

# STATISTICS

Legal Address	187 & 195 West 41st Avenue, Vancouver		
Legal Description	Amended Lot 3, Except Part in Ex. Plan 5870 & Amended Lot 1 Except Part in Ex. Plan 5849, Both of Lot 2 Block 1003A Group 1 District Lot 526 New Westminster District Plan 4381		PID: 011-572-540, 011-572-523
Existing Zoning	RS-1		
Proposed Zoning	CD-1		
Site Area	10,820 sf	Dimensions: 96.3'x112.6'	
Total FSR Proposed*	19,530 sf	FSR: 1.80	*FSR does not include in-suite storage, Amenity Rooms, mechanical shaft areas
Height Proposed	4 Storeys		

Unit Mix																
It Include in-suite storage areas																
Floor Level	Totals Units/Flr	1 Bed< 538sf			1 Bed, 1 Bed + Den				2 Bed, 2 Bed + Den					3/4 Bed	Area (Net) Total	Area of Units >538 sf
		Unit sf	Unit sf	Sub-Total	Unit sf	Unit sf	Unit sf	Sub-Total	Unit sf	Unit sf	Unit sf	Unit sf	Sub-Total	Unit sf		> 1938 sf
L1	5			0	545	540		1,085	865	727			1,592	860	3,537	3,537
L2	7	500	512	1,012	545			545	746	701	763	905	3,115		4,672	3,660
L3	7	500	512	1,012	545			545	746	701	763	905	3,115		4,672	3,660
L4	4			0				0	716	712	920		2,348	1022	3,370	3,370
Total Area (Net)		2,024			2,175				10,170						16,251	14,227
																0

In-suite Storage Area																
Bulk Storage and In-suite storage - Multiple Family Residential Developments, January 10, 2018																
Floor Level	1 Bed< 538sf			1 Bed, 1 Bed + Den				2 Bed, 2 Bed + Den					3/4 Bed	Area		
	Unit sf	Unit sf	Unit sf	Sub-Total	Unit sf	Unit sf	Unit sf	Sub-Total	Unit sf	Unit sf	Unit sf	Unit sf	Sub-Total	Unit sf	Total	
L1				0.0	36.7	40.0		76.7	40.0	40.0			80.0	40.0	196.7	
L2		30.4	37.0	67.4	36.7			36.7	40.0	26.3	0.0	40.0	106.3		210.4	
L3		30.4	37.0	67.4	36.7			36.7	40.0	26.3	0.0	40.0	106.3		210.4	
L4				0.0				0.0	24.0	40.0	40.0		104.0	40.0	144.0	
Total Storage Area		134.8			150.1				396.6						761.5	

Unit Mix: Vehcicle Parking																
VPBL 4.2.1.13, Family Room: Housing Mix Policy for Rezoning Projects, July 13, 2016																
POLICY 1: Rezoning applications that include any residential strata housing are required to include a minimum of 35 percent family units (units having two or more bedrooms), including a minimum of 10 percent three-bedroom units and a minimum of 25 percent two-bedroom units.																

Unit Area	Units	Units	Sub-Total	Units	Units	Units	Sub-Total	Units	Units	Units	Units	Sub-Total	Units	Sub-Total	Total	Unit Mix
1 Bed< 538sf	2	2	4				0					0		0	4	17%
1 Bed> 538sf			0	3	1	0	4					0		0	4	17%
2 Bed>538 sf			0				0	4	4	3	2	13		0	13	57%
3/4 Bed>538 sf			0				0					0	2	2	2	9%
Unit >1938 sf			0				0					0		0	0	0%
Total															23	100%

Unit Mix: Bicylce Parking																
2019 Parking By-law Update Summary, Off-Street Bicycle Space Regulations (14)																
Unit Area	Quantity															Unit Mix
	Units	Units	Sub-Total	Units	Units	Units	Sub-Total	Units	Units	Units	Units	Sub-Total	Units	Sub-Total	Total	
<700 sf	2	2	4	3	1	0	4					0		0	8	35%
>700 <1130 sf			0	0	0		0	4	4	3	2	13	2	2	15	65%
>1130 sf			0				0					0	0	0	0	0%
Total															23	

Amenity Area																
Planning Bylaw Amenity Areas excluded from FSR																
Amenity Room Area		425 sf														

Area Calculation									
	Mechanical Shaft (sf)	Amenity Room (sf)	Net Residential (sf)	In-Suite Storage (sf)	Gross Residential (sf)	Gross Floor Area (sf)	Open Balcony (sf)	Enclosed Balcony(sf)	Residential Area (%)
L1			3,537	197	3,734	4,969			
L2			4,672	210	4,882	5,396	458.3	110.8	2%
L3			4,672	210	4,882	5,396	370.3	110.8	2%
L4			3,370	144	3,514	4030	607		3%
Roof		425				500			
Total	0	425	16,251	762	17,013	20,291	1435.6	221.6	8%

Vehicle Parking									
VPBL 4.2.1.13									
VPBL 4.2.1.13									
						Required	Disabled	Provided Reg. Size	Small Size
0.5 Spaces/Unit < 538 ft <sup>2</sup> (50m <sup>2</sup> )						4 Units	2.0		
0.6 Spaces/Unit > 538 ft <sup>2</sup> (50m <sup>2</sup> )						19 Units	11.4	14	14
1 space/2135 ft <sup>2</sup> (200m <sup>2</sup> )						19,530 sf	9.1		6
Excess Spaces									6
Disability Parking (Included in required spaces)									
1 space/ 7 Units + 0.034/Additional Units						VPBL 4.8.4	1.5	2	2
1 space counted as 2 regular parking spaces						VPBL 4.1.15		2	2
Vistor Parking (Parking and Loading Design Supplement IV. D. Visitor Parking, Residential)									
0.05 min-0.1 max spaces/unit							1.2	2	2
Total							25	4	16
Note:						Small Car Spaces allowance is less than 25%			6
						2 Disability parking spaces are noted on the Parking Level Plan. 2 Disability spaces count as 4 spaces in the total.			26

Calculation of Disability Parking Spaces									
VPBL 4.1.15									
Despite anything to the contrary in this By-law or in any other by-law mentioned herein, each disability parking space provided to satisfy the minimum required number of such spaces will count as two parking spaces for the purpose of satisfying the minimum required number of parking spaces. Use of this section will not affect any maximum parking permitted calculations.									

Bicycle Parking									
VPBL Section 6									
Class A	2019 Parking By-law Update Summary (14)						Dwellings	Required	Provided
	1.5 spaces for each dwelling unit under 65sm (700 sf)						8	12	
	2.5 spaces for each dwelling over 65sm and under 105sm (700-1130 sf)						15	38	
	3 spaces for each dwelling unit over 105sm (1130 sf)						0	0	
	Note: All bicycle parking at Underground P1 level						Class A Total		
	2019 Parking By-law Update Summary (20)						23	50	50
	A minimum of 5% of the spaces must be oversized spaces of 2.4 m in length and 0.9 m in width* and may not be vertical or stacked spaces. An access aisle of 1.5 m is required.						3	3	Oversize
	2019 Parking By-law Update Summary (22)								
	Stacking/vertical bicycle parking is permitted for up to 60% of the minimum requirement.*						30	30	Stacked lower level
	Stacked bicycle spaces shall be designed to provide access without the need to lift the bicycle entirely off of the ground, and must provide convenient access. Total combined stacked and vertical bicycle parking not to exceed 60%.								Stacked upper level
	2019 Parking By-law Update Summary (23)								
	At least 10% of the Class A bicycle spaces must be bicycle lockers.*						5	6	Lockers
Class B	2019 Parking By-law Update Summary (15)						Dwellings	Required	Provided
	2 spaces for any development with at least 20 dwelling units						23	3	3
	with and additional one space for each 20 additional dwelling units						Class B Total		

Loading Requirements									
Off-Street Loading Space Regulations 5.2.1									
Residential							Dwellings	Required	Provided
Class A	No requirement.						23	0	0
Class B	No requirement for less than 100 dwelling units.							0	0
Class C	No Requirement.							0	0

Storage Calculation									
Bulk Storage and In-suite storage - Multiple Family Residential Developments, January 10, 2018									
1. Bulk Storage Below Base Surface							Dwellings	Required	Provided
	Minimum of 5.7sm (201sf) of storage area is required for each dwelling unit						2	2	7
2. In-Suite Storage At or Above Base Surface							21	21	21
	Maximum of 3.7sm (40sf) of insuite storage space per dwelling unit may be excluded								
	Maximum In Suite Storage Provided each unit:						370 cuft	(40 sf x 9.25' high)	



# DESIGN RATIONAL

## Intent

This submission proposes to change the zoning of the site from RS-1 to Comprehensive Development CD-1 District in accordance with the Cambie Corridor Plan. The proposed development will have 23 market residential units varying in size from 1-bedroom to 3-bedroom, with a total proposed area of 19,530 sq.ft. and an F.S.R. of 1.80. Parking spaces proposed total 26 including visitor spaces, (with 2 Disability spaces counted as 4 spaces), and which will comply with the requirements of the Vancouver Parking By-Law.

## Neighborhood Context

Positioned at the North East corner of West 41st Avenue and Columbia Street with north facing frontage on West Woodstock Avenue, the lot has a site area of 10,820 sq.ft. It currently contains two single family houses. The surrounding existing neighbourhood is comprised of single family residential buildings, however the character of the neighbourhood changes to the West with a commercial strip on Cambie Street and Oakridge Centre on 41st Ave. This area is rapidly changing with new developments in accordance with the Corridor Plan.

## Site Plan Concept

As proposed, the development is consistent with the Cambie Corridor Plan including Section 4.4.4 where the existing developments along 41st Avenue will be replaced with allowable 4-storey buildings.

The site presents 96.3’ feet of frontage on West 41st Avenue, 112.5’ feet of depth fronting Columbia Street and 96.1’ feet of frontage on West Woodstock Avenue. The West 41st Avenue frontage has a 2.33ft land dedication and 4.6ft setback from the existing property line.

The size and shape of the site yields a conventional double loaded corridor building footprint with a predominant north/south orientation. Setbacks to Woodstock and Columbia streets are 12 ft., West 41st Avenue, 14.4 ft. The east property line setback is 10 ft. increasing to 16 ft. on the northern half to acknowledge setbacks, and privacy to the neighbouring property. Resident’s entrance is located on Columbia Street to take best advantage of the North/South grade change, relatively quiet, accessible street parking and yet be visible from 41st Avenue.

Access to underground parking is taken from Woodstock via an access ramp partially hidden under a trellis, parallel and adjacent to the east property line. The ramp is located to allow possible shared access to the easterly property.

## Parking Level:

Parking spaces proposed total 24, with a net of 26 spaces with Disability spaces, which will comply with the requirements of the Vancouver Parking By-Law. Vehicle parking is located on two levels with the upper parking level having two Disabled spaces.

## Bulk and Bicycle Storage:

Bulk storage has been allocated to the underground parking level the Guidelines for Multi-Family Developments. Bicycle Storage has been provided at P1 Parking Level as required in the Vancouver Parking By-Law.

## Design and Materiality

Per the Plan Section 4.4.4, the proposed maximum building height is four storeys, 43.0 ft. to the main roof level with a one storey setback to the 4th floor. These setbacks model the building to reduce scale and relate the building to neighbouring context. At the West Woodstock yard varies from a minimum of 10ft to 16ft. At 4th floor an 8ft setback provides a transitional scale to the single family residential neighbourhood across the streets.



