



POLICY REPORT

Report Date: July 6, 2018
Contact: Dan Garrison
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RTS No.: 012676
VanRIMS No.: 08-2000-20
Meeting Date: July 24, 2018

TO: Vancouver City Council

FROM: General Manager of Planning, Urban Design and Sustainability

SUBJECT: Amendments to the Zoning and Development By-law for RT-7 and RT-8 Zones (Kitsilano) and RT-10 and RT-10N Zones (Kensington-Cedar Cottage) to Increase Housing Choice

RECOMMENDATION

- A. THAT the General Manager of Planning, Urban Design and Sustainability be instructed to make application to amend the Zoning and Development By-law, generally as set out in Appendix A, to:
- (i) rezone the RT-7 and RT-8 Districts to RT-5 to increase housing choice and to provide consistency in the administration of RT zones in similar historical neighbourhoods, and repeal the existing RT-7 and RT-8 District Schedules; and
 - (ii) rezone the RT-10 and RT-10N Districts to RT-11 and RT-11N to increase housing choice and to provide consistency in the administration of these similar "small house/duplex" RT zones, and repeal the existing RT-10 and RT10N District Schedules.

FURTHER THAT the application be referred to a Public Hearing;

AND FURTHER THAT the Director of Legal Services be instructed to prepare the necessary by-law, generally in accordance with Appendix A, for consideration at Public Hearing.

- B. THAT, if the application to amend the Zoning and Development By-law as described in Recommendation A is referred to Public Hearing, then an application to amend the Sign By-law to remove reference to the RT-7, RT-8 and RT-10 Districts, generally as set out in Appendix B, be referred to the same Public Hearing;

FURTHER THAT the Director of Legal Services be instructed to prepare the necessary by-law, generally in accordance with Appendix B, for consideration at the Public Hearing.

- C. THAT, subject to the enactment of the amending by-law described in Recommendation A, the Director of Legal Services be instructed to bring forward, at the time of enactment of such amending by-laws, related amendments to the Parking By-law, generally as set out in Appendix C.
- D. THAT, subject to the enactment of the amending by-law described in Recommendation A, the Director of Legal Services be instructed to bring forward, at the time of enactment of such amending by-laws, related amendments to the Subdivision By-Law, generally as set out in Appendix C.
- E. THAT subject to the enactment of the amending by-law described in Recommendation A, the Kitsilano RT-7 and RT-8 Guidelines be repealed and the RT-5 Guidelines be amended to incorporate aspects of the RT-7 and RT-8 Design Guidelines, generally as set out in with Appendix D, for Council adoption;

FURTHER THAT the General Manager of Planning, Urban Design and Sustainability be instructed to bring forward the amendment at the time of enactment of such amending by-law for Council adoption.

- F. THAT subject to the enactment of the amending by-law described in Recommendation A, Council repeal the RT-10 and RT-10N Small House/Duplex Guidelines.
- G. THAT subject to the enactment of the amending by-law described in Recommendation A, the General Manager of Planning, Urban Design and Sustainability be instructed to bring forward, at the time of enactment of such amending by-law, amendments to the Norquay Village Character House and Retention Guidelines, generally as set out in Appendix E, for Council adoption.
- H. THAT if the application to amend the Zoning and Development By-law as described in Recommendation A is referred to Public Hearing, then Recommendations C through G also be referred to the same Public Hearing.
- I. THAT Recommendations A through H be adopted on the following conditions:
 - (i) THAT passage of the above resolutions creates no legal rights for any person, or obligation on the part of the City and any expenditure of funds or incurring of costs is at the risk of the person making the expenditure or incurring the cost;
 - (ii) THAT any approval that may be granted following the public hearing shall not obligate the City to enact any rezoning by-laws; and
 - (iii) THAT the City and all its officials, including the Approving Officer, shall not in any way be limited or directed in the exercise of their authority or

discretion, regardless of when they are called upon to exercise such authority or discretion.

REPORT SUMMARY

This report recommends rezoning the RT-7 and RT-8 districts in Kitsilano to RT-5 to expand housing choice to include laneway houses, secondary suites within two-family dwellings, and improved opportunities for infill and multiple conversion dwelling with retention of a character house. This aligns with recent updates to the similar historical inner city neighbourhoods of Mount Pleasant and Grandview Woodland, and the opportunities now available to character homes in RS zones citywide.

The report also recommends rezoning the original RT-10 “small house/duplex” district in Kensington-Cedar Cottage to RT-11, which is its more recent iteration, applicable in Norquay Village. The proposed changes would maintain the characteristic “small house/duplex” option currently permitted and expand housing options to include laneway houses, secondary suites within two-family dwellings, and additional opportunities for infill and development on special sites (i.e. corners, adjacent parks and schools, and double-fronting lots).

The proposed amendments will increase housing choices in these districts, improve equity of opportunity for homeowners in similar areas and provide an immediate opportunity to increase ground-oriented housing options in these neighbourhoods.

These amendments will address the concurrent citywide goals of simplifying and consolidating regulations and providing more of the right supply of housing while reflecting different contexts of neighbourhoods. As part of the Making Room Housing Program, this report is a companion to “Amendments to the Zoning and Development By-law in Most RS Zones to Allow Two Family Dwellings (Duplexes) to Increase Housing Choice” (RTS 012677), also on the current Council agenda.

COUNCIL AUTHORITY/PREVIOUS DECISIONS

- Kitsilano RT-7 and RT-8 Design Guidelines (Adopted 1994; last amended 2002)
- Kensington/Cedar Cottage RT-10 and RT-10N Small House/Duplex Design Guidelines (Adopted 2005)
- Norquay RT-11 and 11N Design Guidelines (Adopted 2013)
- By-law No. 12018: Zoning and Development By-law Amendments regarding RT-5 and RT-6 (enacted January 2018)
- Mount Pleasant and Grandview Woodlands RT-4, RT RT-4A, RT-4N, RT-4AN, RT-5, RT-5N and RT-6 District Schedules and Design Guidelines (Adopted 1984; last amended 2018)
- By-law No. 12021: Zoning and Development By-Law Amendments regarding Character Houses, Multiple Conversion Dwellings, and Infill Dwellings in RS Zoning Districts (enacted January 2018)

- Guidelines for Additions, Infill and Multiple Conversion Dwelling in Association with the Retention of a Character House in an RS Zone (2018)
- *Housing Vancouver Strategy (2018-2027) and Three-Year Action Plan (2018-2020)* (November 2017)

CITY MANAGER'S/GENERAL MANAGER'S COMMENTS

The City Manager recommends approval of the foregoing.

REPORT

Background/Context

Kitsilano RT-7 and RT-8

The original RT zones (RT-1, RT-2) were adopted in the 1950s to permit duplexes in different areas throughout the city as outright uses at a density of 0.60 FSR. Discretionary RT zones (RT-3 through RT-6) were adopted in 1989 to 1992 in the historical inner city neighbourhoods of Strathcona, Grandview Woodland and Mount Pleasant to continue to allow duplexes, but also to encourage the retention and renovation of character houses and to provide a greater range of housing choice.

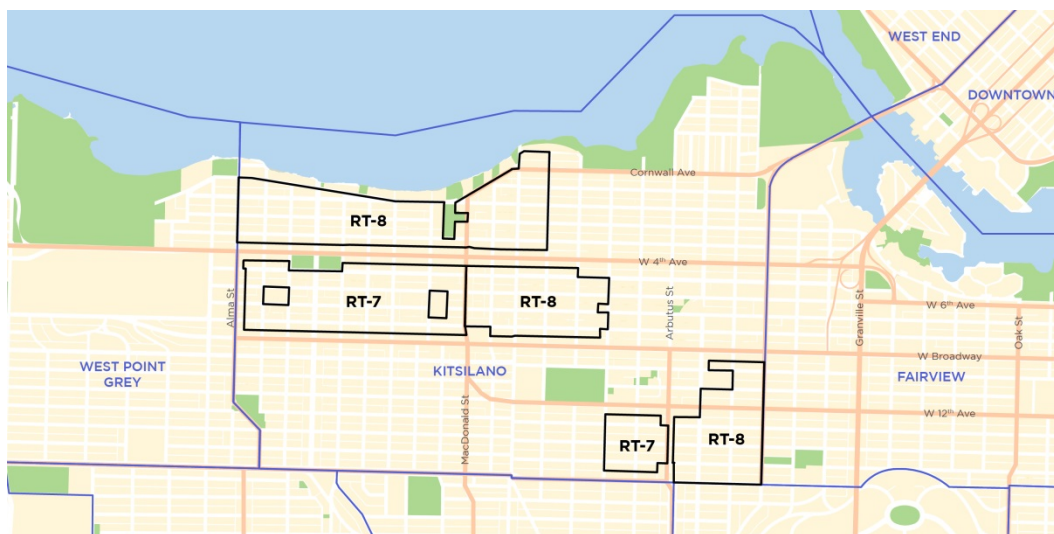
Following on similar objectives, the discretionary RT-7 and RT-8 zones were adopted in 1994 in Kitsilano. It was recognized that the Kitsilano neighbourhood also contained a high percentage of character homes that were at risk of demolition under the outright duplex zoning of the time. The new RT-7 and RT-8 zoning included incentives for more density and new dwelling unit types (multiple conversion dwelling and infill¹) for projects which retained and restored character houses, and introduced a disincentive (lower density) to discourage the demolition of character houses.

