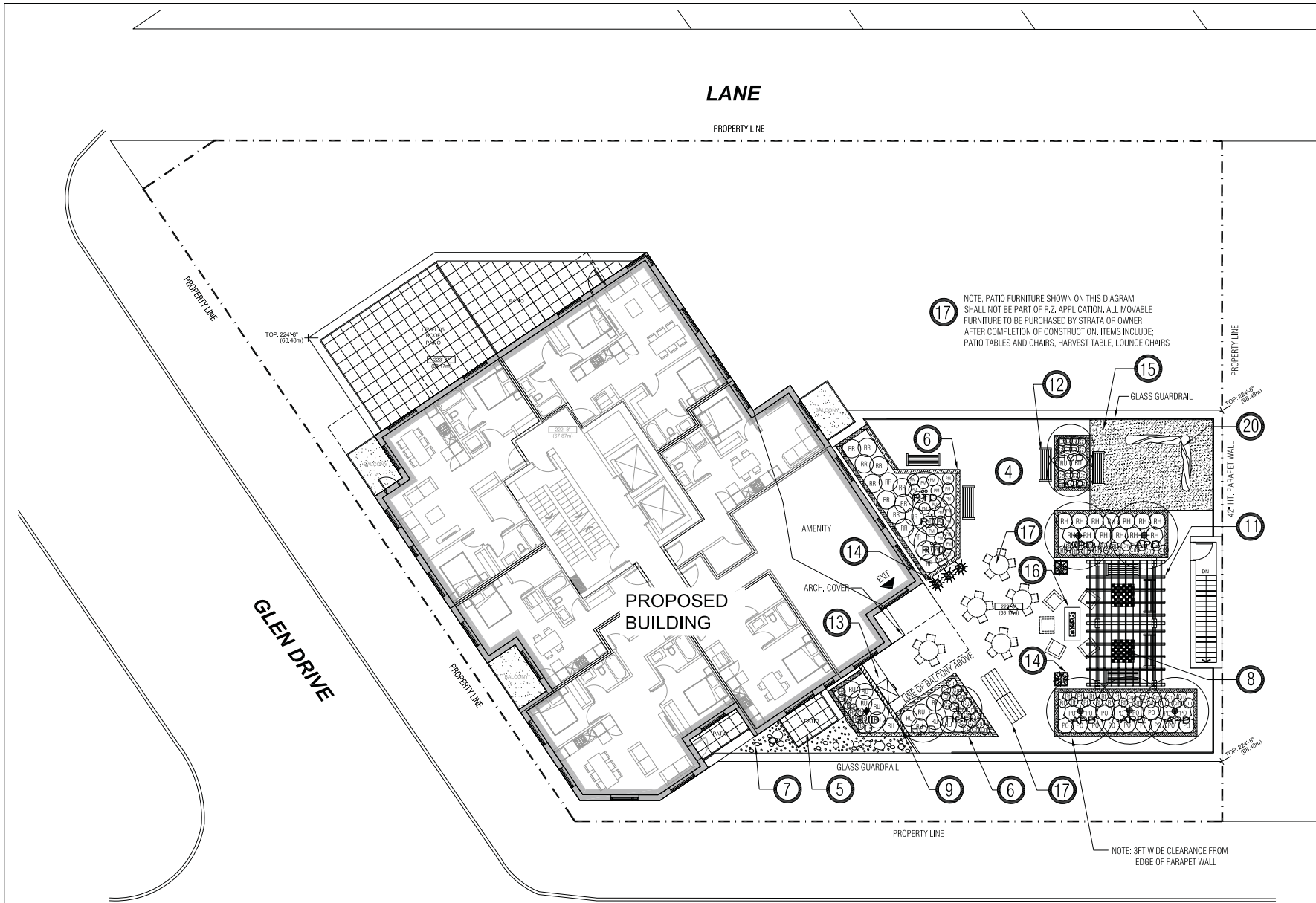
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CHECKED: RMM
SCALE: 1/8" = 1'-0"
JOB NO. M1903