An asymmetrical composition to the building volumes and indented balconies further reduce the apparent scale. At the 4th floor level terraces provide useable open space. On the roof, an outdoor common amenity space provides unobstructed sunshine and views to the north and south. Edges of the space are defined by guardrails set back from the roof perimeter thus limiting overlook to neighbouring properties and increasing privacy for the amenity.

On the 41st Avenue frontage an overhang above the ground level entry defines the entrance to the building and breaks down the building scale at pedestrian level. Five ground floor street facing units, will have pedestrian access from the sidewalk, private patios and gardens, all of which will enhance and animate the pedestrian realm. These patios are elevated from the sidewalk and surrounding streets with plantings that gently transition from existing grade to the newly created ground floor level.

## Rooftop:

At roof level an outdoor common amenity space, connected to an indoor amenity space, will provide residents an environment planted with intensive and extensive green roof technologies. These technologies include planters for urban agriculture, bird friendly trees and “green roof” landscaping. Edges of the space are defined by translucent guardrails to reduce overlook to neighbouring properties and increasing privacy for the amenity. Full accessibility to the amenity will be by elevator. Two private roof decks accessible by private stairs from 4th floor level occupy available space at roof level.

## Streetscape and Public Realm:

On the 41st Avenue frontage the interior of residential units extend down one half stair flight to an outdoor patio overlooking the street. The patios are separated from street level by landscaped planters and another half flight of access stairs leading to the patio and entry door.

An overhang above the ground level entry defines the main entrance and provides scale at pedestrian level. A grade level residential unit faces Woodstock with pedestrian access from the Columbia sidewalk, a private patio and gardens, all of which enhance and animate the pedestrian realm.

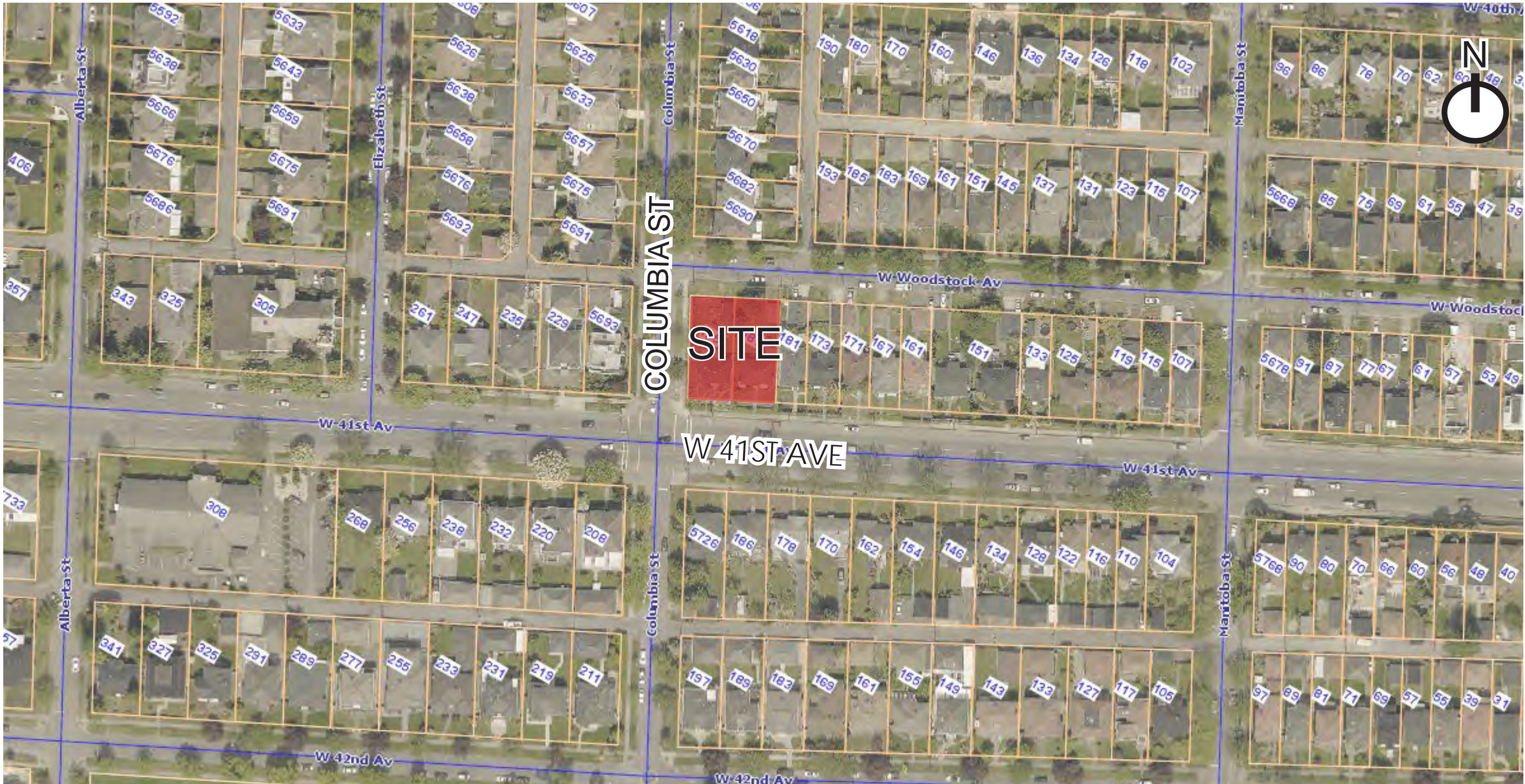
## Landscaping:

The tree canopy has been augmented with 32 proposed trees both on the property and surrounding City boulevards. One replacement pine tree takes a prominent position at the northwest corner of the property. Screening of the parking garage entry ramp is facilitated by 11 columnar trees. At roof level additional trees supplement the canopy and green roof palette.



# PROJECT OVERVIEW

CONTEXT PLAN



SITE LOCATION



STREETSCAPE



W 41ST AVE STREETSCAPE



WOODSTOCK AVE STREETSCAPE



COLUMBIA ST STREETSCAPE

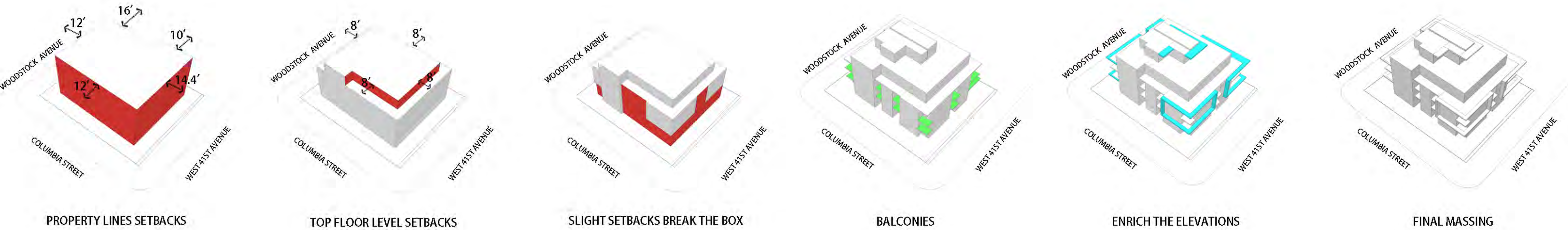


# DESIGN ANALYSIS

CIRCULATION DIAGRAM



BUILDING FORM & MASSING STUDY





# SHADOW STUDY

VERNAL EQUINOX | MARCH 20



10:00 AM

SUMMER SOLSTICE | JUNE 21



10:00 AM

AUTUMNAL EQUINOX | SEPTEMBER 23



10:00 AM

WINTER SOLSTICE | DECEMBER 21



10:00 AM

## Shadow Studies:

The proposed design has been modeled with increased setbacks at the east property line and stepped massing at the 4th floor taking into consideration the Cambie Corridor Guidelines 5.1.20. The floors are stepped back and informed by the shadow studies that have been completed in support of the design. The shadow studies show that the East facing aspect setback and stepped at 4th floor has minimized the shadow impact on the neighbouring buildings. As the parking garage entry ramp occupies the neighbouring property eastern boundary shadows fall principally within the Woodstock boulevard and ramp area.



12:00 PM



12:00 PM



12:00 PM



12:00 PM



2:00 PM



2:00 PM



2:00 PM



2:00 PM



# GREEN BUILDING POLICY FOR REZONING

This project will follow the Low Emissions Green Buildings path “B” within the Vancouver Green Buildings Policy for Rezoning.

Strategies for consideration in meeting or exceeding the requirements of the policy include:

- Energy saving electric lights, residential appliances.
- Air source V.R.F. heating & heat passivehaus assisted domestic hot water heating.
- Omission of all available natural gas and carbon energy mechanical and domestic appliances.
- Enhanced building envelope airtightness.
- Passivehaus level glazing 35% window-wall ratio.
- Enhanced insulation to roofs, walls and exposed underfloor areas including improved reduction of thermal bridging.
- EV charging stations to underground parking levels.
- On-site rainwater management in respect to the City Integrated Rainwater Management Plan policies.



HIGH PERFORMANCE ENVELOPE INCLUDING PASSIVEHAUS WINDOW SYSTEM AND EXTERIOR INSULATED WALLS.



ENHANCED VENTILATION AND EXHAUST WITH ENERGY RECOVERY (ERV)



