



## POLICY REPORT

Report Date: May 3, 2019  
Contact: Jason Olinek  
Contact No.: 604-873-7492  
RTS No.: 13107  
VanRIMS No.: 08-2000-20  
Meeting Date: June 11, 2019

TO: Vancouver City Council

FROM: General Manager, Planning, Urban Design and Sustainability in  
consultation with the Director of Legal Services

SUBJECT: Heritage Designation – 2006 Whyte Avenue – Bell Residence

### **RECOMMENDATION**

- A. THAT Council instruct the Director of Legal Services to bring forward for enactment, pursuant to Sections 593 and 594 of the *Vancouver Charter*, a by-law to designate as protected heritage property the structure and exterior of the existing building at 2006 Whyte Avenue (the “heritage building”) (PID: 013-931-393; Lot 10, Block 165, District Lot 526, Plan 2301 (the “site”)), which is listed on the Vancouver Heritage Register in the ‘B’ evaluation category.
- B. THAT Recommendation A be adopted on the following conditions:
  - i. THAT the passage of the above resolution creates no legal rights for the applicant or any other person, or obligation on the part of the City and any expenditure of funds or incurring of costs in relation thereto is at the risk of the person making the expenditure or incurring the cost; and
  - ii. THAT the City and all its officials shall not in any way be limited or restricted in the exercise of their authority or discretion, regardless of when they are called upon to exercise such authority or discretion.

### **REPORT SUMMARY**

The purpose of this report is to seek Council approval to designate the structure and exterior of the Bell Residence at 2006 Whyte Avenue, which is listed in the “B” evaluation category on the Vancouver Heritage Register, as a protected heritage property.

As incentive and compensation to the owner for the heritage designation and conservation of the heritage building's structure and exterior, the Director of Planning is prepared to approve a 10% increase in permitted density, as set forth in the Development Permit Application Number DP-2018-01128 (the "DP Application") and as described in this report. The General Manager of Planning, Urban Design, and Sustainability is prepared to approve the DP Application should Council approve the recommendations of this report.

### **COUNCIL AUTHORITY**

Pursuant to Sections 593 and 594 of the *Vancouver Charter*, Council, by by-law, may designate real property, in whole or in part, as protected heritage property.

Pursuant to Section 595 of the *Vancouver Charter*, if sought, Council is required to compensate an owner of property being designated as a protected heritage property for any reduction in the market value of the property caused by the designation. Often this, along with additional compensation to offset rehabilitation costs incurred is achieved by way of zoning relaxations so as to permit an otherwise impermissible development.

The proposed heritage designation for the structure and exterior of the heritage building requires Council approval at public hearing and by-law enactment pursuant to Sections 593 and 594 of the *Vancouver Charter*.

The following Council policies are applicable to the project:

- *Heritage Policies and Guidelines* (May 1986, last amended September 2002)
- *Heritage Action Plan* (December 2013)