Two zones were created in recognition of the architectural distinction between the two districts in Kitsilano. For RT-7, located primarily in West Kitsilano, a lower conditional density (0.60 FSR) was maintained in recognition of the smaller 'California Bungalows' from the 1920s which are common to the neighbourhood. The lower density also reflected the residents' desire to maintain a smaller scale of development in RT-7. For RT-8, located primarily in central Kitsilano, a higher conditional density (0.75 FSR) was permitted in light of the larger homes from the Edwardian period (c. 1910-1913) characteristic of the neighbourhood.

The zoning has supported the retention and conversion of original housing stock to provide housing diversity primarily on corner and larger lots (generally 50 ft. frontage) which were able to pursue infill options. There has been little change to the zoning since its inception, whereas there have been more substantial changes to the surrounding RS zones in Vancouver in the intervening years.

¹ MCD and infill dwellings can be strata-titled subject to building code upgrades.

Figure 1: Map showing location of RT-7 and RT-8 zoned areas in Kitsilano



In 2004, the zoning in RS, RT and RM neighbourhoods city-wide was changed to allow secondary suites with single-family homes to support affordable housing for renters, while facilitating home ownership by providing additional income to help qualify and pay for mortgages. Suites also increase density in neighbourhoods without significant changes to the built form or character. In the following years, policy focused on encouraging the creation and legalization of more suites, through changes in codes, relaxations and a simplified approval process. Then in 2009, the outright density in RS zones citywide was increased from 0.60 to 0.70 FSR to incentivize the development of basements and enable more basement suites.

Also in 2009, Council approved laneway housing in the RS-1 and RS-5 single-family zones to provide a detached rental housing option to encourage “gentle” density in RS neighbourhoods. In 2013, the Laneway House Program was expanded to include all RS zones citywide with a density allowance of 0.16 FSR. With implementation of laneway housing and increased outright density provisions in RS zones citywide, the development potential for a standard lot in an RS zone came to exceed that of most RT zones, which were intended initially as the areas to provide more units and housing choice within the city.²

Most recently, in 2018, Council approved amendments to incorporate optional incentives for the retention of character homes in all RS zones, using the RT zones from neighbourhoods with a high concentration of character homes (pre-1940's) as a model. The character home incentives encourage retention in RS zones citywide and provide additional housing choice with density incentives (up to 0.85 FSR) and the introduction of multiple conversion dwelling and infill uses previously unavailable in most RS neighbourhoods.

At the same time, in 2018, Council approved amendments to the RT-5 and RT-6 zones in Mount Pleasant and Grandview-Woodland to provide improved character retention and infill opportunities in alignment with the changes to the RS zones, and to expand housing choices in

² A standard lot in an RS zone may have a new house with secondary suite at 0.70 FSR and a laneway house at 0.16 FSR for a total of 0.86 FSR and 3 units, as compared to a new duplex in an RT zone which may be 0.75 FSR.

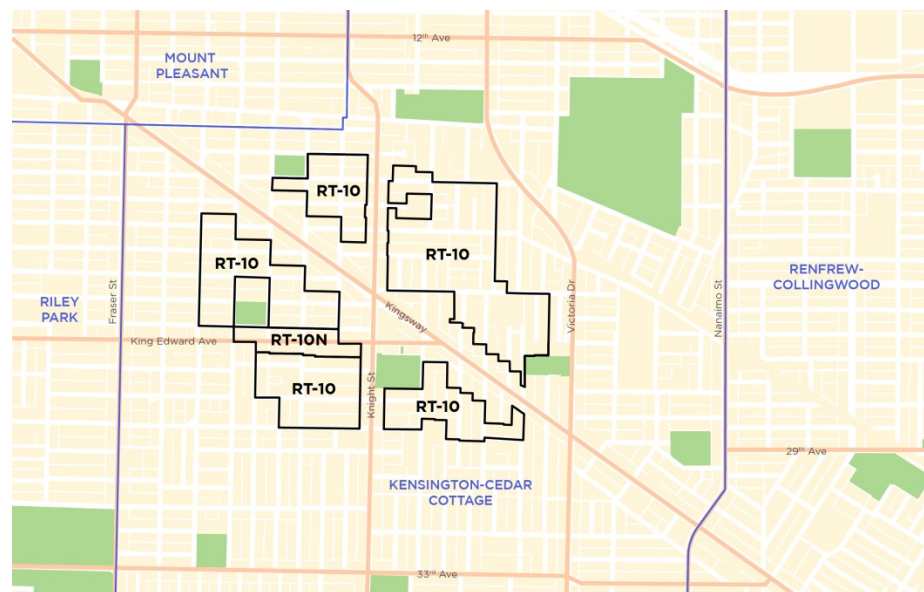
these historical neighbourhoods to include laneway housing, and secondary suites within duplexes.

RT-10 Kensington-Cedar Cottage

The RT-10 zoning was adopted in 2005 as part of the Kingsway and Knight Neighbourhood Centre planning program.

The RT-10 zone was the original “small house/duplex” zone in the city. This new zone encouraged development of multiple small houses and duplexes on larger lots and assembled sites to introduce a wider variety of housing choice in the previously single-family area. Character house retention was encouraged in conjunction with “small house/duplex” developments on larger sites and through infill development on standard lots. The allowable density ranged from 0.60 FSR³ for single-family homes and duplexes on standard lots to 0.75 and 0.80 FSR on larger lot assemblies with “small house/duplex” developments. The RT-10 zoning predated the laneway house program and the increased outright density to 0.70 FSR to enable basement suites in RS zones (both 2009).

Figure 2: Map showing location RT-10 and RT-10N zones areas in Kensington-Cedar Cottage



The RT-11 zoning was adopted in 2013 as part of the implementation of the Norquay Village Neighbourhood Centre Plan. It was the next iteration of the RT-10 zone with similar provisions for multiple small houses and duplexes. The permitted density is incrementally higher (to 0.75 for duplexes and 0.85 to 0.90 for “small house/duplex” developments) to improve feasibility in light of the increase to the outright density provisions (.70 FSR) in the surrounding RS neighbourhoods. In addition, the rental options for laneway houses, lock-off units, and secondary suites within duplexes were added; noting that secondary suites were previously only

³ 0.60 FSR was consistent with permitted density for a single-family house in RS zones at the time (2005).

permitted within single-family houses. As well, more opportunities were provided for character house infill and development on special sites (i.e. corners, adjacent parks and schools, and double-fronting lots) to make better use of open space recognizing that these locations could accommodate more housing in a location where it would be less impactful.

Making Room Housing Program

The Making Room Housing Program to expand housing choice in neighbourhoods across Vancouver was endorsed by Council in June 2018 (RTS 12644). The goal of the program is to deliver on the housing priorities identified in the Housing Vancouver Strategy and Three-Year Action Plan with a focus on providing more housing choice within neighbourhoods for families, downsizing seniors, and other households seeking housing options that are described as the “missing middle” – housing forms that fall between single-family homes and higher-density homes. As an early action of the Making Room housing program, Council directed staff to advance work on amendments to the Zoning and Development By-Law to update older RT zoned areas in Kitsilano and Kensington-Cedar Cottage to improve opportunities for these housing types.

Strategic Analysis

Rezoning RT-7 and RT-8 districts to RT-5:

This report recommends rezoning the RT-7 and RT-8 districts in Kitsilano to RT-5 and repealing the RT-7 and RT-8 districts. The rezoning will maintain the current intent of the RT-7 and RT-8 District Schedules through the incentives for character retention (multiple conversion dwelling and infill) and disincentives to the demolition of character houses in the RT-5 zone. It will also equalize the density incentives for character retention (multiple conversion dwelling and infill) now available to approximately 12,000 character homes in RS zones across the city and in RT-5 in Grandview Woodland and Mount Pleasant. There will continue to be a disincentive to character house demolition through a lower permitted density for new construction on a site where a character house is demolished.

New housing options will be available, including laneway houses on single-family sites, secondary suites in duplexes, and multiple dwelling (i.e. triplexes and four-plexes) on sites of sufficient size, noting that the latter are currently permitted in RT-5 and RT-8, but not RT-7.