ROOFTOP GARDENING PLOTS FOR RESIDENTS



ONSITE RAINWATER MANAGEMENT COLLECTION



LOW VOC'S MATERIAL SELECTION IMPROVED INDOOR AIR QUALITY



# PERSPECTIVES



BIRDS' EYE VIEW - FROM SOUTHWEST 01



BIRDS' EYE VIEW - FROM SOUTHEAST



BIRDS' EYE VIEW - FROM NORTHWEST



ALONG W41ST AVE LOOKING TO THE WEST



# STREETSCAPE



WEST 41ST AVENUE STREETSCAPE



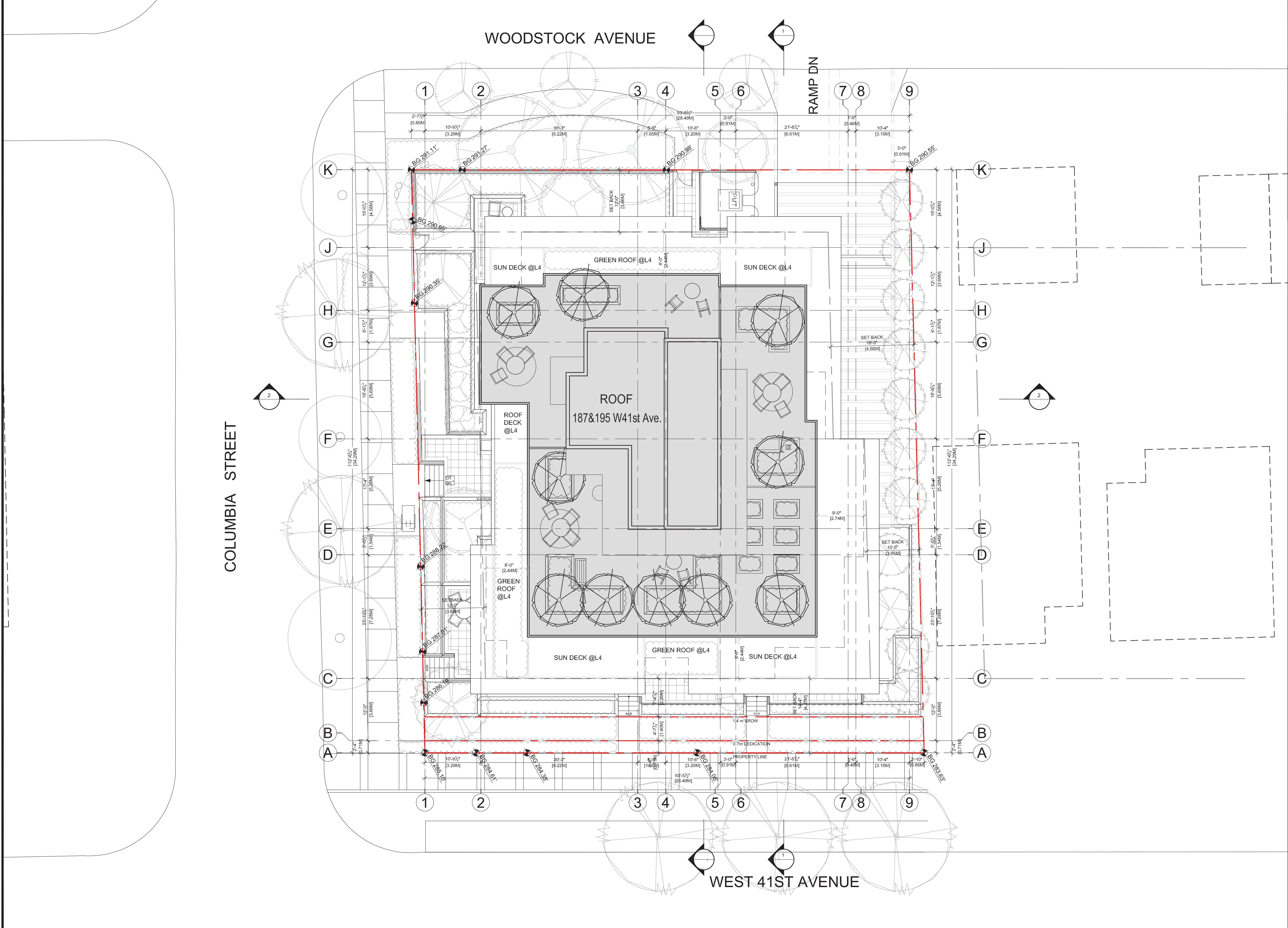
COLUMBIA STREETSCAPE



WOODSTOCK AVENUE STREETSCAPE







NORTH

2	MAY 2019	ISSUED FOR REZONING APPLICATION
1	SEP. 2017	ISSUED FOR REZONING ENQUIRY
NO.	DATE	DESCRIPTION

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KEY PLAN

PROJECT TITLE

187-195 W 41ST AVE  
VANCOUVER, BC

PROJECT NO:	81713
DRAWN BY:	JAMES MA
CHK'D BY:	XINMAI
SCALE:	1/8"=1'-0"
DATE:	MAY 2019

SHEET TITLE

SITE PLAN

SHEET NUMBER

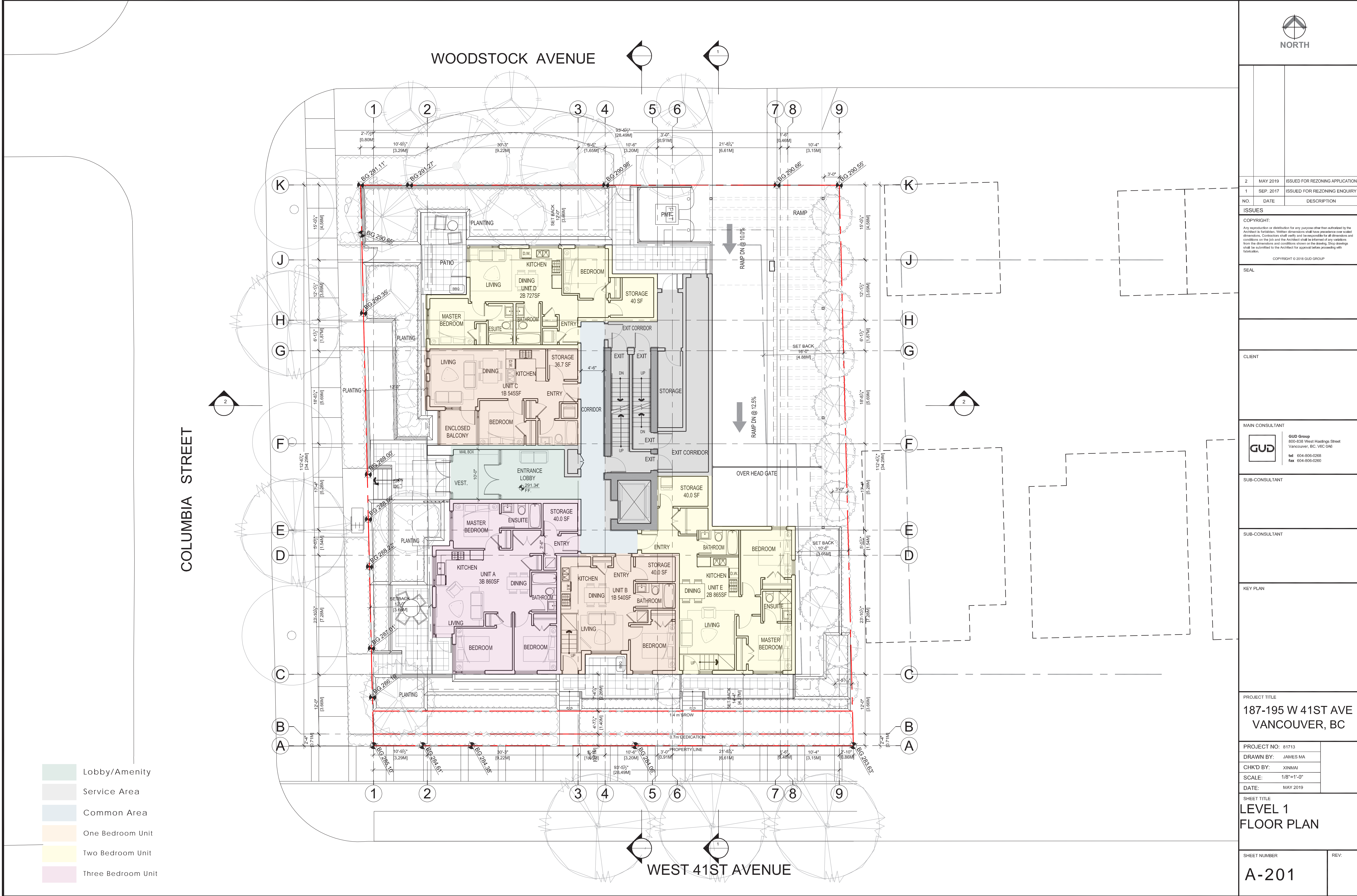
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NORTH

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PROJECT TITLE

**187-195 W 41ST AVE  
VANCOUVER, BC**

PROJECT NO:	81713
DRAWN BY:	JAMES MA
CHK'D BY:	XINMAI
SCALE:	1/8"=1'-0"
DATE:	MAY 2019

SHEET TITLE

**LEVEL 1  
FLOOR PLAN**

SHEET NUMBER

**A-201**

REV:



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187-195 W 41ST AVE  
VANCOUVER, BC