### **GENERAL MANAGER'S COMMENTS**

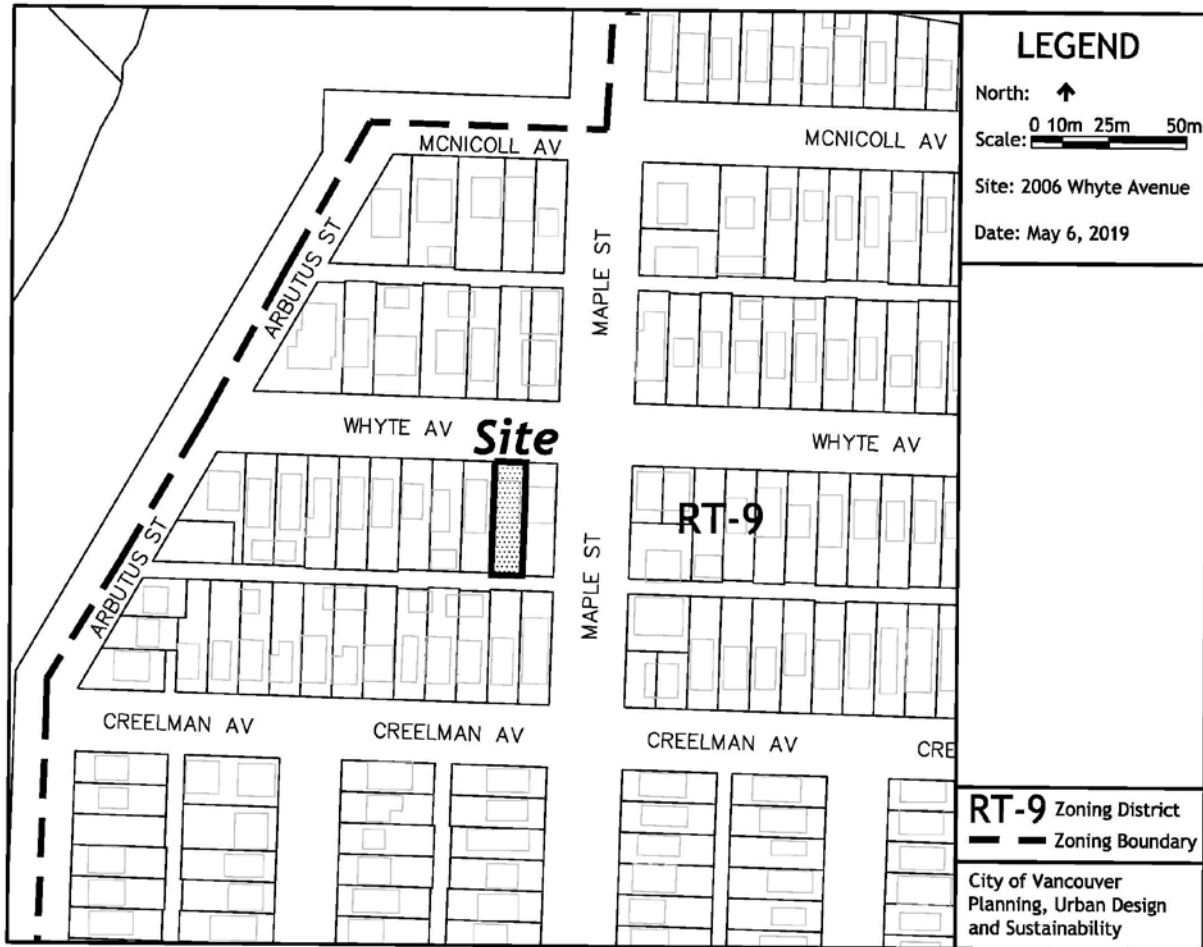
The General Manager of Planning, Urban Design, and Sustainability RECOMMENDS approval of A and B.

### **STRATEGIC ANALYSIS**

#### ***Site and Context***

The site is located on Kitsilano Point in the Kitsilano neighbourhood in an area zoned RT-9 (see Figure 1). The total area of the site is 368 sq. m. (3958 sq. ft.). There is a 5 m. (16 ft.) wide lane at the rear of the site. The heritage house is centrally located on the parcel with a one car garage in the rear.

Figure 1: The site and surrounding zoning



### Heritage Value

Built in 1911, the Bell Residence is valued for its association with the historical pattern of early development in Kitsilano Point as promoted by the Canadian Pacific Railway, and for its style as an unusual example of a prefabricated house by Prudential Builders, who bought the BC Mills plans and patented the system. Unlike BC Mills houses, which have easily identifiable vertical boards connecting the panel units, Prudential Builders' houses did not, so it is not easily evident. There are only a few of these houses left in Vancouver.

The house is also valued for its Craftsman style, with its distinctive side gable roof, full width porch, lap-siding and shingle-siding, and decorative elements, such as its distinctive knee-brackets (Appendix A).

2006 Whyte Avenue is currently listed on the Vancouver Heritage Register in the 'B' evaluation category.

### **Development Application and Proposed Incentives**

The zoning applicable to the site is RT-9, which permits density up to 0.75 floor space ratio (FSR). If approved, the incentives and compensation to be provided to the owner for the heritage designation and rehabilitation of the exterior of the heritage building will be in the form of variances to the *Zoning and Development By-law* under Section 3.2.5, including a density variance of 10% beyond permitted, as set forth in the DP Application which are within the discretion of the General Manager of Planning, Urban Design and Sustainability and are further described below (see Appendix C for a full technical summary).

**Table 1: Zoning Summary**

Site Area = 368.7 sq. m. (3958 sq. ft.)