Rezoning the RT-7 and RT-8 districts to RT-5 will result in the following key changes:

- Add laneway house use and density (0.16 FSR);
- Allow secondary suites and lock-off units within duplexes;
- ‘Outright’ process with external design regulations for duplexes;
- Add option for more than one principal building on a standard site with a detached duplex or “big house + little house” form of development (i.e. a single-family house with secondary suite at the front of the site and a single-family house at the rear)⁴;

⁴ This pattern of development will follow the neighbourhood pattern of a retained character house at the front plus infill at the rear.

- Increase permitted density for character house additions and conversions to provide additional units to 0.75 FSR and character house retention with infill to 0.85 FSR⁵;
- Consistent Dwelling Unit Density of 74 units per hectare;

For RT-7 specifically:

- Add multiple dwelling⁶ to 0.75 FSR for lots of sufficient size (511 m²), as well as the option for more than one principal building on a site to break a single building into two smaller buildings to provide a more neighbourly development pattern
- Increase permitted density for new duplexes to 0.75 FSR (from 0.60 FSR)
- Maintain permitted density for new one-family dwelling of 0.60 FSR⁷

For RT-8 specifically:

- Maintain the permitted density for new two-family dwellings to 0.75 FSR
- Reduce the density for new one-family houses to 0.60 FSR (from 0.75 FSR)

⁵ 0.85 FSR will enable a 1000 square foot infill on a standard 33' x 122' lot (0.60 FSR for the character house and 0.25 FSR for the infill). 0.85 FSR can be accommodated on standard lots, noting that this is in line with the FSR of the average infill development completed through a HRA (Heritage Revitalization Agreement) in the neighbourhood.

⁶ For multiple dwelling, site assemblies are not permitted to exceed 2 adjoining lots and a combined frontage of 50 feet. Noting the limit on site assembly and permitted density, multiple dwellings will be smaller buildings (i.e. triplexes and four-plexes) not apartment buildings.

⁷ 0.60 is the permitted density for new one-family dwellings in RT-5, RT-5N, and RT-6. The lower density for one-family dwellings is intended to encourage duplexes for new development.

Figure 3: Comparison of Current RT-5, RT-7, RT-8 and RS Zoning

	RT-5	RT-7	RT-8	RS
USES				
Multiple Conversion Dwelling (MCD) + Infill	●	●	●	●
Laneway House	●	●	●	●
Duplex	● (plus secondary suite or lock off)	● (suites not permitted)	● (suites not permitted)	●
"Big House / Little House" (1FD/secondary suite + 1FD = 2 principal buildings)	●	●	●	●
Multiple Dwelling (ie. Triplex, Fourplex, etc.)	●	●	●	●
DENSITIES (FSR)				
Character Demolition	0.50	0.40	0.50	N/A
Character Retention	0.75	0.60	0.75	0.75
Infill	0.85	0.60	0.75	0.85
New One Family Dwelling (1FD)	0.60	0.60	0.75	0.70 (+ 0.16 Laneway House) = 0.86
New Two Family Dwellings (2FD)	0.75	0.60	0.75	N/A
New Multiple Dwelling	0.75	N/A	0.75	N/A
GUIDELINES				
Character Date	1940	1932	1930	1940
Underutilized Floor Area	0.45	0.30 - 0.35	0.4 - 0.45	0.45

● Permitted use ● Non permitted use

Design Guidelines:

The RT-4, RT-5, RT-5N, and RT-6 Guidelines will provide guidance for character house retention, multiple conversion dwelling and infill, as well as the new construction development options of multiple dwelling and more than one principal building on a site ("big house + little house"). Aspects of the RT-7 and RT-8 Guidelines have been included in the RT-4, RT-5, RT-5N, and RT-6 Guidelines (See Appendix D).

The design guidelines will not apply to laneway houses or new one and two-family dwellings.

External design regulations in Section 4.17 of the RT-5 District Schedule will apply to new one and two-family dwellings. Section 11.24 of the Zoning and Development By-Law contains external design regulations for laneway houses citywide.

Other changes from the current guidelines are as follows:

Character Merit Assessment: The RT-7 and RT-8 Design Guidelines currently have a set of criteria for evaluation of intact versus "severely altered" character houses. Severely altered houses have lost much of their original form and character through unsympathetic alterations over the years and are not required to be retained for projects seeking conditional density. The

severely altered checklist is largely the same as the character merit checklist in the more recent Guidelines for Addition, Multiple Conversion Dwelling and Infill in Conjunction with Retention of a Character House in an RS Zone and the RT-4, RT-5, RT-5N, and RT-6 Guidelines, and would be applicable in Kitsilano with rezoning to RT-5. The use of a consistent checklist will assist in the administration of character house evaluations, making it easier for both applicants and staff.

Character Dates: For RT-7 and RT-8, the dates for consideration of character retention incentives are January 1, 1932 and January 1, 1930, respectively, to capture the major building periods in these neighbourhoods. This will be expanded to January 1, 1940 to be consistent with direction from the Heritage Action Plan (2013) which identified pre-1940s houses citywide as suitable for consideration of retention incentives.

Under-utilized Status: Character houses that are under-utilized (i.e. very small in size relative to their site area) are not required to be retained for projects seeking conditional density. The under-utilized FSR limit is currently included in the RT-7 and RT-8 Design Guidelines. With rezoning to RT-5, the Under-utilized Lots definition in the Zoning and Development By-Law would be applicable:

Under-utilized lots means a lot or lots in RT-5, RT-5N and RT-6 zones under developed to less than 0.45 FSR on January 16, 2018, but excludes lots on the Council approved Vancouver Heritage Register.

In the RT-7 area the under-utilized FSR limit would, therefore, be increased from 0.35 FSR for frontages up to 14.0 metres and 0.30 FSR on 14.0 metre frontages to 0.45 FSR for all sites. And, in the RT-8 area, the under-utilized FSR limit would be increased from 0.45 FSR for frontages up to 14.0 metres and 0.40 FSR on 14.0 metre frontages, to 0.45 FSR for all sites. Houses less than 0.45 FSR are difficult to retain while preserving existing character, noting that additions and conversions to add units and conditional floor area can overwhelm the original form and character of the house, and result in very little actual retention. It is noted that houses on Vancouver Heritage Register are exempt from this provision, and therefore would be required to be retained for conditional density regardless of their size.

Rezoning the Kensington-Cedar Cottage RT-10 and RT-10N to RT-11 and RT-11N

This report also recommends rezoning the RT-10 and RT-10N districts to RT-11 and RT-11N and repealing the RT-10 and RT-10N districts. The intent of the RT-10 and RT-10N District Schedules is to encourage multiple “small house/duplex” developments on sites of sufficient size will be maintained. Rezoning to RT-11 will provide equitable density provisions for similar building typologies, and new housing options such as laneway houses on single-family sites and additional secondary rental suites in duplexes.

Rezoning to RT-11 will result in the following key changes::

- Add laneway house use and density (0.16 FSR)
- Allow secondary suites and lock-off units within duplexes
- ‘Outright’ process with external design regulations for duplexes
- Increase the permitted density for new duplexes from 0.60 to 0.75 FSR

- Increase the permitted density for “small house/duplex” developments from 0.75 to 0.85 FSR for new construction
- Increase the permitted density for “small house/duplex” developments with character retention from 0.80 FSR to 0.90 FSR
- Increase the density for character house retention from 0.65 FSR to 0.90 FSR⁸
- Introduce options to provide more than one principal building on special sites (i.e. corners, adjacent schools and parks, and double-fronting lots)
- Allow RS-1 density for new houses (0.70 FSR)

Figure 4: Comparison of current RT-10, RT-11 and RS Zoning

	RT-10	RT-11	RS
USES			
Small House / Duplex (larger lots >50 ft.)	●	●	●
Character Infill	●	●	●
Two Principal Buildings (standard lots <50 ft.)	●	● (on special sites *)	●
Laneway House	●	●	●
Duplex	● (suites not permitted)	● (plus secondary suite or lock off)	●
Multiple Dwelling (ie. Triplex, Fourplex, etc.)	●	●	●
DENSITIES (FSR)			
Small House / Duplex	0.75	0.85	N/A
Small House / Duplex (with character retention)	0.80	0.90	N/A
One Family Dwelling (1FD)	0.60	0.70 (+ 0.16 Laneway House) = 0.86	0.70 (+ 0.16 Laneway House) = 0.86
Character Infill	0.65	0.90	0.85
Two Family Dwellings (2FD)	0.60	0.75	

* **Special sites:** corners, double-fronting, adjacent to a park or school.

● Permitted use ● Non permitted use

⁸ In RT-11 the density for character house retention is 0.90 FSR to provide an incentive above the outright permitted density for a new single-family house (0.70 FSR) plus a laneway house (0.16 FSR) of 0.86 FSR.

Design Guidelines:

The RT-11 and 11N Guidelines will provide guidance for small house/duplex developments on larger sites, as well as infill and development providing more than one principal building on standard sites.