PROJECT NO: 8171

DRAWN BY: JAMES MA

DRAWN BY:	JAMES MA
CHECKED BY:	JAMES MA

CHK'D BY:	XINMAI
DATE:	1/27, 1/28

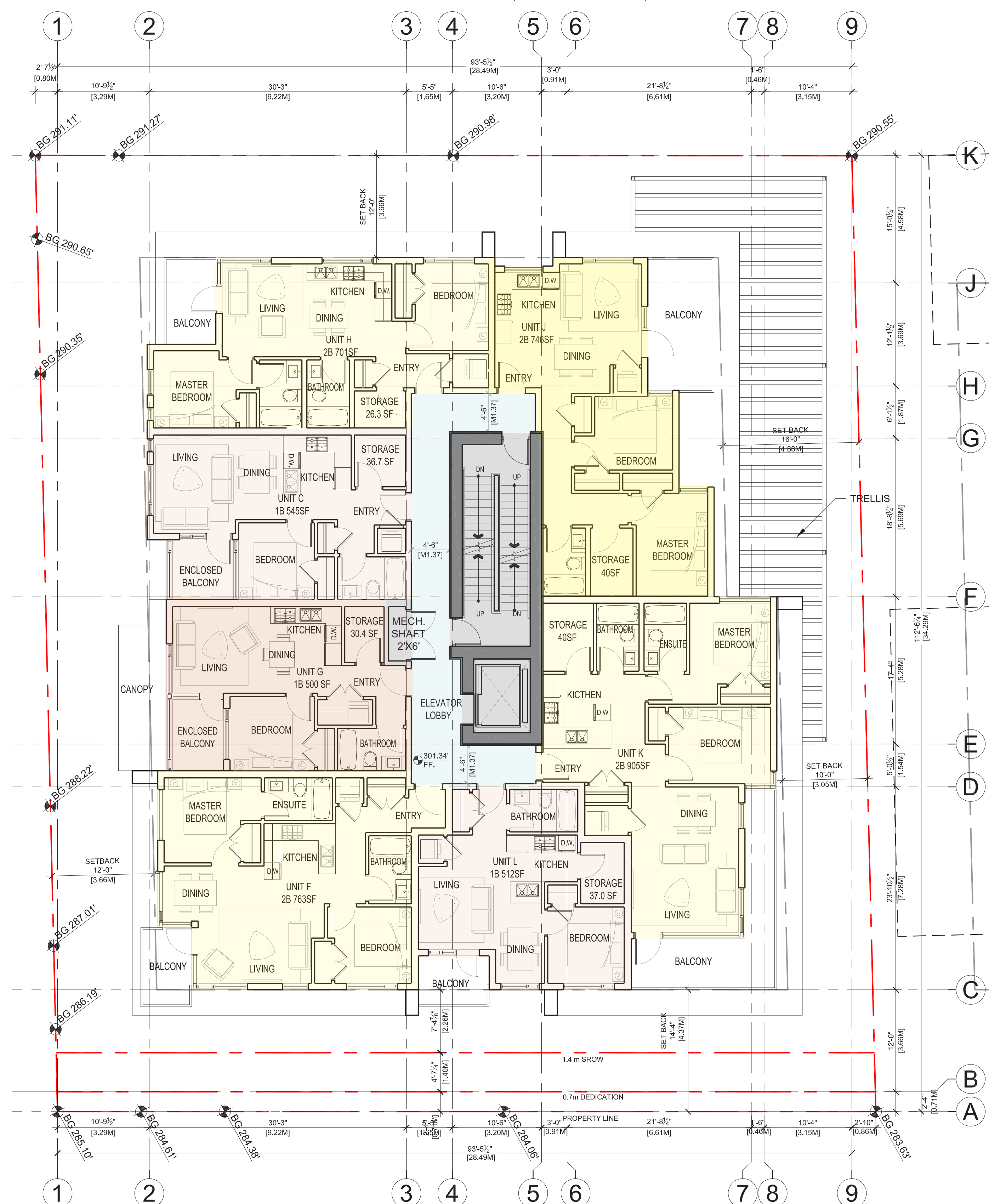
SHEET T1

LEVEL 2&3  
FLOOR PLAN

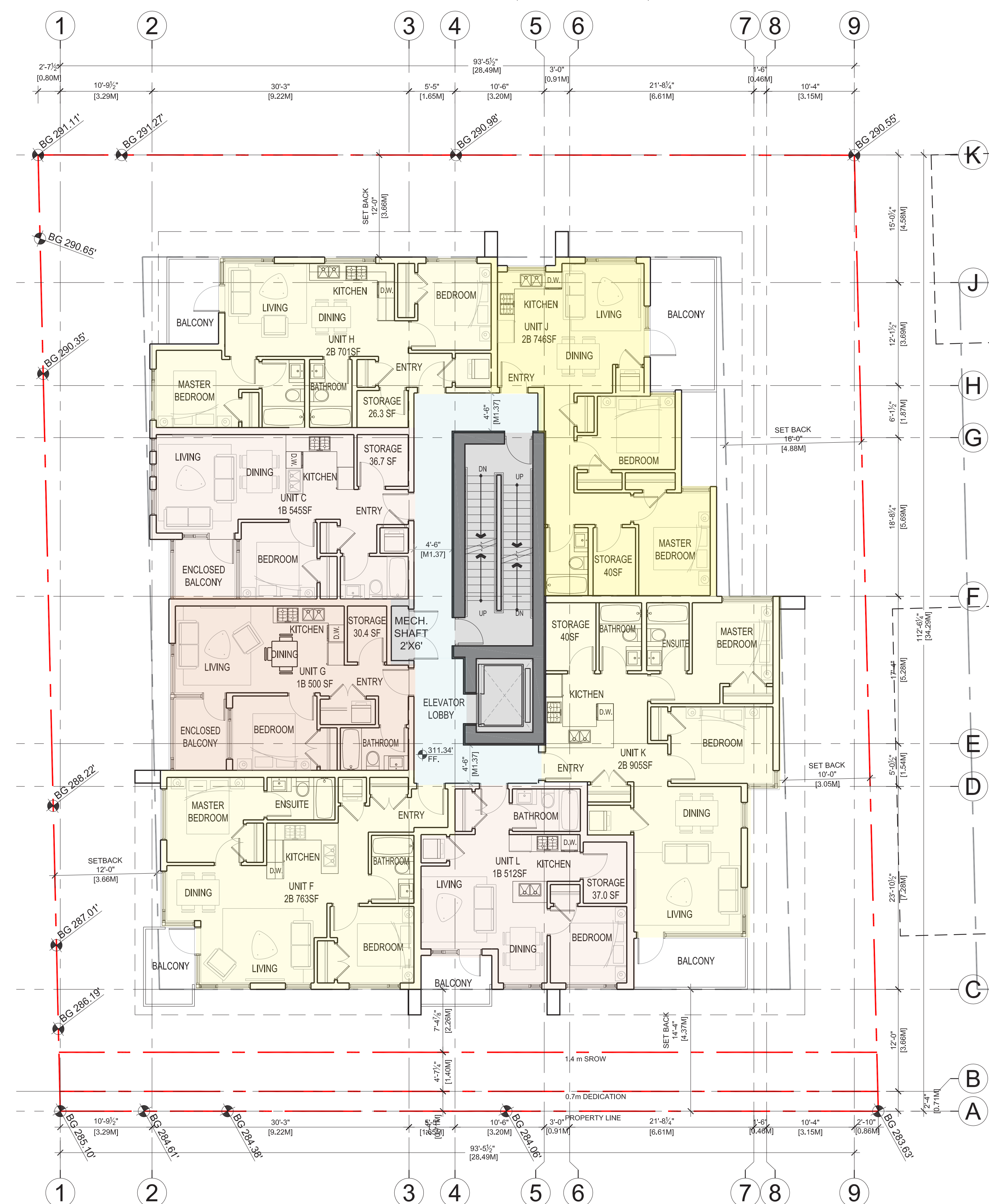
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A-202



## LEVEL 2



### LEVEL 3

Service Area

Common Area

### One Bedroom Unit

Two Bedroom Unit



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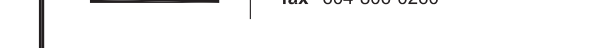
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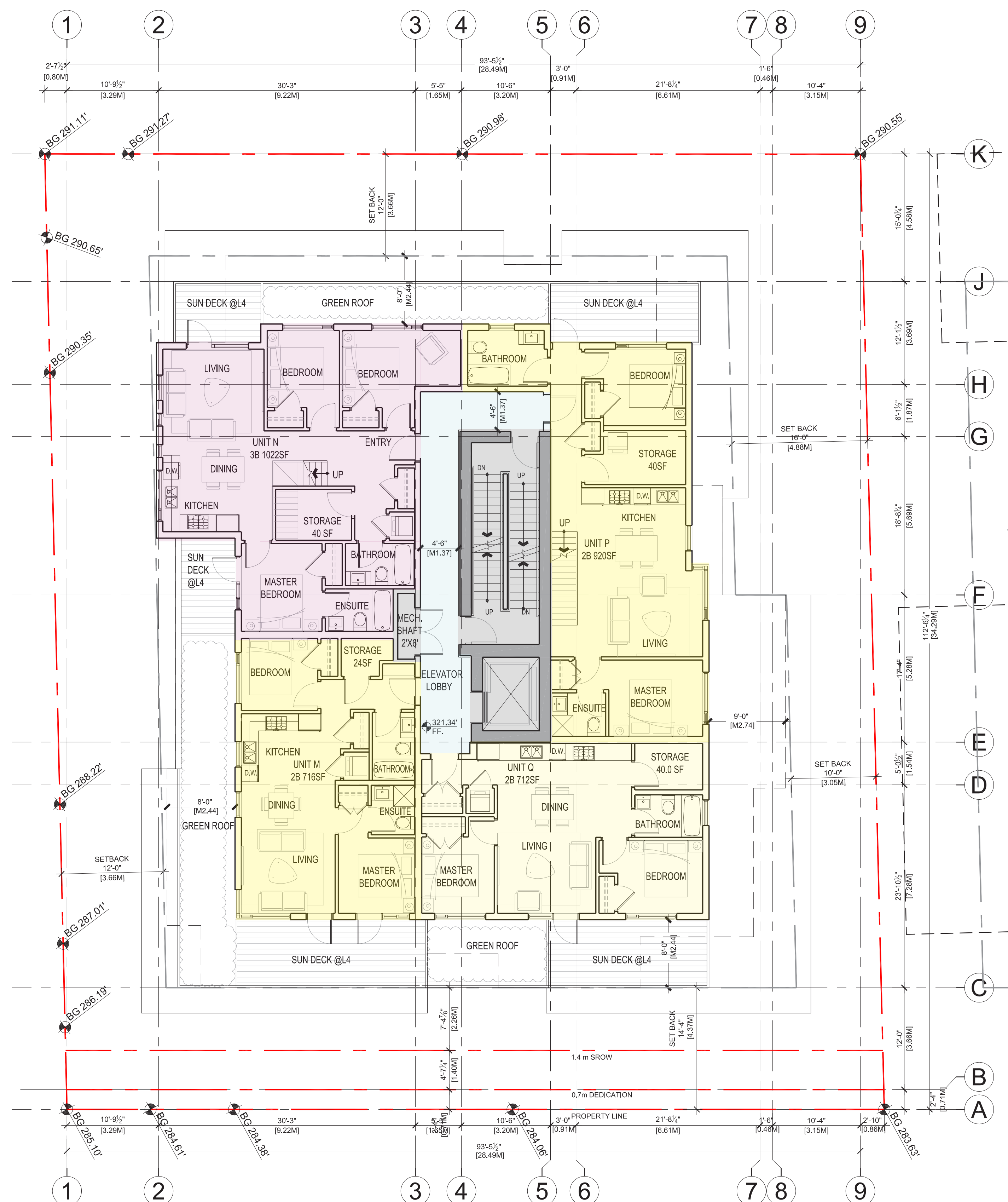
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DRAWN BY:	JAMES MA
CHK'D BY:	XINMAI
SCALE:	1/8"=1'-0"
DATE:	MAY 2019