SHEET TITLE
LANDSCAPE PLAN
LEVEL 1 & 1.5

SHEET NO.
L-1

ROD JARROLD & ASSOCIATES: 880 C. LEE IN BOOT SQUARE, VANCOUVER, B.C. V6Z 4B4. PH: (604) 674-9981. FX: (604) 674-9987. EV: maryama@mac.com

CONTRACTOR: MARYAMA & ASSOCIATES: 880 C. LEE IN BOOT SQUARE, VANCOUVER, B.C. V6Z 4B4. PH: (604) 674-9981. FX: (604) 674-9987. EV: maryama@mac.com



NOTE: PATIO FURNITURE SHOWN ON THIS DIAGRAM SHALL NOT BE PART OF R.Z. APPLICATION. ALL MOVABLE FURNITURE TO BE PURCHASED BY STRATA OR OWNER AFTER COMPLETION OF CONSTRUCTION. ITEMS INCLUDE: PATIO TABLES AND CHAIRS, HARVEST TABLE, LOUNGE CHAIRS

NOTE: 3FT WIDE CLEARANCE FROM EDGE OF PARAPET WALL

GENERAL LANDSCAPE NOTES:

- THIS DRAWING IS INTENDED FOR RE-ZONING OR DP APPLICATION. ALL INTENDED LANDSCAPE COMPONENTS SHALL BE DESIGNED IN COMPLIANCE WITH THE CITY OF VANCOUVER ENGINEERING AND BUILDING BYLAWS, STREETSCAPE REQUIREMENTS AND COMMUNITY PLAN DESIGN GUIDELINES.
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 - C. SHRUBS: 18" (450MM)
 - D. TREE PITS: 36" (900MM) WITH 12" (300MM) BELOW ROOT BALL
- LAWN AREAS SHALL BE SOEDED WITH #1 PREMIUM RESIDENTIAL SOO, NON NETTED.
- ALL SHRUB PLANTING AREAS SHALL HAVE GROUND COVERS 14" O.C.
- 2" DEPTH OF 1" MINUS COMPOST MULCH TO BE INSTALLED IN ALL SHRUB PLANTING AREAS.
- PAVING TYPES AND MATERIALS AS FOLLOWS:
 - WALKWAYS AND COMMON AREA: CAST IN PLACE CONCRETE W/ BROOM FINISH
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- BENCHES BY MAGLIN SITE FURNITURE - MLB970W BENCH W/ IPE SLATS.
- BIKE RACK: 13 BIKE STALLS PROVIDED.

PLANT LIST:

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	COND.
ACD	3	ACER CIRINATUM	VINE MAPLE	2.5M HT.	B & B
APD	5	ACER PALMATUM	JAPANESE MAPLE	2.75M HT.	B & B
ARD	7	ACER RUBRUM BOWHALL	BOWHALL RED MAPLE	6CM CAL.	B & B
POC	3	ACER RUBRUM	RED MAPLE	3.0M HT.	B & B
SJD	5	STYRAX JAPONICA	JAPANESE SNOWBELL	2.75M HT.	B & B
HCD	4	HIBISCUS COELESTIS BLUE BIRD	BLUE BIRD HIBISCUS	1.75M HT.	ON STANDARD
RTD	3	RHUS TYPHINA DISSECTA	LACELEAF SUMAC	2.0M HT.	B & B
MA	21	MANHONIA AQUIFOLIUM	OREGON GRAPE	#3	CONTAINER
PO	20	PRUNUS L. OTTO LUYKENS	OTTO LUYKEN LAUREL	#3	CONTAINER
PM	32	POLYSTICHUM MUNITM	WESTERN SWORD FERN	#3	CONTAINER
RC	4	RHODODENDRON CHEER	CHEER RHODO.	#3	CONTAINER
RH	13	RHODODENDRON HACHIMANN'S FANTASTICA	FANTASTIC RHODODENDRON	#3	CONTAINER
RR	27	RHODO. ROYAL PINK	ROYAL PINK RHODO.	#3	CONTAINER
RJ	14	RHODODENDRON UNIQUE	UNIQUE RHODO.	#3	CONTAINER
SJ	30	SKIMMIA JAPONICA REEVESIANA	JAPANESE SKIMMIA	#3	CONTAINER
CM	24	COREOPSIS VERTICILLATA MOONBEAM	MOONBEAM TICKSEED	#1	CONTAINER
CZ	28	COREOPSIS VERTICILLATA ZAGREB	ZAGREB TICKSEED	#1	CONTAINER
HS	87	HEMEROCALIS STELLA DORO	DAY LILY	#1	CONTAINER
RF	22	RUDBECKIA FULGIDA var 'GOLDSTRUM'	BLACK EYED SUSAN	#1	CONTAINER