The design guidelines will not apply to laneway houses or new one and two-family dwellings.

External design regulations in Section 4.17 of the RT-11 and RT-11N Districts Schedule will be applicable to new two-family dwellings. One-family dwellings will be permitted to develop under the provisions of the RS-1 zoning with no design guidelines or external design regulations.

Section 11.24 of the Zoning and Development By-Law contains external design regulations for laneway houses citywide.

Character House Retention and Guidelines: The intent of the zoning and guidelines in Kensington-Cedar Cottage with regards to character house retention will remain unchanged, as follows:

- If a site for a “small house/duplex” development contains a character building, it must be retained and renovated.
- For non-“small house/duplex” development, retention of a character building is at the applicant’s discretion.

The criteria and guidelines for character house retention will be included within the Norquay Village Character House and Retention Guidelines, to be renamed the Kensington-Cedar Cottage and Norquay Village Character Retention Guidelines (see Appendix E). The character merit checklist in these guidelines will be updated to match the checklist in the more recent Guidelines for Addition, Multiple Conversion Dwelling and Infill in Conjunction with Retention of a Character House in an RS Zone and the RT-4, RT-5, RT-5N, and RT-6 Guidelines, for consistency and ease of administration of character house evaluations citywide.

Public Engagement

The Making Room Program web page (vancouver.ca/makingroom) provides information about these initial actions and residents can provide comments via the e-mail address (makingroom@vancouver.ca).

If referred to public hearing, staff will notify residents of the public hearing and arrange information meetings in Kitsilano and Kensington-Cedar Cottage in mid-September.

Implications/Related Issues

1. Processing

It is difficult to anticipate if the proposed changes will create a significant increase to processing or work load in the Development Services and the Housing Review Branch. However the following can be noted:

The reduction in the number of different RT zones with similar regulations and guidelines will provide greater clarity and consistency in administering these zones which will assist both staff and applicants.

The regulations allow duplex as an outright use with external design regulations, whereas duplexes were previously subject to a conditional review process. Planning staff will monitor the amount of applications and will work with staff in Development Services and the Housing Review Branch to prepare for a modest increase in outright duplex applications in these RT zones. The Housing Review Branch generally reviews less complex forms of development (e.g. single family housing and laneway houses). Higher work volumes of more complex permits could result in the need for additional staff or more staff with specific technical expertise to provide timely service to customers. Staff have already committed to report back on early monitoring and evaluation of permit processing in the updated RT-5 and RT-6 zones as a result of recent changes and new opportunities in those zones, and will include RT-11. Any requests for additional staffing and operating funds would be brought forward for consideration through the annual budget process.

2. Utilities

Sewers:

Engineering staff have reviewed the proposed Zoning and Development Bylaw amendments and the expected sewer load contributions from the changes in the applicable RT districts. It is not expected that amendments to the existing RT-7 and RT-8 Districts in Kitsilano and RT-10 District in Kensington-Cedar Cottage will have a material change on the existing allowable load to the sewer system under current zoning.

Stormwater:

All redevelopment in the areas proposed for change will require onsite stormwater management that at the minimum meets the requirements of the City's Integrated Rainwater Management Plan. The extent of the requirements to manage stormwater will depend on available system capacity in the area to handle the proposed development's stormwater load. If the receiving pipe network in the area is unable to accommodate the stormwater loading, then development may be prohibited unless stormwater management issues are adequately addressed onsite. Staff is in the process of developing additional information and education materials to support the implementation of adequate stormwater management. Work is also underway to develop a process for reviewing stormwater management plans and to ensure adequate resourcing.

3. Trade-offs

The additional housing options are anticipated to have the following impacts:

Street Parking: While these areas are highly walkable and transit accessible, people still own vehicles and additional housing options will place more pressure on street parking.

Trees, Open Space and Sunlight: While an effort will be made to retain trees where feasible, there may be tree loss to allow for infill and new buildings. New landscaping will be provided but there will be less green space due to increased site coverage and parking requirements.

Privacy: Since more limited infill development has occurred in these RT neighbourhoods over the years, residents enjoy a high degree of privacy. Additional duplexes, infill to more lots, and

laneway houses, will mean that there will be more people living in the rear yards of properties which can be expected to raise issues of overlook and privacy.

Character House Retention: In Kitsilano, the increase to the size limit for existing character houses to be considered “under-utilized” may lead to demolition of small character houses unsuitable for additions. Overall, this may be offset by the increase to the zoning incentives (density) for character house retention, particularly for infill development on 33 foot wide lots.

In Kensington-Cedar Cottage, under the current and proposed zoning, character retention is at the discretion of the property owner for non-“small house/duplex” development on standard lots. However, the permitted density for new one and two-family dwellings is relatively low at 0.60 FSR. The increase to the permitted density for duplex development to 0.75 FSR may lead to demolition of older homes in favor of a more viable duplex development. Again, this may be offset by an increase to the zoning incentives (density) for character retention. The laneway house option may also appeal to pre-1940 character house owners (see Figure 5 below).

Figure 5: Number of Pre- and Post-1940s houses in RT-10/10N and RT-11/ RT-11N

Total Number	Post-1940	Pre-1940	Data not available	Total
RT-10/10N	710	491	6	1207
RT-11/11N	860	67	4	931
Total	1570	558	10	2138

2018 BCAA data (reflective of 2017 assessment)

These changes will be balanced to achieve the best outcomes, but some objectives conflict and trade-offs would be required to accommodate more housing choice in neighbourhoods across Vancouver.

4. Land Values

The proposed zoning changes extend enhanced character infill opportunities and laneway homes and align these areas with newer/updated regulations and housing choice available in other RT zones as well as RS zones. The changes to the permitted uses and densities are modest and while they enable new housing options with some additional development potential, they are not expected to have an inflationary impact on land values in these areas.

Financial

New development brings new residents into an area, increasing demand on City infrastructure and amenities. City-wide Development Cost Levis (DCLs) collected from development help pay for public amenities and infrastructure required to support growth, including parks, childcare facilities, replacement (social/non-profit) housing and various engineering infrastructure.

The City has recently developed a substantial City-wide Utilities DCL program to begin to address the tremendous growth pressures on the utility infrastructure in the city. The utilities DCL program identifies specific neighbourhood-serving water, sewer and drainage/green infrastructure projects to support growth associated with approved policy plans. The program will be updated annually to reflect development patterns and integrate new land use plans, as

and when they are approved by Council. For utility upgrades not included in the program, upgrades will continue to be achieved through development/rezoning conditions on a site-by-site basis. Further, there may also be other supportive engineering infrastructure, such as transportation improvements, that would be secured through development/rezoning conditions. All DCLs are subject to in-stream rate protection and annual adjustments.

The City's Financing Growth policies are based upon the principle that development contributions should not deter growth or harm housing affordability. Independent review of the market impacts of development contributions found the primary impact of these in Vancouver is to put downward pressure on the value of land for redevelopment⁹. Affordability should not be negatively affected as long as rates are set so they do not impede the steady supply of development sites.

Staff will monitor the volume of applications closely. Any additional staffing requirements will be considered as part of annual resource and fee reviews.

CONCLUSION

The proposed amendments will expand and equalize housing options in older RT zones in Kitsilano and Kensington-Cedar Cottage with their more recent counterparts in Grandview Woodland, Mount Pleasant, and Norquay Village. These changes are part of the Making Room Program Quick Starts and act on Council priorities aimed at expanding housing choice in low-density neighbourhoods and simplifying regulations.