<b>Item</b>	<b>Existing</b>	<b>Permitted or Required</b>	<b>Proposed</b>
Floor Area	0.68 FSR 249 sq. m. (2677 sq. ft.)	0.75 FSR 276 sq. m. (2968 sq. ft.)	0.83 FSR 304 sq. m. (3274 sq. ft.)
West Side Yard*	0.85 m. (2.8 ft.)	1 m. (3.3 ft.)	0.85 m. (2.8 ft.)
Building Depth	16.8 m. (55 ft.)	14.6 m. (48 ft.)	17.4 m. (57 ft.)

\* Existing non-conforming

The DP Application proposes retention and rehabilitation of the heritage building and a three-storey addition of approximately 55 sq. m. (597 sq. ft.) to the rear of the house. A roof top deck is also proposed as part of this addition. There are no proposed changes to the front façade of the house and no additional units (Appendix D).

The west side yard is existing non-conforming and a relaxation in building depth is being sought. Similar to density, the Director of Planning is prepared to approve this under section 3.2.5 of the *Zoning and Development By-law*.

The General Manager of Planning, Urban Design, and Sustainability has considered the intent of the *RT-9 District Schedule*, the results of neighbourhood notification, the condition of the heritage building, and the increase in density proposed and is prepared to issue the DP Application subject to Council approval of the recommendations of this report.

### **Compatibility with Existing Zoning and Land Use Regulations and Community Plans**

The intent of the *RT-9 District Schedule* of the *Zoning and Development By-law* is to:

*“...encourage new development with a diversity of character and neighbourly building scale and placement. The retention and renovation of existing buildings is also permitted on sites where buildings have historical or architectural merit.”*

The proposed protection of the heritage building is consistent with the *RT-9 District Schedule*.

### **Condition and Economic Viability of the Heritage Building and Conservation Approach**

The property is in very good condition. The heritage consultant has provided a detailed Conservation Plan and staff have concluded that the work is consistent with the federally adopted *Standards and Guidelines for the Conservation of Historic Places in Canada* (Appendix E). The heritage building retains much of its original Craftsman character, including form, decorative features, and cladding. The proposed interventions on the heritage house involve

extending the side façades, constructing an addition on the rear, and creating a roof-top deck. The original Craftsman features will be unaltered.

### ***Results of Neighbourhood Notification***

Notification for the DP Application was sent to 184 addresses and two responses were received. One response was a question and the other was concerned with privacy and noise from the rooftop deck and the potential disruption of light and views from the massing of the addition.

### ***Comments of the Vancouver Heritage Commission***

On March 11, 2019, the Vancouver Heritage Commission reviewed the DP Application and unanimously supported it with comments (see Appendix F).

### ***Public Benefits***

**Development Cost Levies (DCLs):** DCLs collected from development help pay for facilities made necessary by growth, including parks, childcare facilities, replacement housing (social/non-profit housing) and engineering infrastructure.

This site is subject to City-wide DCLs and City-wide Utilities DCLs on the proposed additional 55 sq. m. (597 sq. ft.) of residential floor area in excess of the existing 249 sq. m. (2677 sq. ft.) to be conserved and rehabilitated as designated heritage space. Based on rates in effect as of September 30, 2018, total DCLs of approximately \$3,904 would be anticipated from this development.

DCL rates are subject to future adjustment by Council including annual inflationary adjustments. DCLs are payable at building permit issuance based on rates in effect at that time. A development may qualify for 12 months of in-stream rate protection from DCL rate increases, provided that an application has been received prior to the rate adjustment. See the City's [DCL Bulletin](#) for details on DCL rate protection.

See Appendix G for a summary of the public benefits that would be achieved should this application be approved.

**Heritage:** The owner has offered to conserve and rehabilitate the heritage building and to accept the designation as protected heritage property, which is a highly valued community feature. As incentive and compensation, the owner would be permitted relaxations to density and building depth.

### ***Financial Implications***

The site is subject to the City-wide DCL and the City-wide Utilities DCL and it is anticipated that, based on rates in effect as of September 30, 2018, the applicant will pay approximately \$3,904 in DCLs should the DP Application be approved and the project proceed.

### ***Environmental***

There are no environmental requirements as part of this heritage designation, and the *Green Buildings Policy for Rezoning* does not apply in this case.