LANDSCAPE COMPONENTS:

- | | | |
|--|---|---|
| 1 LAWN | 8 CHESS BOARD PAVING (6"x6" UNIT PAVER) | 15 CHILDREN'S PLAY AREA W/ RUBBER SURFACE |
| 2 PLANTING BED | 9 5FT. HT. WOOD FENCE | 16 FIRE PIT |
| 3 CONCRETE WALKWAY | 10 6' HT. DECORATIVE SCREEN | 17 PATIO FURNITURE BY STRATA |
| 4 UNIT PAVING TYPE 1 | 11 METAL TRELLIS | 18 BIKE RACKS |
| 5 UNIT PAVING TYPE 2 (2'X2') | 12 BENCH | 19 TREE GRATE |
| 6 RAISED PLANTER WALL 36" HT. FROM SURFACE | 13 BBQ STATION, W/ SIDE TABLE, STORAGE BY OWNER | 20 LOG |
| 7 RIVER ROCK BED | 14 DECORATIVE POTS | |

1 LANDSCAPE: LEVEL 6 - AMENITY

SCALE: 3/32" = 1'-0"

LEGEND:

	PROPOSED CONIFEROUS		UNIT PAVING TYPE 1		RIVER ROCK BED		PROPOSED METAL TRELLIS		DECORATIVE POTS
	PROPOSED DECIDUOUS		UNIT PAVING TYPE 2 (2' X 2')		5' HT. WOOD FENCE		BENCH		BBQ STATION, W/ SIDE TABLE AND STORAGE BY OWNER
	SHRUB & GROUND COVER PLANTING		CHILDREN'S PLAY AREA W/ RUBBER SURFACE		6' HT. DECORATIVE SCREEN		LOG		FIRE PIT W/ PATIO FURNITURE
	LAWN		RAISED PLANTER WALL 36" HT.		CHESS BOARD PAVING (6"x6" UNIT PAVER)		BIKE RACKS		TREE GRATE

REVISIONS ISSUED
1. JUNE 24, 2016. ISSUED FOR RECORDING.
2. JUNE 24, 2016. ISSUED FOR PERMITS.
3. DEC. 8, 2016. REVISION FOR R.C.



REISSUED FOR R.Z.
DATE: 06-08-2016

PROJECT
PROPOSED MIXED USE DEVELOPMENT
1111 - 1123 KINGSWAY, VANCOUVER, B.C.
CLIENT: PETERSON
ARCHITECT: M C M ARCHITECTS



DATE	JUNE 4, 2016
DESIGN	MM
DRAWN	MM
CHECKED	MM
SCALE	AS SHOWN
JOB NO.	M193

SHEET TITLE
LANDSCAPE PLAN
LEVEL 6 - AMENITY

SHEET NO.
L-2

ACKNOWLEDGEMENTS & PROJECT TEAM



Architect
MCM Partnership



Developer
Peterson



Energy Modeling
JRS Engineering



Landscape Architect
Maruyama and Associates



Traffic Engineer
Bunt and Associates

M C M

Musson
Cattell
Mackey
Partnership



**Musson Cattell Mackey Partnership
Architects Designers Planners**

<http://mcmparchitects.com>