* * * * *

⁹ CAC Policy and Housing Affordability: Review for the City of Vancouver, Coriolis Consulting, 2014

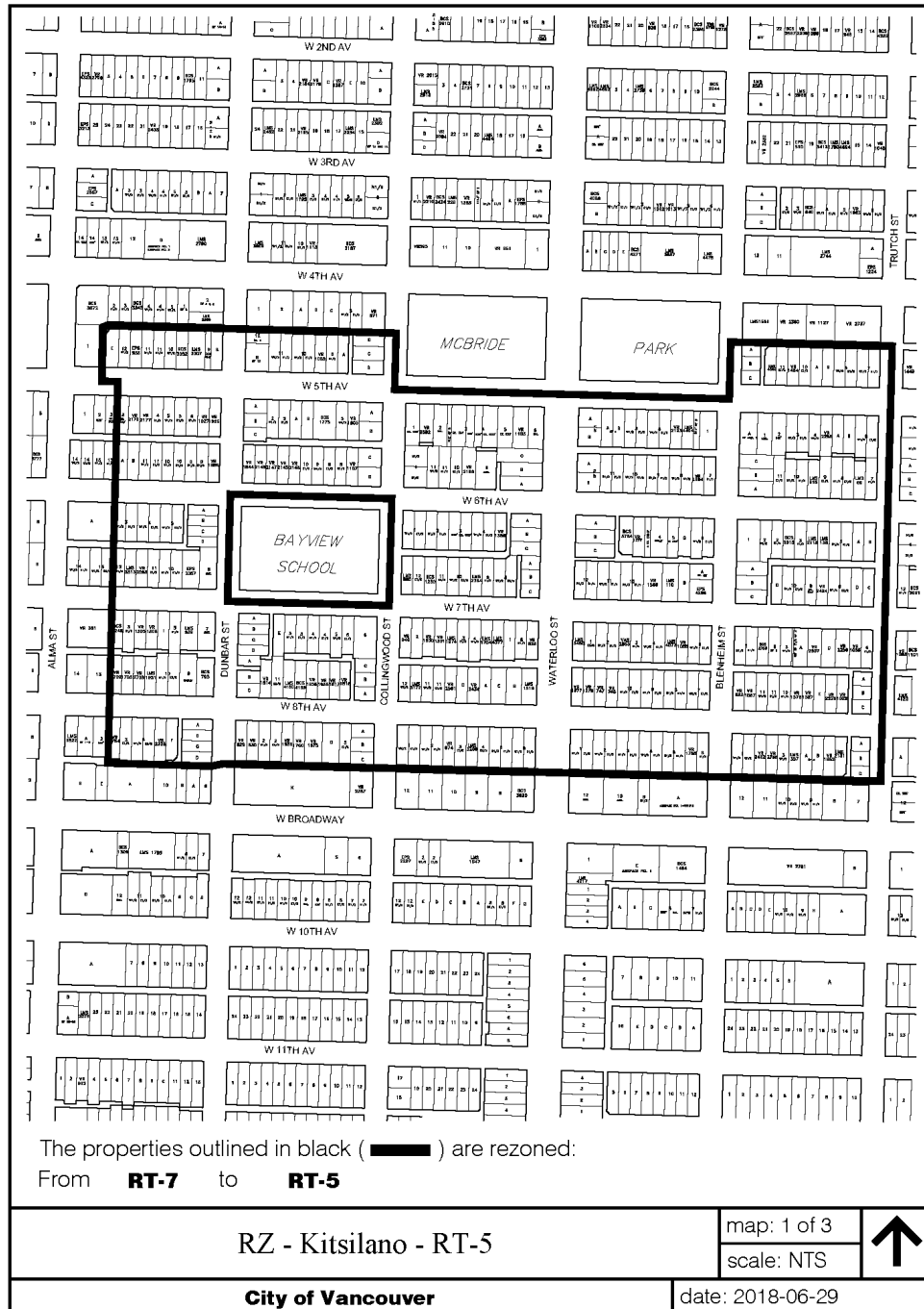
Note: A By-law will be prepared generally in accordance with the provisions listed below, subject to change and refinement prior to posting

BY-LAW NO. _____

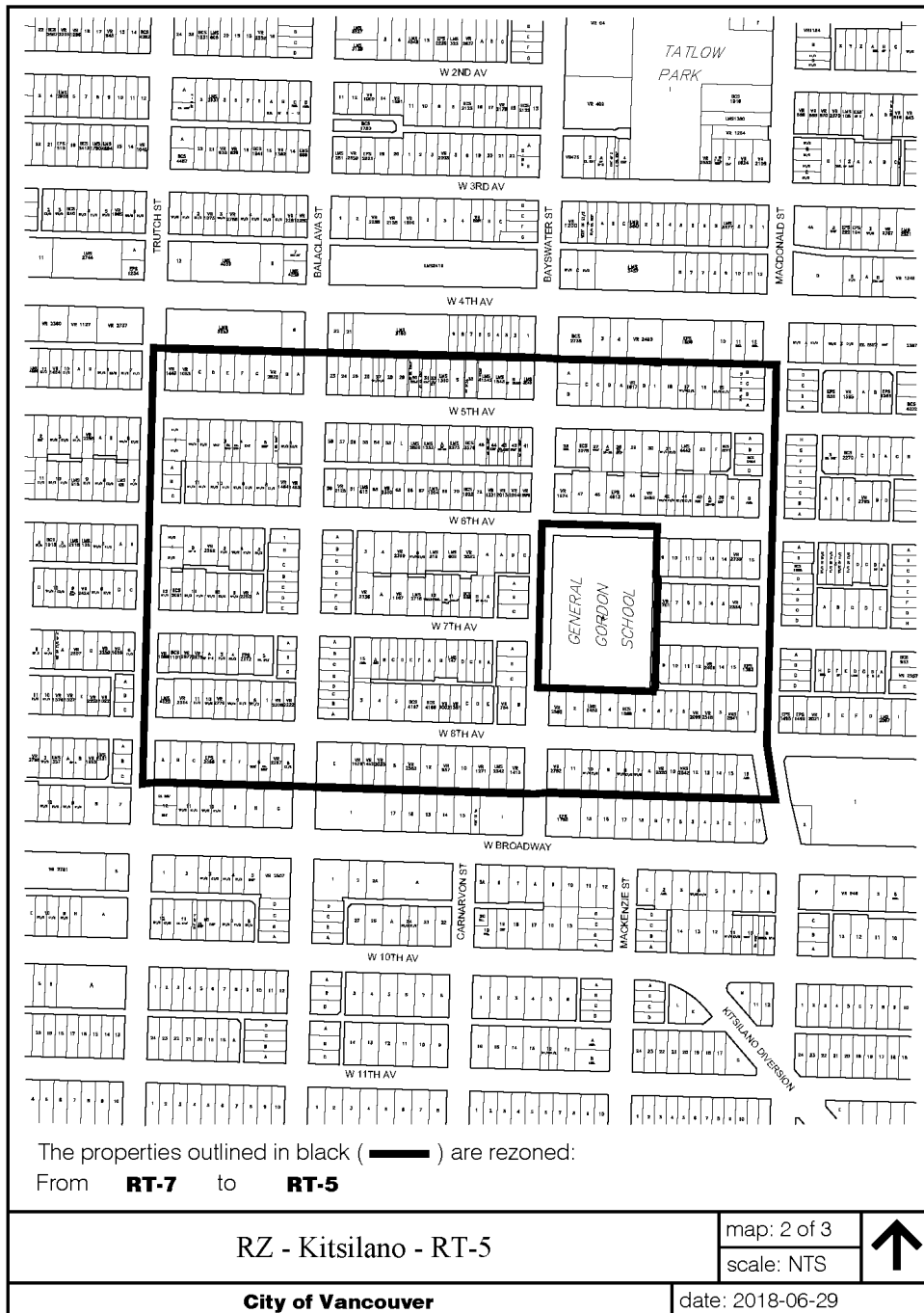
**A By-law to amend the Zoning and Development By-law
Regarding the rezoning of RT-7 and RT-8 to RT-5, and RT-10 and RT-10N
to RT-11 and RT-11N**

1. This By-law amends the indicated provisions of the Zoning and Development By-law No. 3575.
2. This by-law amends the Zoning District Plan attached as Schedule D to By-law No. 3575, and amends or substitutes the boundaries and districts shown on it, according to the amendments, substitutions, explanatory legends, notations, and references shown on the plans marginally numbered Z-[], Z-[], Z-[], and Z-[], attached as Schedule A to this by-law, and incorporates Schedule A into Schedule D of By-law No. 3575.
3. Council repeals the RT-7, RT-8, and RT-10 and RT-10N District Schedules.
4. In section 3.2.7, Council:
 - (a) strikes out the words “RT-7, RT-8,”; and
 - (b) strikes out the words “RT-10 and RT-10N,”.
5. In section 3.2.10(c), Council:
 - (a) strikes out the words “RT-7,”; and
 - (b) strikes out the words “RT-10”.
6. Under Column 2 of item 2 in section 5.14, Council:
 - (a) strikes out the words “RT-7, RT-8,”; and
 - (b) strikes out the words “RT-10 and RT-10N,”.
7. Under Two-Family Dwelling in section 9.1, Council:
 - (a) strikes out the words “RT-7”;
 - (b) strikes out the words “RT-8”; and
 - (c) strikes out the words “RT-10 and RT-10N”.