**Legal**

The relaxations proposed will provide an improved development potential on the site. The owner's proposal to rehabilitate and conserve the heritage building's exterior in exchange for obtaining these relaxations for that improved development potential will be appropriately secured as legal obligations in an agreement to be registered on title to the site so as to enable the City to enforce those obligations and ensure that they will be fulfilled at the owner's expense. City staff and the owner have negotiated an agreement, which includes rehabilitation and conservation obligations on the part of the owner and enforcement provisions for the City.

Section 595 of the *Vancouver Charter* requires that, if sought, Council must compensate an owner for any reduction in the market value of property caused by a heritage designation. The owner has signed the agreement noted above and in doing so has explicitly accepted the minor relaxations to be provided, and the resulting development advantages to be gained thereby, as full compensation for the heritage designation of the heritage building's exterior and the obligations to rehabilitate and conserve the heritage building. The agreement will be executed by the City and registered on title to the site before a development permit for the project may be issued.

**CONCLUSION**

The Bell Residence, a B-listing house on the Heritage Register at 2006 Whyte Avenue, is proposed to be protected by heritage designation based on its cultural and aesthetic values. This will secure the building from demolition and exterior alterations which affect its heritage value. The owner has agreed to accept the proposed variances as compensation for the proposed Heritage Designation By-law and the potential encumbrance on market value created by that by-law, and for the heritage building's rehabilitation and conservation. The General Manager of Planning, Urban Design and Sustainability is prepared to approve the DP. Therefore, it is recommended that Council approve the recommendations of this report.

\* \* \* \* \*

2006 WHYTE AVENUE – BELL RESIDENCE  
PHOTOGRAPHS



Front (north) façade of house

2006 WHYTE AVENUE – BELL RESIDENCE  
FIRE INSURANCE MAP



1912 Fire Insurance Map detail showing 2006 Whyte Avenue highlighted in green



2006 WHYTE AVENUE – BELL RESIDENCE  
TECHNICAL ZONING SUMMARY

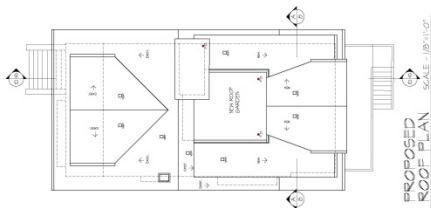
Table 1: Summary of RT-9 District Schedule of Zoning and Development By-law  
Site Area: 2006 Whyte Avenue – 368.7 sq. m. (3958 sq. ft.)

RT-9 District Schedule	Existing	Required or Permitted	Proposed
Section 4.7 FSR	0.68 FSR 249 sq. m. (2677 sq. ft.)	0.75 FSR 276 sq. m. (2968 sq. ft.)	0.83 FSR 304 sq. m. (3274 sq. ft.)
Section 4.5 Side Yard*	0.85 m. (2.8 ft.)	1 m. (3.3 ft.)	0.85 m. (2.8 ft.)
Section 4.16 Building Depth	16.8 m. (55 ft.)	14.6 m. (48 ft.)	17.4 m. (57 ft.)

\* Existing non-conforming

# 2006 WHYTE AVENUE – BELL RESIDENCE SITE PLAN AND ELEVATIONS

<p>1. The work shall conform to the provisions of the BC Building Act and the BC Building Code.</p> <p>2. The work shall conform to the provisions of the BC Building Act and the BC Building Code.</p> <p>3. The work shall conform to the provisions of the BC Building Act and the BC Building Code.</p> <p>4. The work shall conform to the provisions of the BC Building Act and the BC Building Code.</p> <p>5. The work shall conform to the provisions of the BC Building Act and the BC Building Code.</p> <p>6. The work shall conform to the provisions of the BC Building Act and the BC Building Code.</p> <p>7. The work shall conform to the provisions of the BC Building Act and the BC Building Code.</p> <p>8. The work shall conform to the provisions of the BC Building Act and the BC Building Code.</p> <p>9. The work shall conform to the provisions of the BC Building Act and the BC Building Code.</p> <p>10. The work shall conform to the provisions of the BC Building Act and the BC Building Code.</p> <p>11. The work shall conform to the provisions of the BC Building Act and the BC Building Code.</p> <p>12. The work shall conform to the provisions of the BC Building Act and the BC Building Code.</p> <p>13. The work shall conform to the provisions of the BC Building Act and the BC Building Code.</p> <p>14. The work shall conform to the provisions of the BC Building Act and the BC Building Code.</p> <p>15. The work shall conform to the provisions of the BC Building Act and the BC Building Code.</p> <p>16. The work shall conform to the provisions of the BC Building Act and the BC Building Code.</p> <p>17. The work shall conform to the provisions of the BC Building Act and the BC Building Code.</p> <p>18. The work shall conform to the provisions of the BC Building Act and the BC Building Code.</p> <p>19. The work shall conform to the provisions of the BC Building Act and the BC Building Code.</p> <p>20. The work shall conform to the provisions of the BC Building Act and the BC Building Code.</p>	<p>PROJECT NO. 101</p> <p>ADDITION/RENO. 2006 WHYTE AVE. VANCOUVER, B.C.</p> <p>DATE: JAN 22, 2014</p> <p>SCALE: AS SHOWN</p> <p>DESIGNER: S. SPENCER</p> <p>PROJECT NO. 101</p> <p>OF 10</p>
--	---