DATE:	
SHEET TITLE	

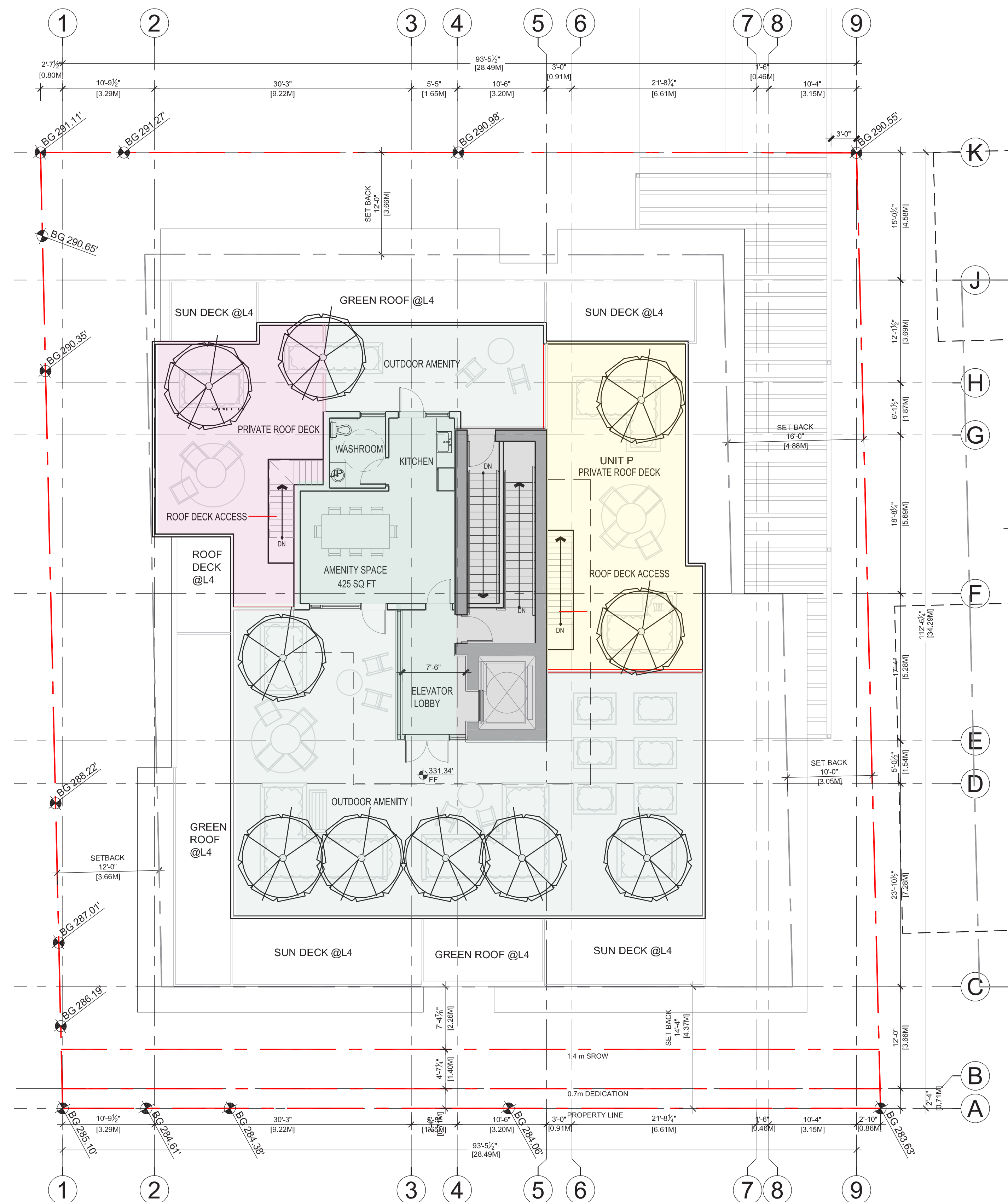
LEVEL 4&ROOF  
FLOOR PLAN

SHEET NUMBER	REV.
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A-203



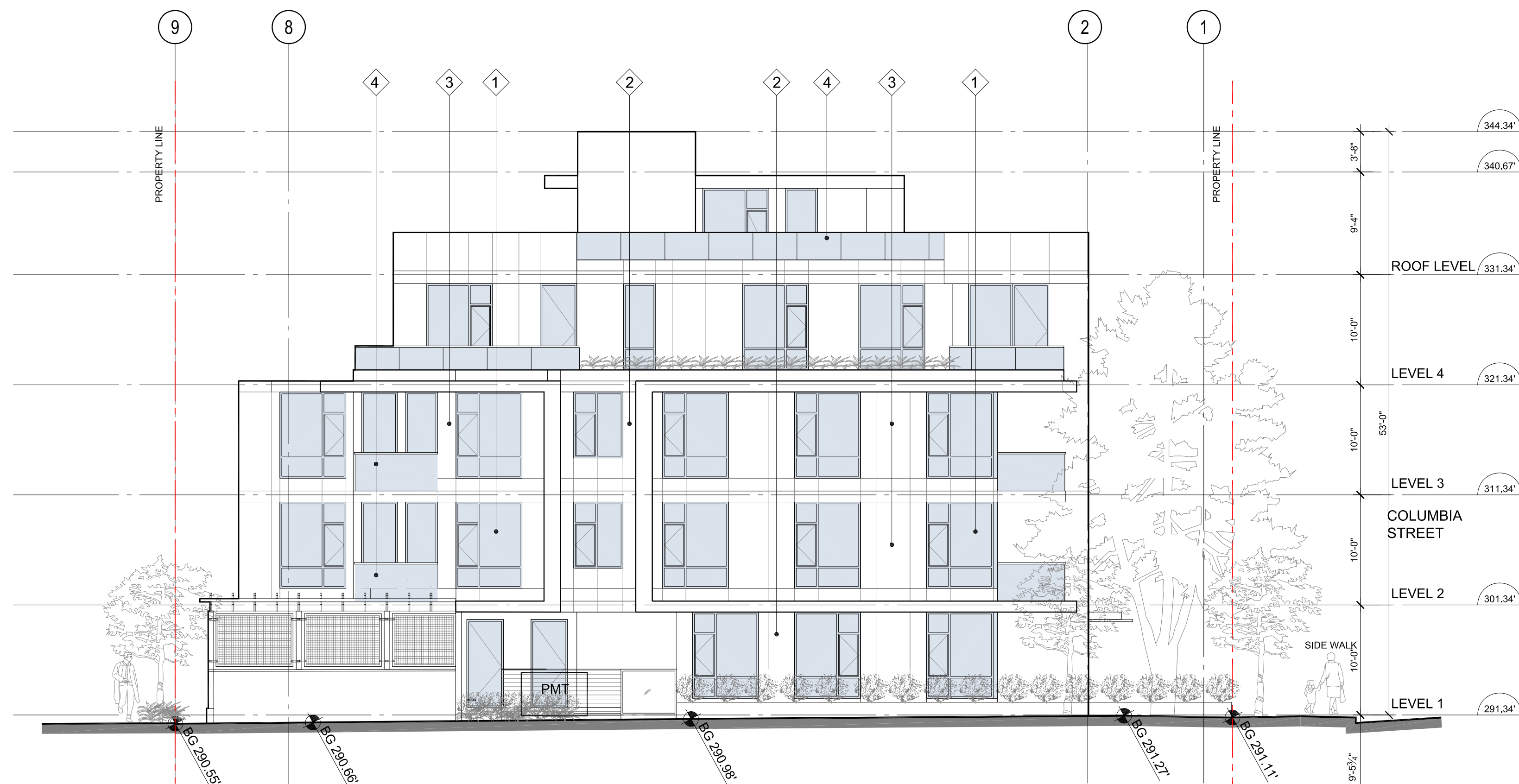
## LEVEL 4



## ROOF

- Lobby/Amenity
- Service Area
- Common Area
- Three Bedroom Unit
- Two Bedroom Unit





NORTH ELEVATION



SOUTH ELEVATION

- MATERIAL LEGEND
- 1.DOUBLE PANEL WINDOW IN CLEAR GLASS
  - 2.DARK GREY METAL PANEL
  - 3.LIGHT COLOR METAL PANEL
  - 4.GLASS GUARDRAIL
  - 5.GLASS/METAL CANOPY
  - 6.ARCHITECTURAL CONCRETE W/REVEAL LINE
  - 7.WOOD GRAIN GLASS SPANDREL PANEL
  - 8.METAL CANOPY
  - 9.DARK GREY MEDAL TRELLIS

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VANCOUVER, BC**

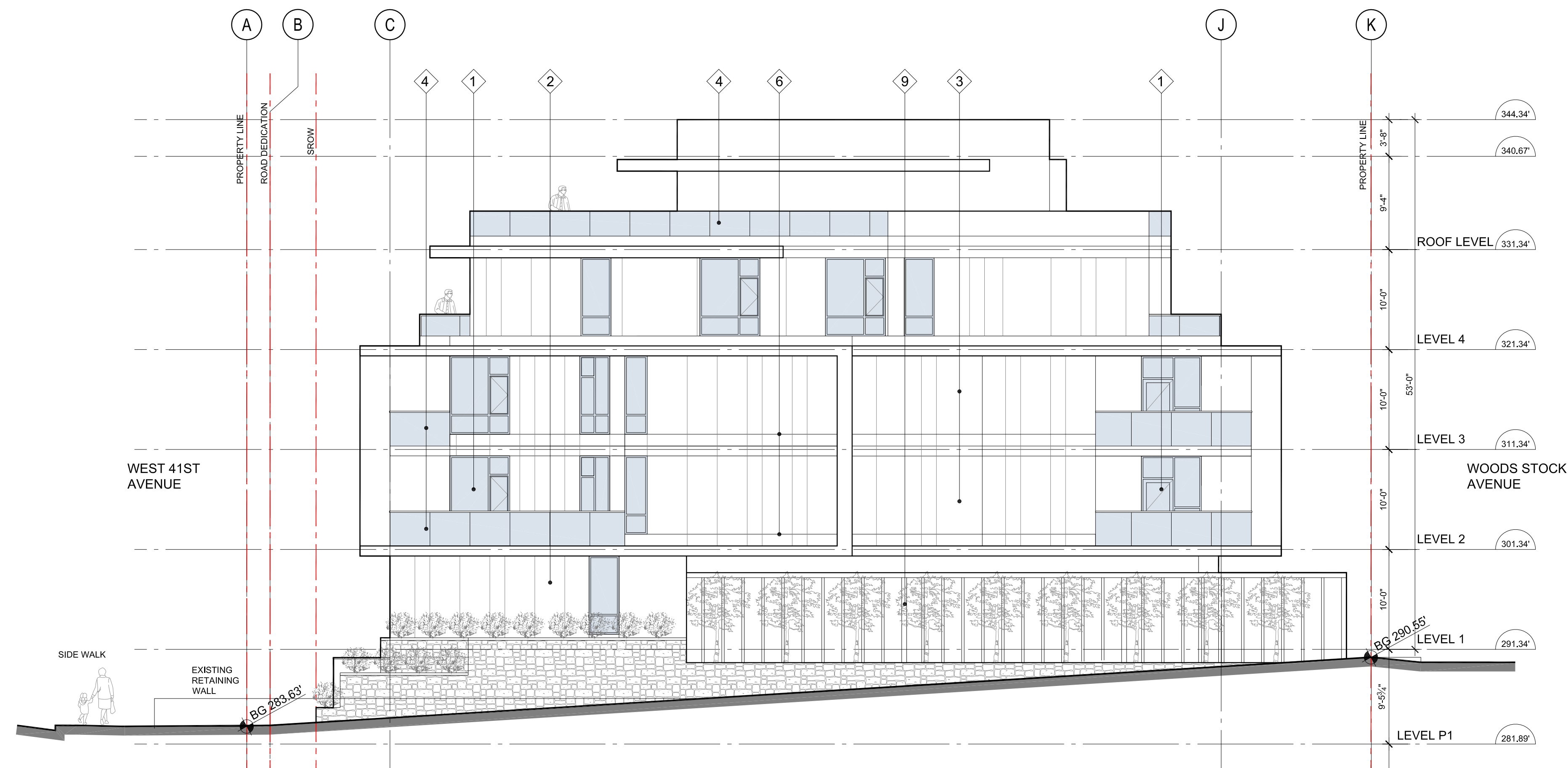
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DRAWN BY: JAMES MA  
CHK'D BY: XINIMAI  
SCALE: 1/8"=1'-0"  
DATE: MAY 2019

SHEET TITLE  
**NORTH & SOUTH  
ELEVATIONS**

SHEET NUMBER  
**A-300**

REV:





- MATERIAL LEGEND
- 1.DOUBLE PANEL WINDOW IN CLEAR GLASS
  - 2.DARK GREY METAL PANEL
  - 3.LIGHT COLOR METAL PANEL
  - 4.GLASS GUARDRAIL
  - 5.GLASS/METAL CANOPY
  - 6.ARCHITECTURAL CONCRETE W/REVEAL LINES
  - 7.WOOD GRAIN GLASS SPANDREL PANEL
  - 8.METAL CANOPY
  - 9.DARK GREY MEDAL TRELLIS

EAST ELEVATION



WEST ELEVATION

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CHK'D BY: XINIMAI  
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DATE: MAY 2019