Schedule A

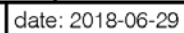


Schedule A

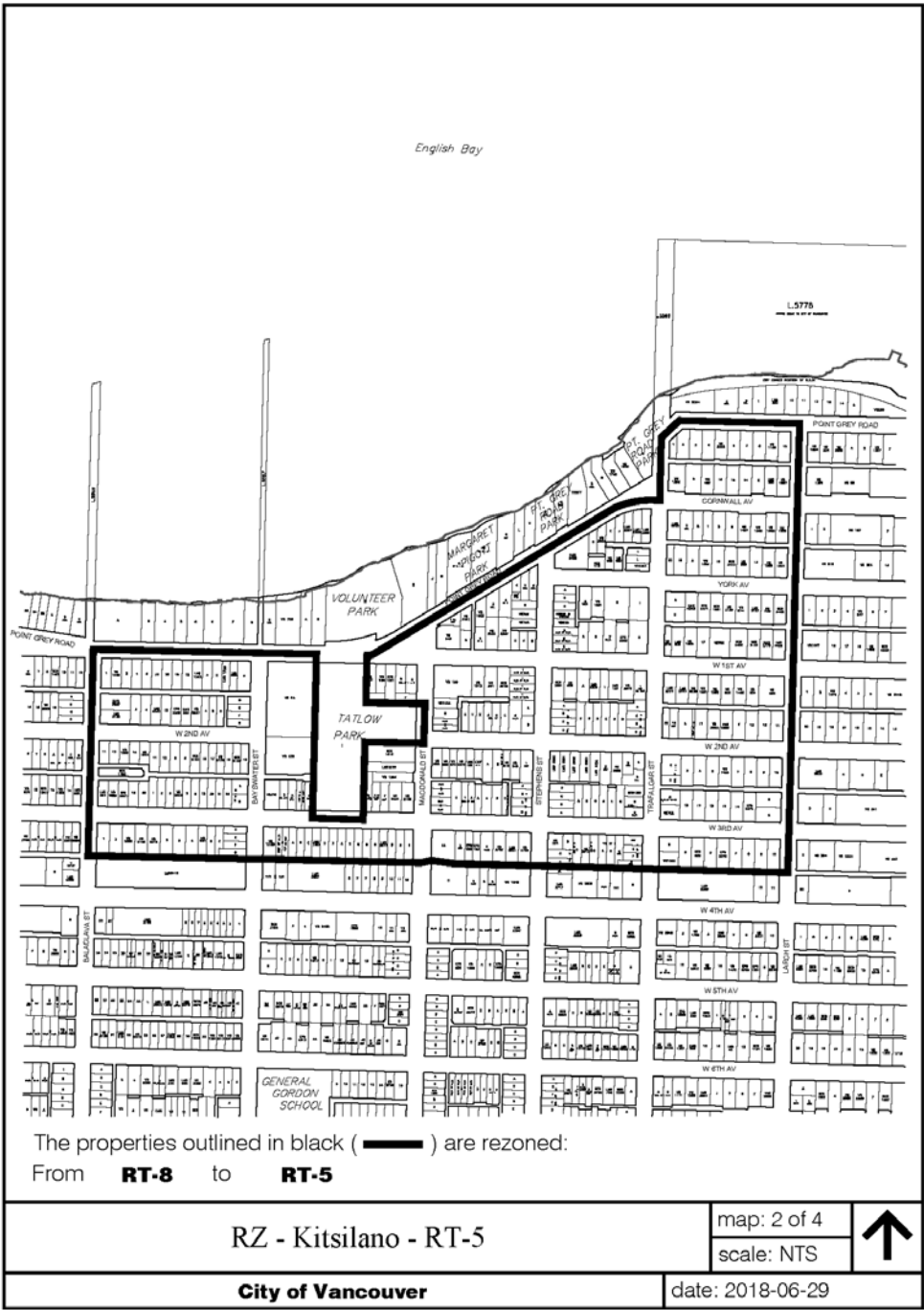


Schedule A

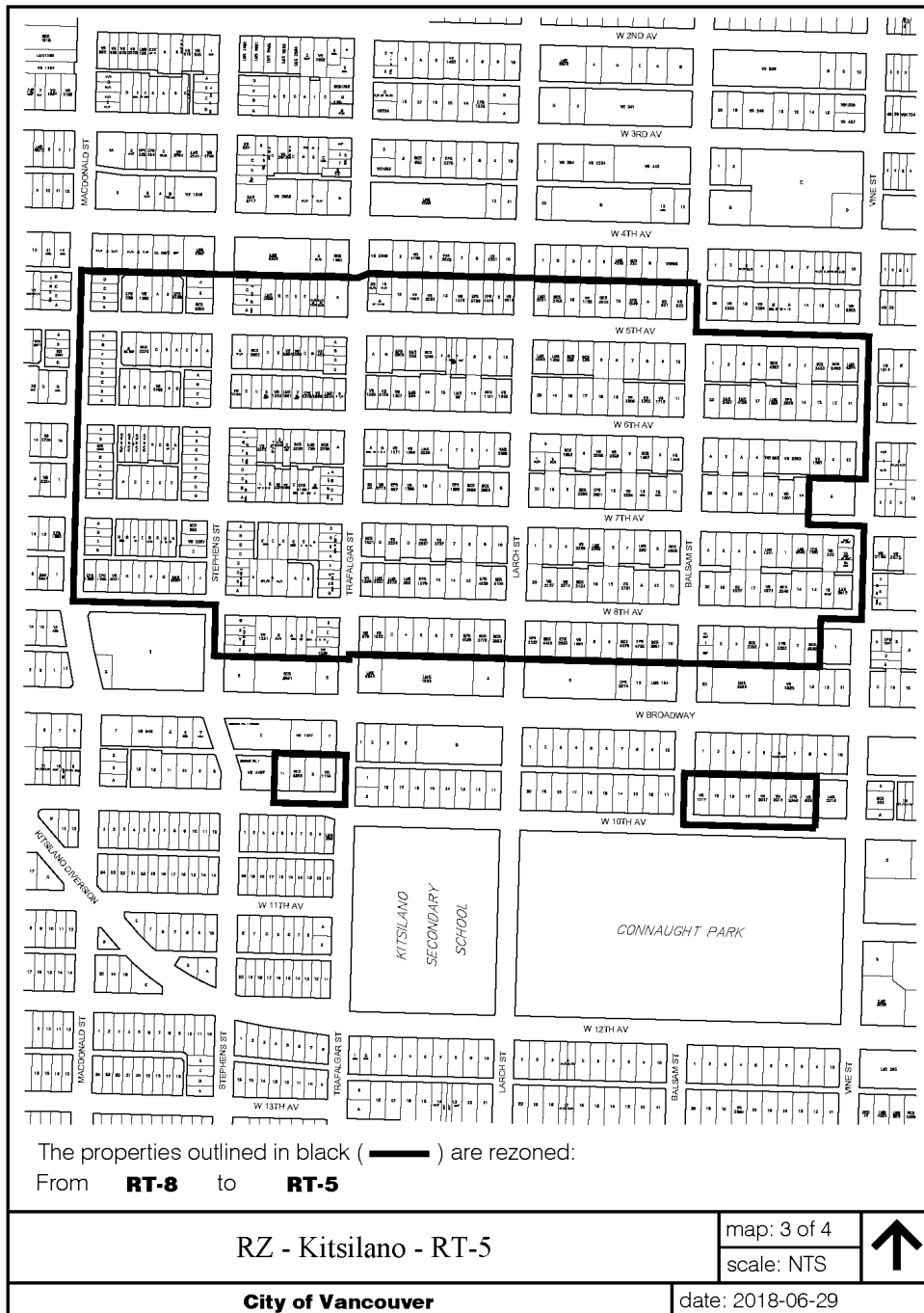




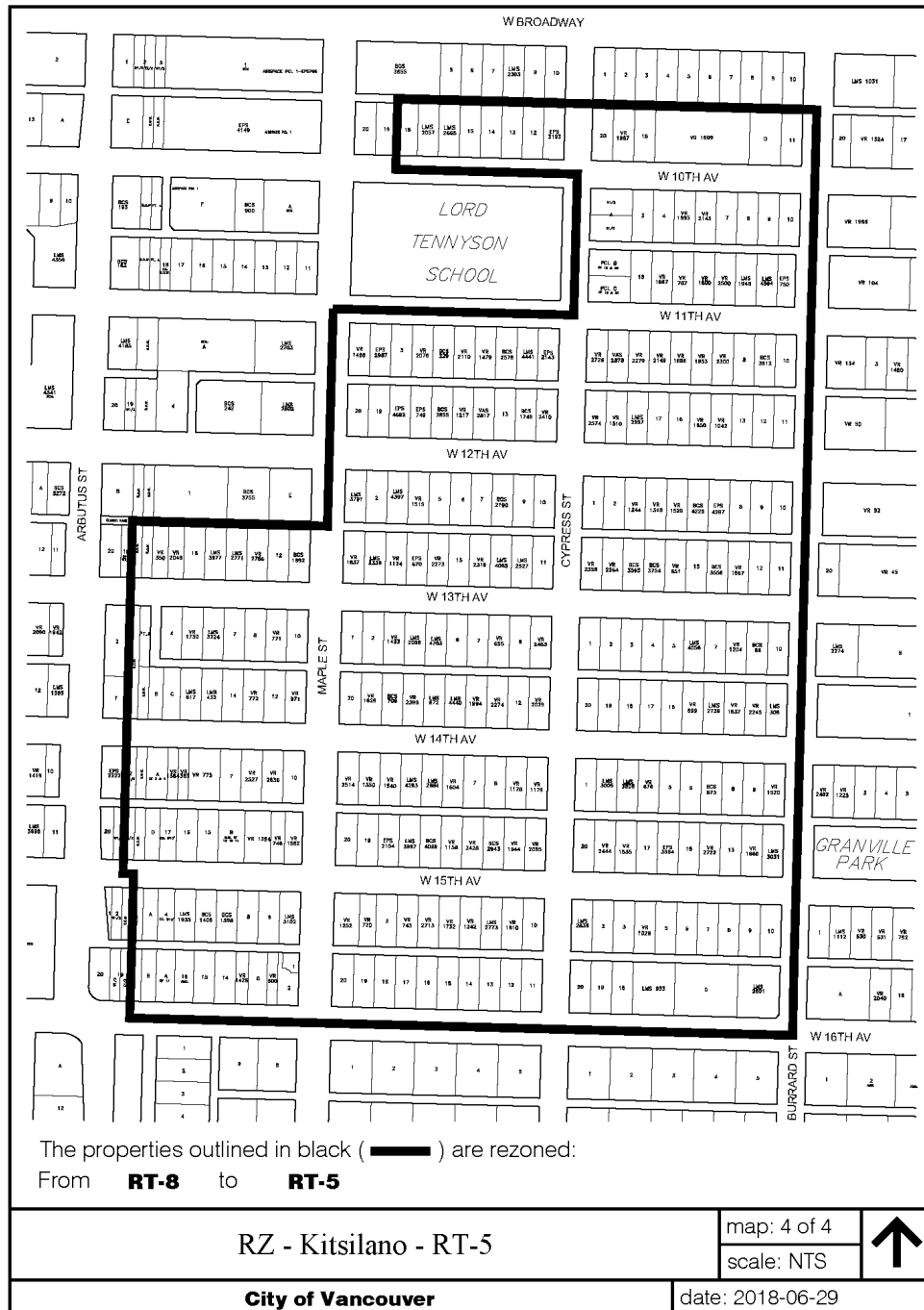