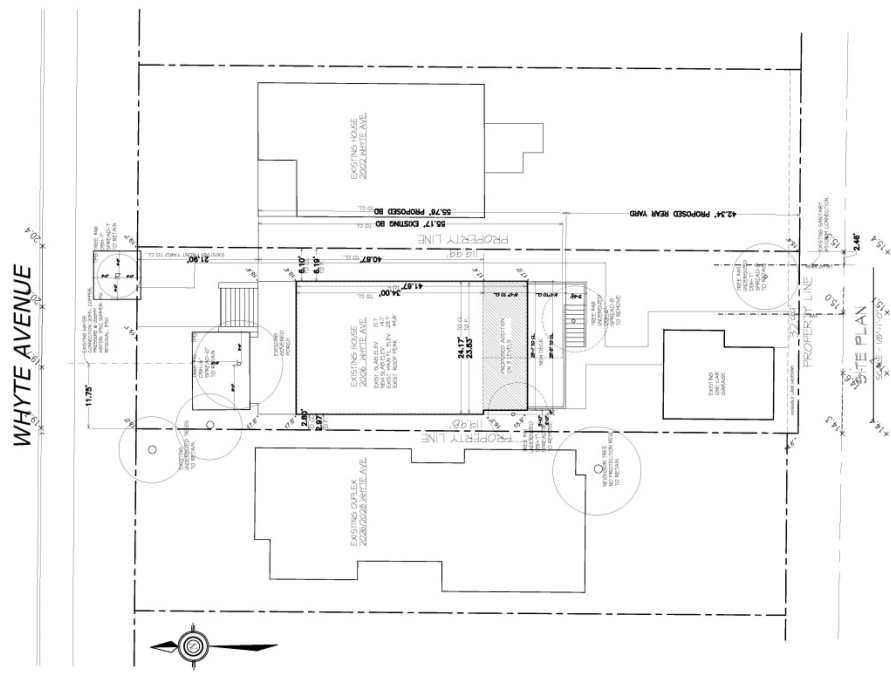


**MEMORANDUM**

DATE: 1/22/14  
 DRAWN BY: S. SPENCER  
 CHECKED BY: S. SPENCER  
 PROJECT NO: 101

DESCRIPTION	AMOUNT	TOTAL
FOUNDATION	1000	1000
CONCRETE	1000	1000
BRICK	1000	1000
WOOD	1000	1000
GLASS	1000	1000
STEEL	1000	1000
MECHANICAL	1000	1000
ELECTRICAL	1000	1000
PLUMBING	1000	1000
PAINT	1000	1000
LANDSCAPE	1000	1000
PERMITS	1000	1000
CONTINGENCY	1000	1000
TOTAL	10000	10000

THIS CONTRACT AGREEMENT IS MADE THIS 22ND DAY OF JANUARY, 2014, BETWEEN S. SPENCER, ARCHITECT, 1010 WEST 10TH AVENUE, VANCOUVER, BC V6H 1T5, AND THE CLIENT, 2006 WHYTE AVE, VANCOUVER, BC V6H 1T5.