SHEET TITLE

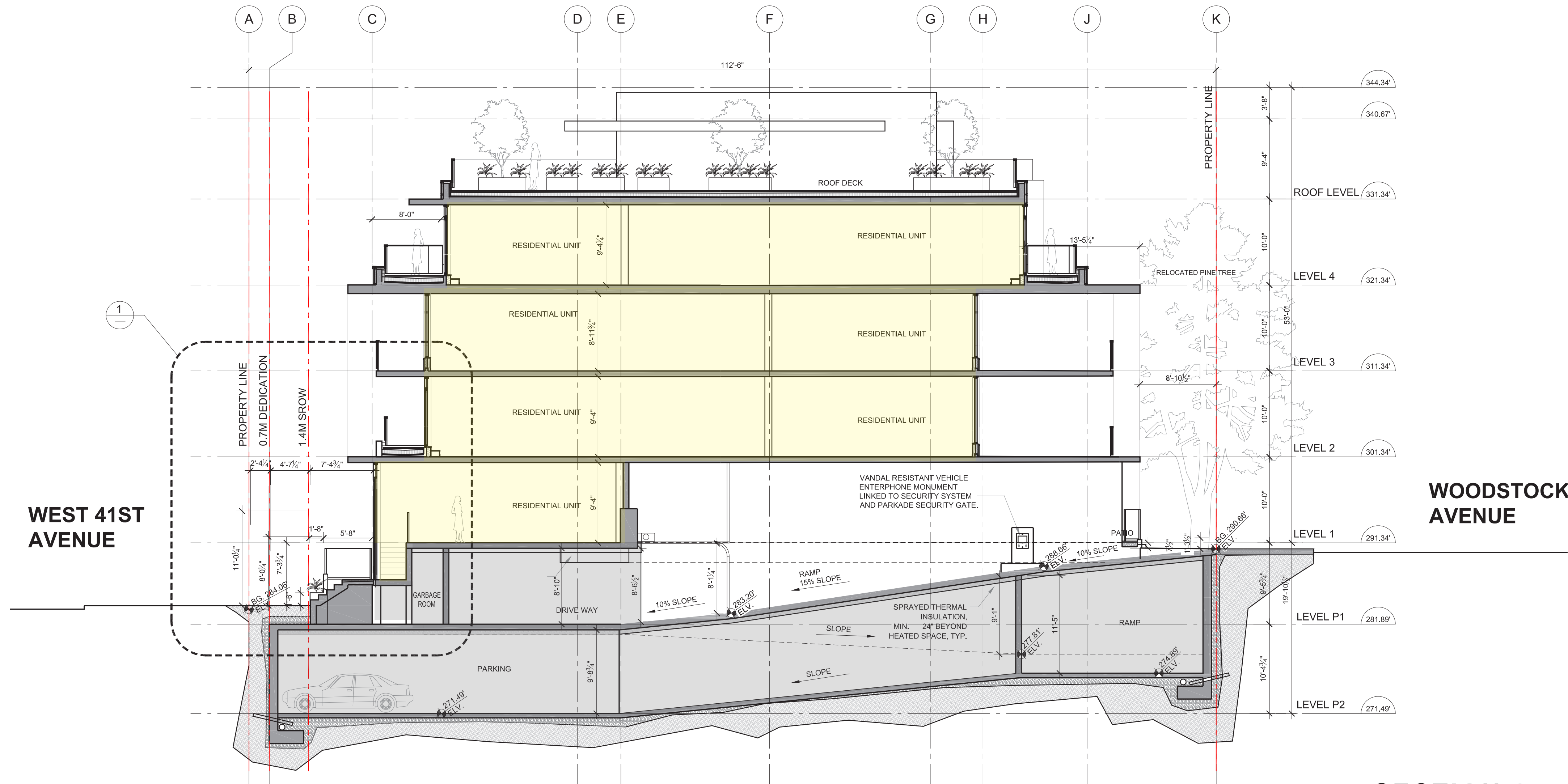
**EAST & WEST  
ELEVATIONS**

SHEET NUMBER

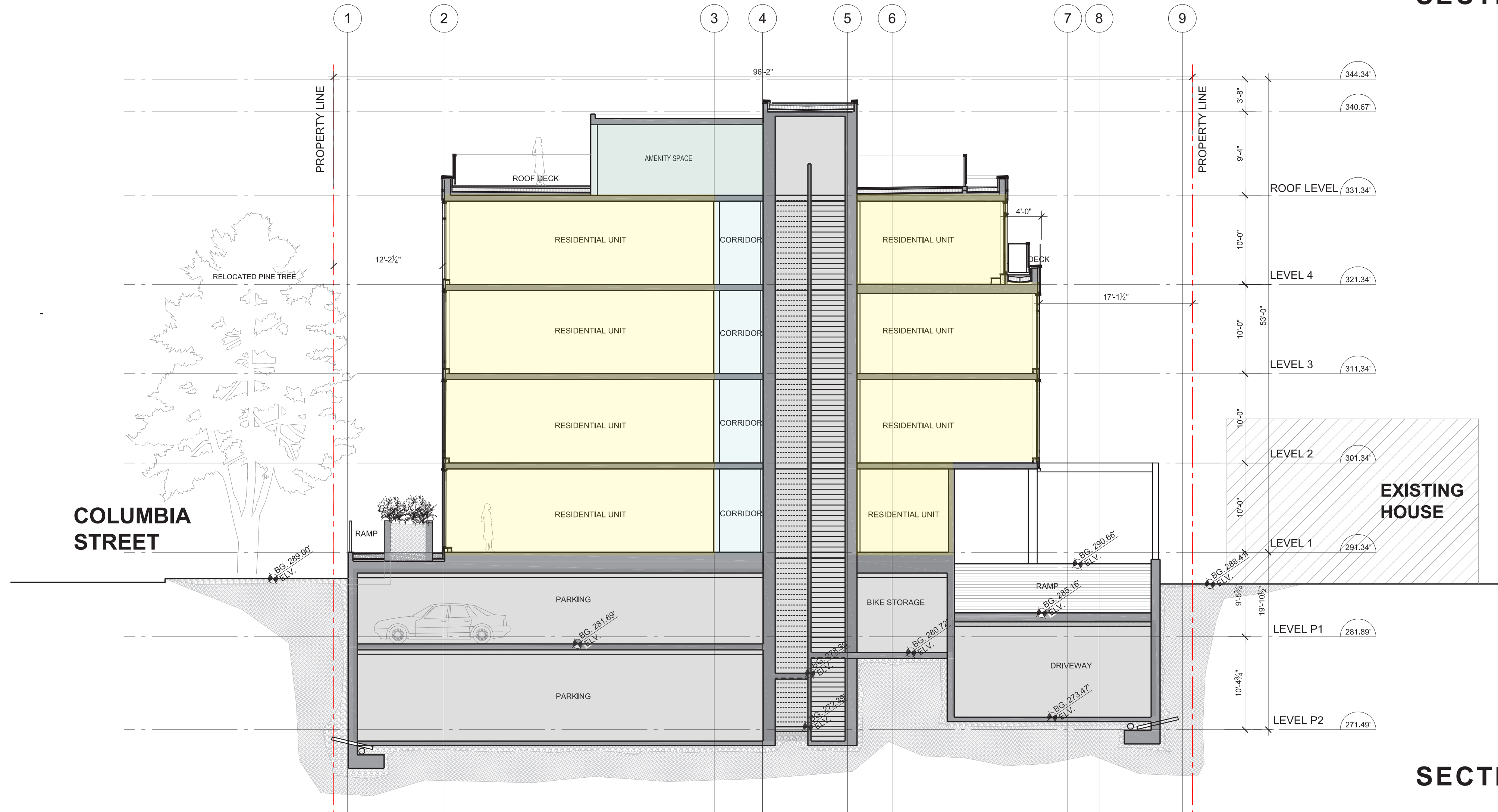
**A-301**

REV:

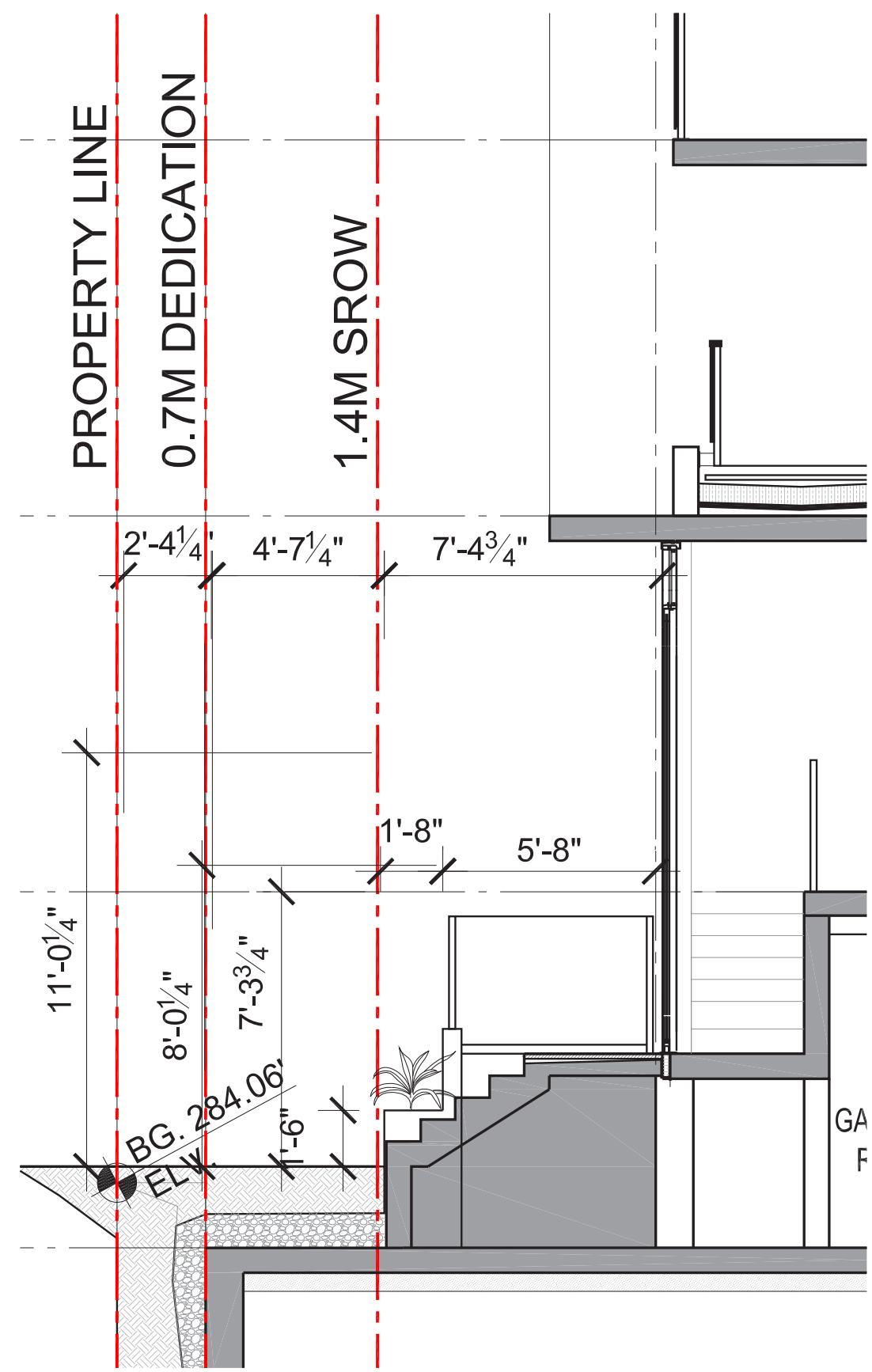




SECTION 1

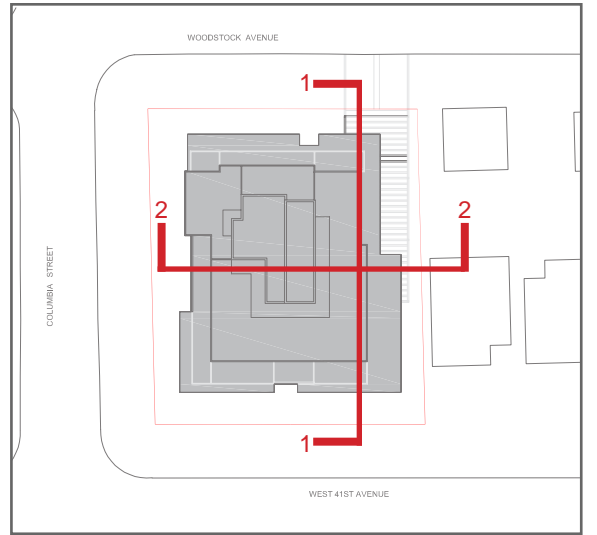
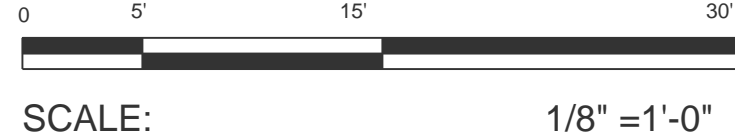