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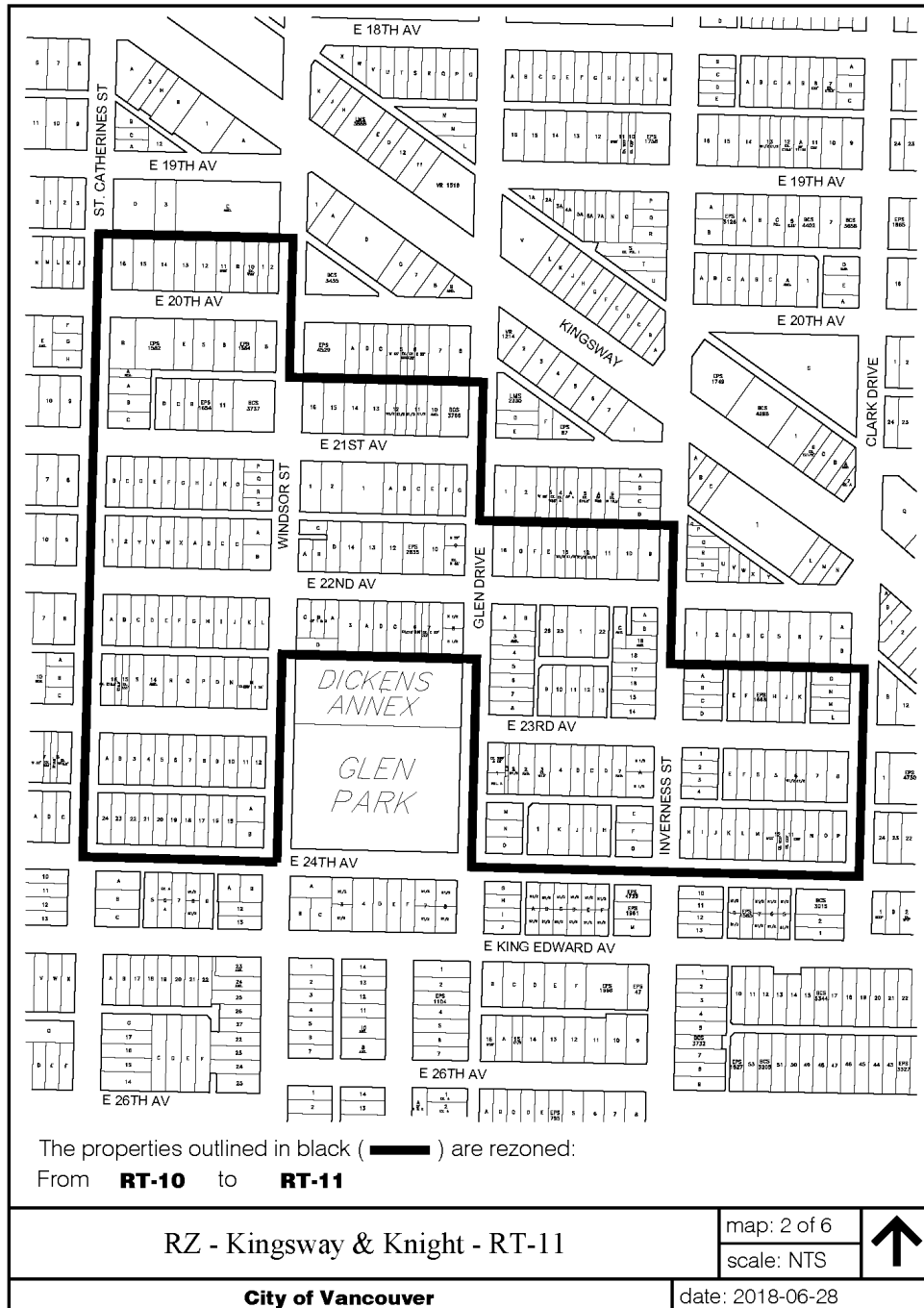
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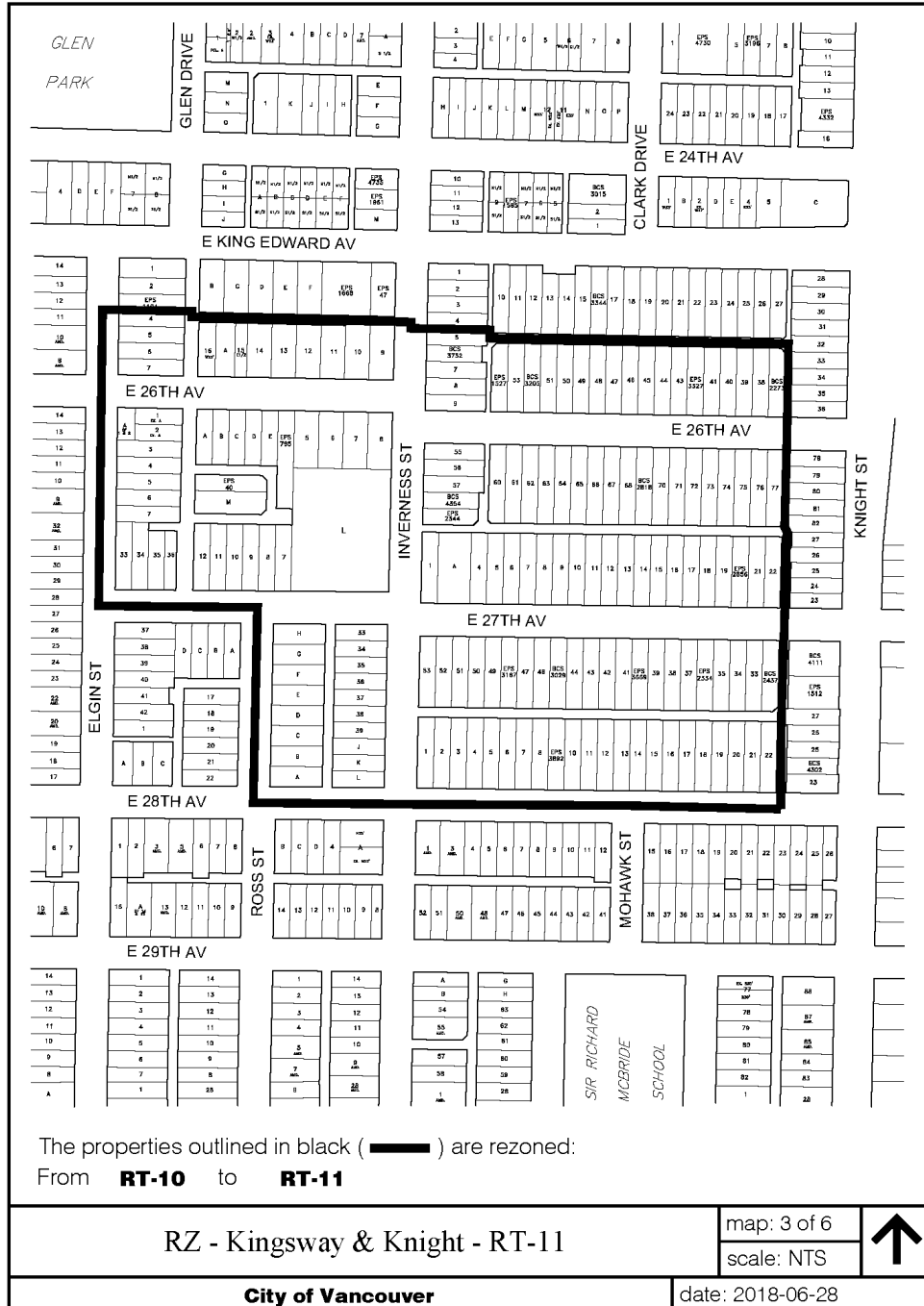