2006 WHYTE AVENUE – BELL RESIDENCE  
CONSERVATION PLAN (EXCERPT)

2006 Whyte Avenue Vancouver

November 2018



Figure 38: Exterior storm sashes at living room windows

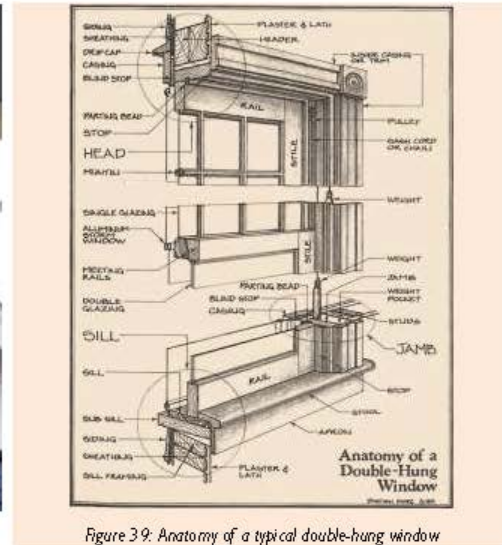


Figure 39: Anatomy of a typical double-hung window

1.2 CONSERVATION RECOMMENDATIONS

The following recommendations are based on accepted conservation principles found in "The Standards and Guidelines for the Conservation of Historic Places in Canada". These recommendations prescribe strategies to preserve, rehabilitate and/or restore the character-defining elements, listed with the Statement of Significance, and any part of the historic place that would impact on the historic fabric of the property. The recommendations do not necessarily apply to immediate interventions but may apply to future work.

- **Preservation** refers to Character-defining elements, original or recent, recommended to be maintained.
- **Rehabilitation** refers to repair and consolidation of existing Character-defining elements as well as the interventions to existing character elements added in a recent past.
- **Restoration** refers to replacement of elements including literal reconstruction or inspired by known past residential design of the same style and appropriate historic models found in Vancouver.

RECOMMENDATIONS

1. Seismic mitigation: *Rehabilitation*- If considered, structural reinforcing for the purpose of seismic mitigation must be specified by a qualified engineer. The house may have to be lifted above its existing location in order to construct new seismic resistant foundations. The house should then be returned to its exact original location with front and side setbacks; the street elevation must be preserved. This work must be performed by a qualified contractor.
2. Site: *Preservation* – The historic house should maintain its residential character and its compatibility with the streetscape. The visible massing of the historical houses must be maintained as the site's main feature. Additions and alterations should not undermine the general shape of the historical house viewed from the street. Alterations and additional architectural features should be inspired predominantly by single family residential vocabulary, regardless of the number of units proposed. Doors and windows, in particular, should maintain the heritage value of the house as a historical home.

3. Landscaping: *Rehabilitation* – Front and side grounds should be planted and maintained to enhance the historic property. Defined sidewalks around the house should be safe and compatible with the style of the house.
4. Additions: *Preservation* – The historical place is the whole property and any addition or alteration to the site should not undermine the heritage value of the historic structure. Additional structures from the street should not be greater in presence than the heritage structure. The addition(s) to the site must conform to the Standards and Guidelines for the Conservation of Historic Places in Canada that states that a new addition should be compatible but distinct from the historic structure. The new addition(s), if any should stand distinct while compatible in materials, colour and presence. Additions to a historic place should be subordinate to the historic structure.
5. Roofs and roofing: *Rehabilitation / Preservation* – The main roof outline configuration must be maintained. The front dormer gable and front porch shed roof must also be preserved. Wooden barge board matching the existing design must be preserved. The roof should be inspected by a professional, and repaired and/or replaced where required. New eaves troughs must be provided with a proper drainage system. New metal flashing should be provided if required. In the future, if the roof needs to be replaced, the owner may consider replacing it with cedar shingles.
6. Front porch: *Preservation*– The porch configuration must be maintained. The height and finish of the exterior wall/ balustrade should be maintained and repaired if required. Wooden board floor and tongue-and-groove ceiling should be preserved and repaired if required; substituted material should be matching existing. Edge beams and triple-corner-columns should be preserved; framing and posts should be inspected and repaired if required. Porch ceiling brackets must be preserved and maintained.

Wide solid wood stairs with low wide stringer balustrade should be preserved; additional discreet railing may be installed on top of the restored balustrade to conform to current codes. The front stairs outer siding should be maintained as existing lap siding. Porch projection brackets and siding must be preserved.