SECTION 2



1

- Lobby/Amenity
- Common Area
- Service Area
- Residential unit



2	MAY 2019	ISSUED FOR REZONING APPLICATION
1	SEP. 2017	ISSUED FOR REZONING ENQUIRY
NO.	DATE	DESCRIPTION

ISSUES

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SEAL

CLIENT

MAIN CONSULTANT

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SUB-CONSULTANT

SUB-CONSULTANT

KEY PLAN

PROJECT TITLE

187-195 W 41ST AVE  
VANCOUVER, BC

PROJECT NO: 81713

DRAWN BY: JAMES MA

CHK'D BY: XINMAI

SCALE: 1/8"=1'-0"

DATE: MAY 2019

SHEET TITLE

SECTION 1&2

SHEET NUMBER

A-400

REV:



# LANDSCAPE PLAN

SCALE: 1/8in = 1ft.-0in

# PRELIMINARY PLANT LIST:

SYMBOL TREES	QTY.	BOTANICAL NAME	COMMON NAME	SIZE & SPACING
	2	Acer cappadocium	Coliseum Maple	B&B, 6cm cal., Good Form 1.8m std.
	1	Acer davidii	Snakebark Maple	B&B, 6cm cal., Good Form
	3	Acer palmatum 'Osakazuki'	Green Japanese Maple	B&B, 6cm cal., Good Form
	11	Carpinus betulus 'Frans Fontaine'	Columnar Hornbeam	B&B, 6cm cal., Good Form
	5	Magnolia x Betty	Upright Little Girl Magnolia	B&B, 2.0M high, multi-stem
	1	Pinus nigra	Austrian Black Pine	B&B, 3.5m high, Good Form
	5	Quercus coccinea	Scarlet Oak	B&B, 6cm cal., Good Form Single Leader, 1.8m std.
	4	Styrax japonica	Japanese Snowbell Tree	B&B, 6cm cal., Good Form Single Leader
HEDGES	0	Taxus x media 'Hicksii'	Hicks' Yew	B&B, 1.5m high, 45cm o.c.

## SHRUBS & FERNS

	Azalea japonica 'Hino Crimson'	Dwarf Crimson Japanese Azalea	No. 2 Pot, 75cm o.c.
	Choleys ternata 'Aztec Pearl'	Aztec Pearl Mexican Orange	No. 2 Pot, 40cm o.c.
	Carex buchananii	Buchanan's Sedge	No. 1 Pot, 30cm o.c.
	Eucynurus fortunei 'Gold Splash'	Gold Splash Wintercreeper	No. 2 Pot, 75cm o.c.
	Hakonechloa macra 'Aureola'	Japanese Forest Grass	No. 1 Pot, 45cm o.c.
	Helictotrichon sempervirens	Blue Oat Grass	No. 2 Pot, 60cm o.c.
	Hydrangea paniculata	Dwarf Panicle Hydrangea	No. 2 Pot, 40cm o.c.
	Ilex crenata 'Green Thumb'	Green Thumb Holly	No. 2 Pot, 40cm o.c.
	Mahonia nervosa	Oregon Grape	No. 1 Pot, 60cm o.c.
	Miscanthus gracilimus 'Morning light'	Maiden Grass	No. 2 Pot, 40cm o.c.
	Nandina domestica 'Harbour Dwarf'	Dwarf Heavenly Bamboo	No. 2 Pot, 60cm o.c.
	Pennisetum alo.	Dwarf Fountain Grass	No. 1 Pot, 60cm o.c.
	Fleris japonica 'Frelude'	Dwarf Fleris	No. 1 & 2 Pots, 45cm o.c.
	Polydicticum munitum	Western Sword Fern	No. 1 Pot, 60cm o.c.
	Rhododendron 'Capistrano'	Medium Yellow Rhodo	No. 3 Pot, 40 cm o.c.
	Rhodo 'Baden Baden'	Dwarf Red Rhodo	No. 2 Pot, 40 cm o.c.
	Rhododendron (Azalea) 'Glacier'	White Japanese Azalea	No. 2 Pot, 75cm o.c.
	Rosa 'OSO Easy Urban Legend'	Urban Legend Red Rose	No. 2 Pot, 40cm o.c.
	Rosa nutkana	Nutkana Rose	No. 2 Pot, 40cm o.c.
	Sarcococca hookerana 'Humilis'	Himalayan Sweet Box	No. 2 Pot, 45cm o.c.
	Skimmia reevesiana	Dwarf Skimmia	No. 1 Pot, 75cm o.c.
	Spiraea japonica 'Magic Carpet'	Magic Carpet Spirea	No. 2 Pot, 60cm o.c.
	Stipa tenuissima	Mexican Feather Grass	No. 1 Pot, 20cm o.c.
	Viburnum x Bodnantense 'New Dawn'	David's viburnum	No. 3 Pot, 40cm o.c.

## PERENNIALS, GROUNDCOVERS & VINES

	Calluna vulgaris 'Firefly'	Firefly Heather	No. 1 Pot, 60cm o.c.
	Erica carnea 'Kramer's Red'	Winter Blooming Heather	No. 1 Pot, 60cm o.c.
	Lavandula 'Hidcote Blue'	Hidcote Lavender	No. 1 Pot, 45cm o.c.
	Heimericallis 'Stella de Oro'	Dwarf Daylily	No. 1 Pot, 45cm o.c.
	Pachysandra terminalis	Japanese Spurge	10 cm Pot, 20cm o.c.
	Rudbeckia fulgida 'Goldsturm'	Black Eyed Susan	No. 1 Pot, 45cm o.c.
	Sedum 'Autumn Joy'	Autumn Joy Stonecrop	No. 1 Pot, 60cm o.c.

### NOTES:

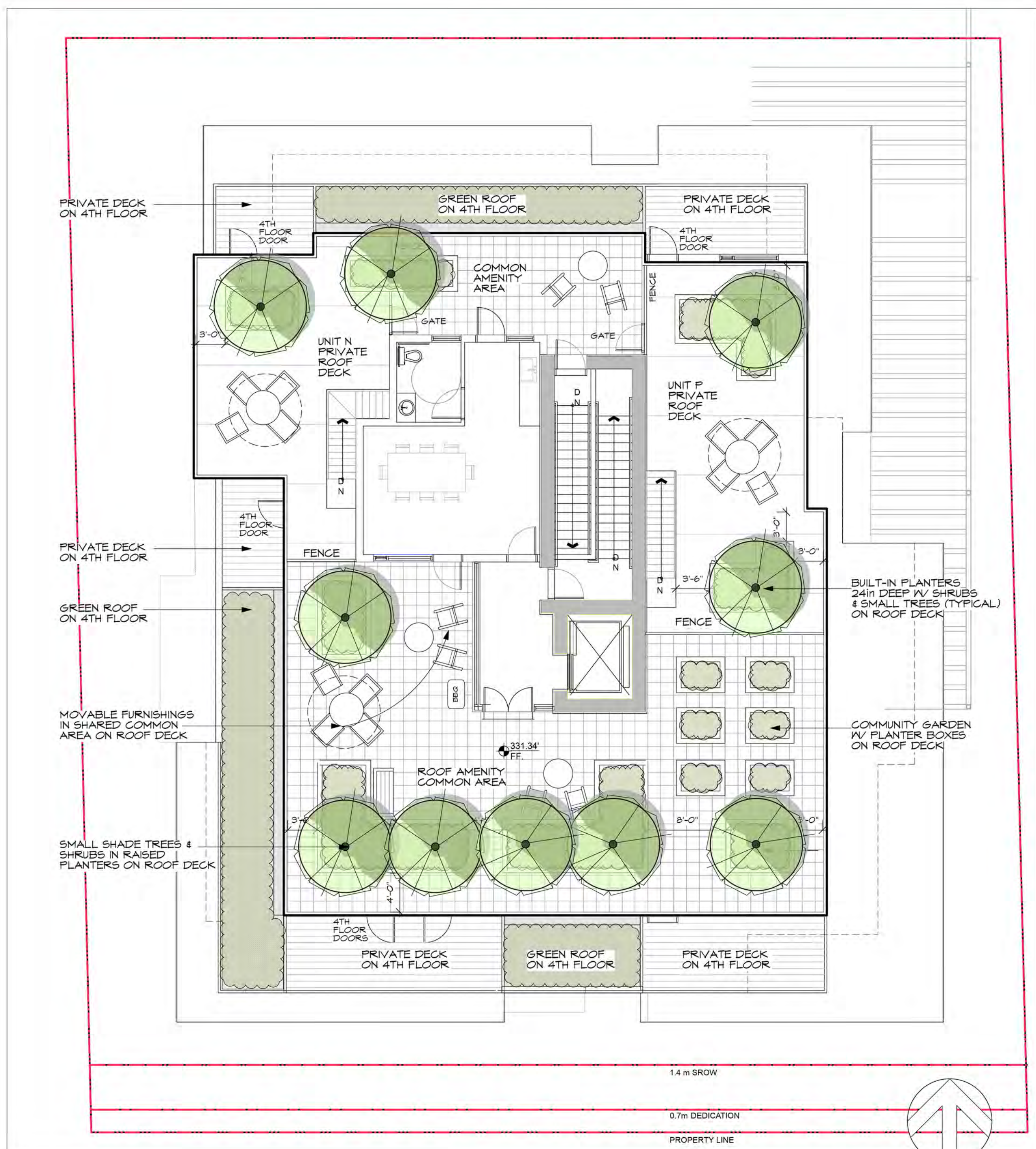
1. All plants, planting, soil, mulch etc. to meet the B.C. Landscape Standard, latest edition.
2. Trees to be selected at nursery by Landscape Consultant / Owner for superior form
3. Maximum pot size within ANY Critical Root Zone to be No. 1 Pot.