7. Residence siding: *Preservation* – The wood lap siding and above shingle siding must be preserved including the projecting belt board running around the house. Mitered corners on all sides must be preserved.
8. Water table: *Rehabilitation* - The flared siding water table should be preserved, refinished if required.
9. Roof overhangs: *Rehabilitation* – The eaves troughs and downspouts at front of the house should be as discreet as possible and interfere as little as possible with existing bargeboards and porch details. Gable overhangs and end trusses knee-brackets must be preserved, including brackets under the porch projection and west side box window. Provide discreet bird repellent on top of brackets such as a single wire three inches above the nesting surface.
10. Windows: *Rehabilitation / Preservation*–The exterior wood window frames, sills, crowns and sashes should be preserved. The existing fenestration, sizes and locations must be preserved in front and sides of the house. The window assemblies should be reviewed and assessed by a qualified contractor. Deteriorated outer frames can be replaced if required with matching material. Window sashes should be removed carefully if required and reinstalled after maintenance. Frames and sashes may need to be stripped of paint and refinished. Operating hardware should be removed, repaired or replaced if required. Existing glass should be maintained where possible. New weather stripping should be added to each vent sash. Original material should be maintained where possible. Double hung windows may be refurbished including sash cords and weight to facilitate operation. Interior sills and surrounds should also be maintained or replaced as to match the existing if possible. A qualified window conservation contractor should be retained to repair and refinish the existing windows. In order to upgrade the windows we recommend that sash cords be used to improve the performance of the windows, in order to preserve the existing windows.

Existing windows replaced with double-glazed wood windows with matching trim and details is also acceptable. New double glazed wood windows with true muntins and divisions must be provided, at the front and side façades of the house.

11. Front door: *Preservation*– The front door should be preserved, including side panels and all associated lites. Refinish if necessary to match existing coating.
12. Leaded cut glass sash: *Preservation* – Leaded cut glass piano windows should be preserved. Repair and refinish if required; the cut glass and lead came should be reviewed and repaired if required, by a specialist.
13. Colours: *Rehabilitation* – The current colour palette does not correspond to any of the Historical Vancouver True Colours developed by the Vancouver Heritage Foundation. There may be some evidence of previous colours discovered in the subsequent work at the Bell Residence, and the owner may want to consider reinstating the original colours, when the house needs to re-painted. Historical Vancouver True Colours should be considered if the colour palette changes as a whole.
14. Site review: We recommend that a heritage specialist be retained to perform periodic site review in order to ensure the integrity of the historic fabric. The consultant should also be advised of discoveries on site in order to adjust the conservation strategy, if deemed necessary.

*Note: In the case of heritage houses, the City of Vancouver will relax its requirements regarding building envelope design and energy saving requirements. The exterior wall assembly does not require a rain screen system and windows do not need to be double or triple glazing, as specified by the Vancouver building by-law. A responsible approach may consist of the use of sprayed insulation, applied from the inside, to prevent temperature and pressure differential in the wall assembly and an interior sull sash added to the existing window, to prevent draft of cold air in occupied areas.*

1.3 REVIEW OF THE PROPOSED DEVELOPMENT:

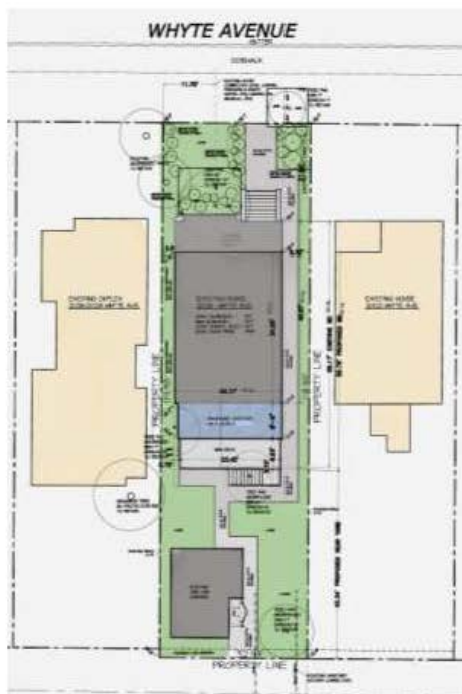


Figure 40: Proposed Site plan, addition in blue and Landscaping



Figure 41: Proposed Floor Plans with addition in blue



2006 Whyte Avenue Vancouver

November 2018

The proposed development consists of an eight foot deep addition at the back of the heritage house. The existing front and side elevations are preserved as found. The siding, the fenestration and details will be maintained. Only non-conforming elements will be upgraded. The existing house is in excellent condition and does not require major interventions. The discreet addition will not be visible from the street and respects the original roof line. The addition to the third floor consists of a large dormer thus maintaining the original roof line. The roof over the main floor addition is designed as a lean-to extension of the existing roof, thus distinct and compatible as recommended by the Standards and Guidelines for the Conservation of Historic Places in Canada.

We support the proposed development because it preserves an important heritage house in a distinct and historical Vancouver neighbourhood while providing and additional density to an increasing population. The Bell Residence is a cultural asset to the Kitsilano point and to the City of Vancouver.



**2006 WHYTE AVENUE – BELL RESIDENCE  
RESOLUTIONS OF THE VANCOUVER HERITAGE COMMISSION**

On March 11, 2019, the Vancouver Heritage Commission reviewed the Development Permit Application and resolved the following:

WHEREAS

1. The building at 2006 Whyte Avenue (the “Bell Residence”) is listed as a “B” on the Vancouver Heritage Register;
2. The Bell Residence is a rare example of a Craftsman house built with the Prudential Builders prefabricated wall system;
3. The Bell Residence is part of an enclave of historic houses in Kitsilano Point initiated in 1908 by the Canadian Pacific Railway;
4. The RT-9 zoning in the area encourages retention of historic buildings;
5. The owners have offered to designate the Bell Residence in return for a 10% increase in density from 0.75 to 0.83; and
6. The owners are proposing no changes to the Bell Residence’s principal façade.

THEREFORE BE IT RESOLVED THAT the Vancouver Heritage Commission (the “Commission”) supports the proposal to build a 3-storey addition of approximately 630 square feet at the rear of the house, as presented to the Commission on March 11, 2019;

FURTHER THAT the Commission supports the compatible design of the addition, and the Conservation Plan as presented, but recommends that the applicant consider design modifications of the addition to ensure that it is distinguishable from the original house; and

FURTHER THAT the Commission congratulates the applicant and the owner for their stewardship of the house.

CARRIED UNANIMOUSLY



**2006 WHYTE AVENUE – BELL RESIDENCE  
PUBLIC BENEFITS SUMMARY**

**Project Summary:**

Rehabilitation and conservation of a heritage building with an addition to the rear.

**Public Benefit Summary:**

The project would result in the conservation and long-term protection of a heritage resource.

	Current Zoning	Proposed
Zoning District	RT-9	RT-9
FSR (368.7 sq. m. (3958 sq. ft.))	0.75	0.83
Buildable Floor Area	276 sq. m (2969 sq.ft.) (new building)	304 sq. m. (3,274 sq.ft.) (incl. existing building and proposed addition)
Land Use	Residential	Residential

Public Benefit Statistics		Value if built under Current Zoning (\$)	Value if built under Proposed DP (\$)¹
Required <sup>23</sup>	DCL (City-wide) <sup>4</sup>	\$12,529	\$2,519
	DCL (Utilities)	\$6,888	\$1,385
	Public Art		
	20% Social Housing		
Offered (Community Amenity Contribution)	Childcare Facilities		
	Cultural Facilities		
	Green Transportation/Public Realm		
	Heritage		
	Housing (e.g. supportive, seniors)		
	Parks and Public Spaces		
	Social/Community Facilities		
	Unallocated		
	Other		
	<b>TOTAL VALUE OF PUBLIC BENEFITS</b>		<b>\$19,417</b>

**Other Benefits: None**

<sup>1</sup> DCLs would only apply to the added floor area of the Bell Residence, 2006 Whyte Avenue (55 sq. m. (597 sq. ft.)) within the value under the Proposed column.

<sup>2</sup> Based on rates in effect as at September 30, 2018. DCLs, Public Art and Social Housing may have exemptions and/or minimum thresholds for qualification.

<sup>3</sup> DCL rates are subject to future adjustment by Council including annual inflationary adjustments. DCLs are payable at building permit issuance based on rates in effect at that time. A development may qualify for 12 months of instream rate protection, see the City's [DCL Bulletin](#) for details.

<sup>4</sup> City-Wide DCL revenues are allocated as follows: Replacement Housing (36%); Transportation (25%); Parks (18%); Childcare (13%); and Utilities (8%).