#173  
existing building

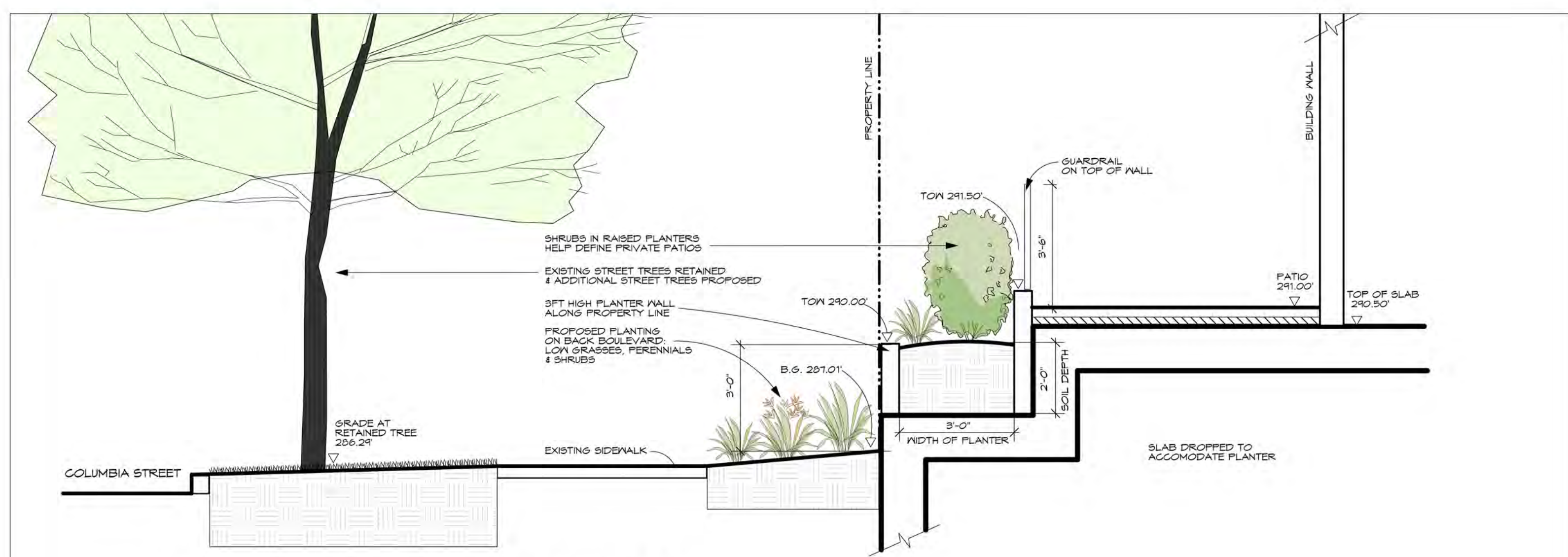
28 FEB 19	ISSUED FOR REZONING IV COMMENTS ADDRESSED
28 NOV 18	ISSUED FOR REZONING
31 OCT 18	REVISED AS PER ARCH. UPDATES
21 AUG 18	ISSUED FOR PRELIMINARY REVIEW
17 AUG 18	ISSUED FOR COORDINATION

 <b>VIEWPOINT</b> LANDSCAPE ARCHITECTS	
5244 Prince Edward St. Vancouver, BC V5W 2K5	tel: 604-669-3201 fax: 604-669-3278
project:  <div style="text-align: center;"> <h1>APARTMENT PROJECT</h1> <p>187 &amp; 195 WEST 41ST AVE, VANCOUVER, B.C.</p> </div>	
for:  <div style="text-align: center;"> <h2>THE BENEST 195 W.41ST LIMITED PARTNERSHIP</h2> </div>	
drawing title:  <div style="text-align: center;"> <h1>LANDSCAPE PLAN: GROUND FLOOR</h1> </div>	
project no.:  <div style="text-align: center;">2018-18</div>	drawn by:  <div style="text-align: center;">JAH/JKK</div>
date:  <div style="text-align: center;">AUGUST 2018</div>	scale:  <div style="text-align: center;">AS NOTED</div>
date revised:  <div style="text-align: center;">28 FEB. 2019</div>	sheet no:  <div style="text-align: center;">L1 OF 2</div>

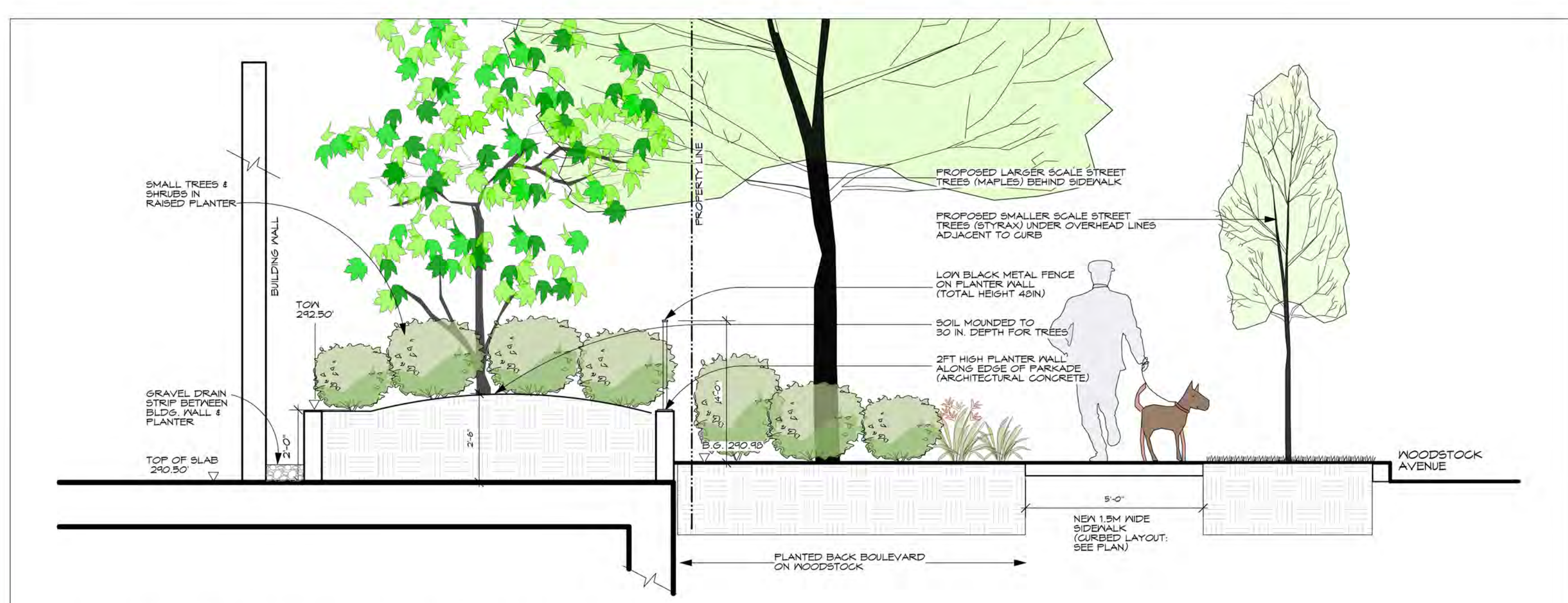




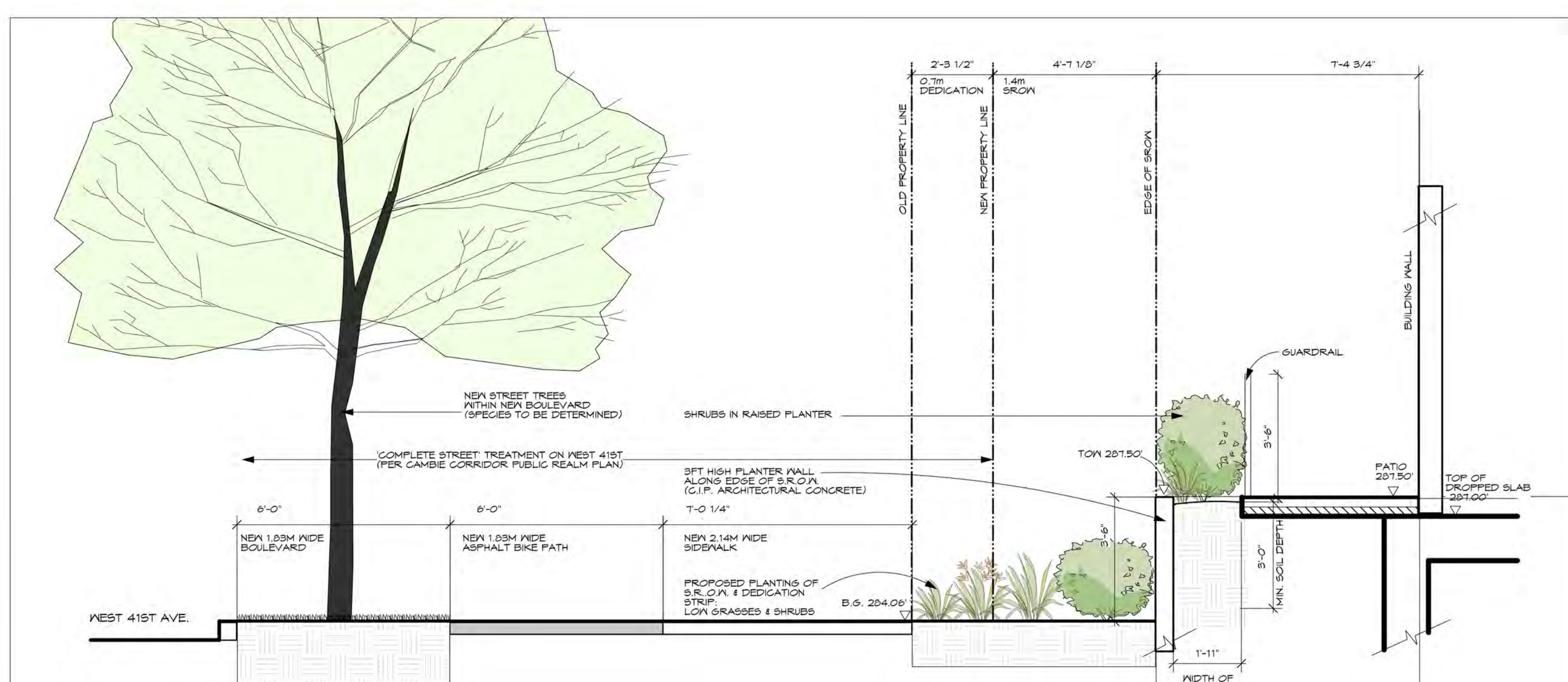
**ROOF PLAN**  
SCALE: 1/8" = 1ft.-0in



**1 SECTION: LOOKING NORTH ON COLUMBIA ST.**  
Scale: 3/8" = 1'-0"



**2 SECTION: LOOKING WEST ON WOODSTOCK AVE**  
Scale: 3/8" = 1'-0"



**3 SECTION: LOOKING WEST ON WEST 41ST AVE**  
Scale: 3/8" = 1'-0"

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28 NOV 18 N/ COMMENTS ADDRESSED  
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21 AUG 18 REVISED AS PER ARCH. UPDATES  
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**VIEWPOINT**  
LANDSCAPE ARCHITECTS

5244 Prince Edward St.  
Vancouver, BC V5W 2X5

tel: 604-669-3201  
fax: 604-669-3278

project:

**APARTMENT PROJECT**

187 & 195 WEST 41ST AVE,  
VANCOUVER, B.C.

for:

**THE BENEST 195 W.41st  
LIMITED PARTNERSHIP**

drawing title:

**LANDSCAPE PLAN:  
ROOF DECK  
& SECTIONS**

project no.:	2018-18	drawn by:	JAH/JKK
date:	AUGUST 2018	scale:	AS NOTED
date revised:	28 FEB. 2019	sheet no:	L2 OF 2