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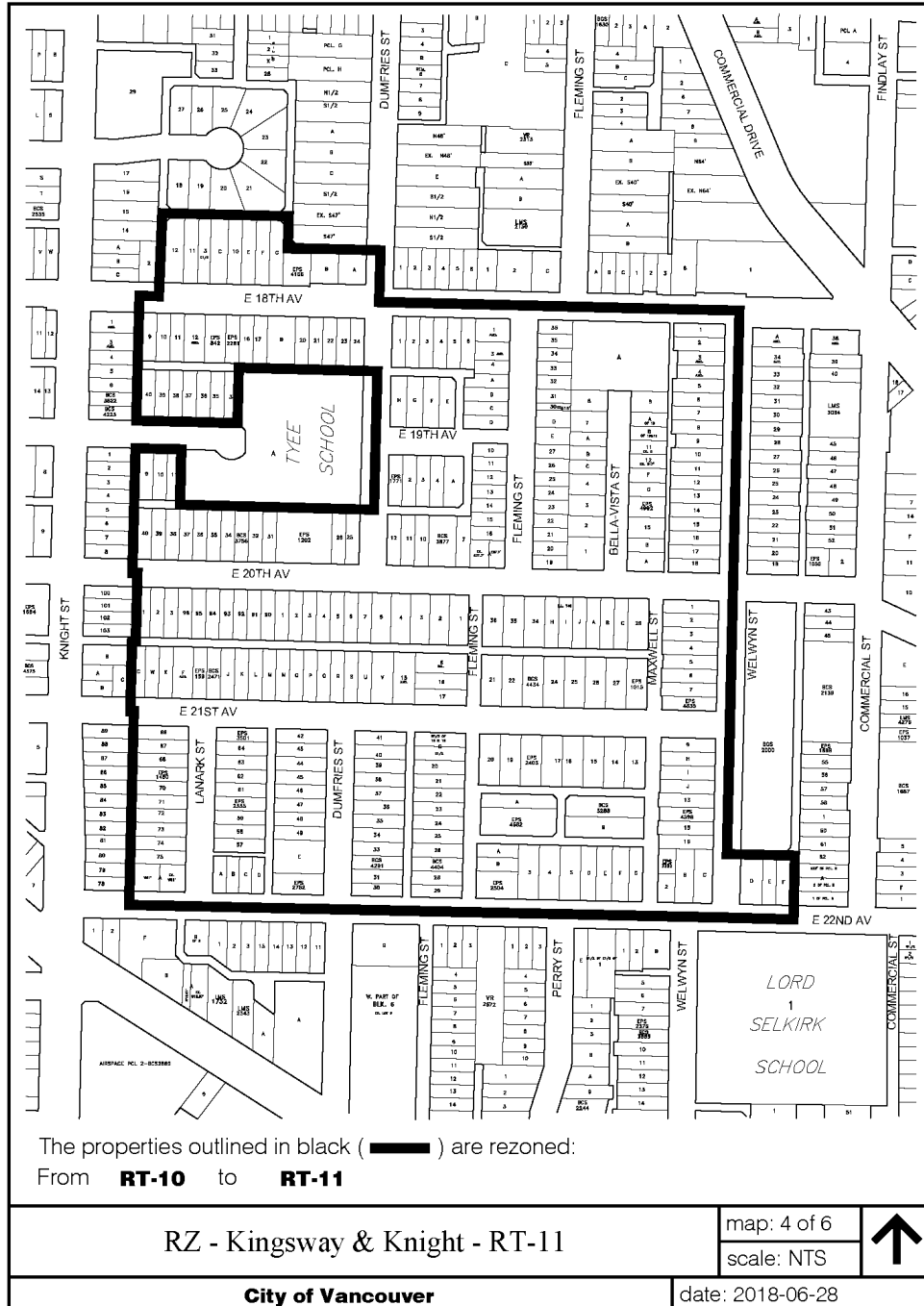
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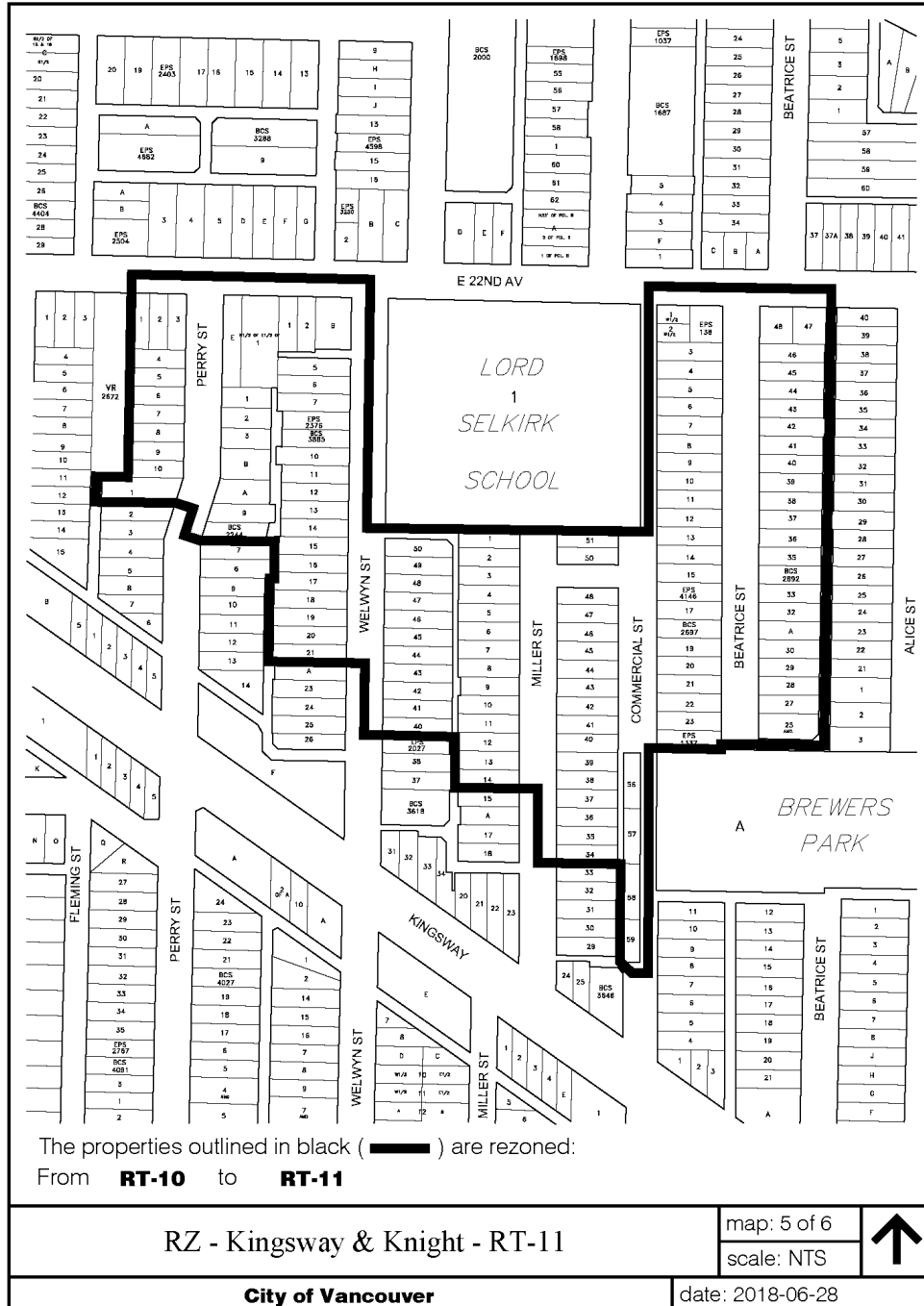
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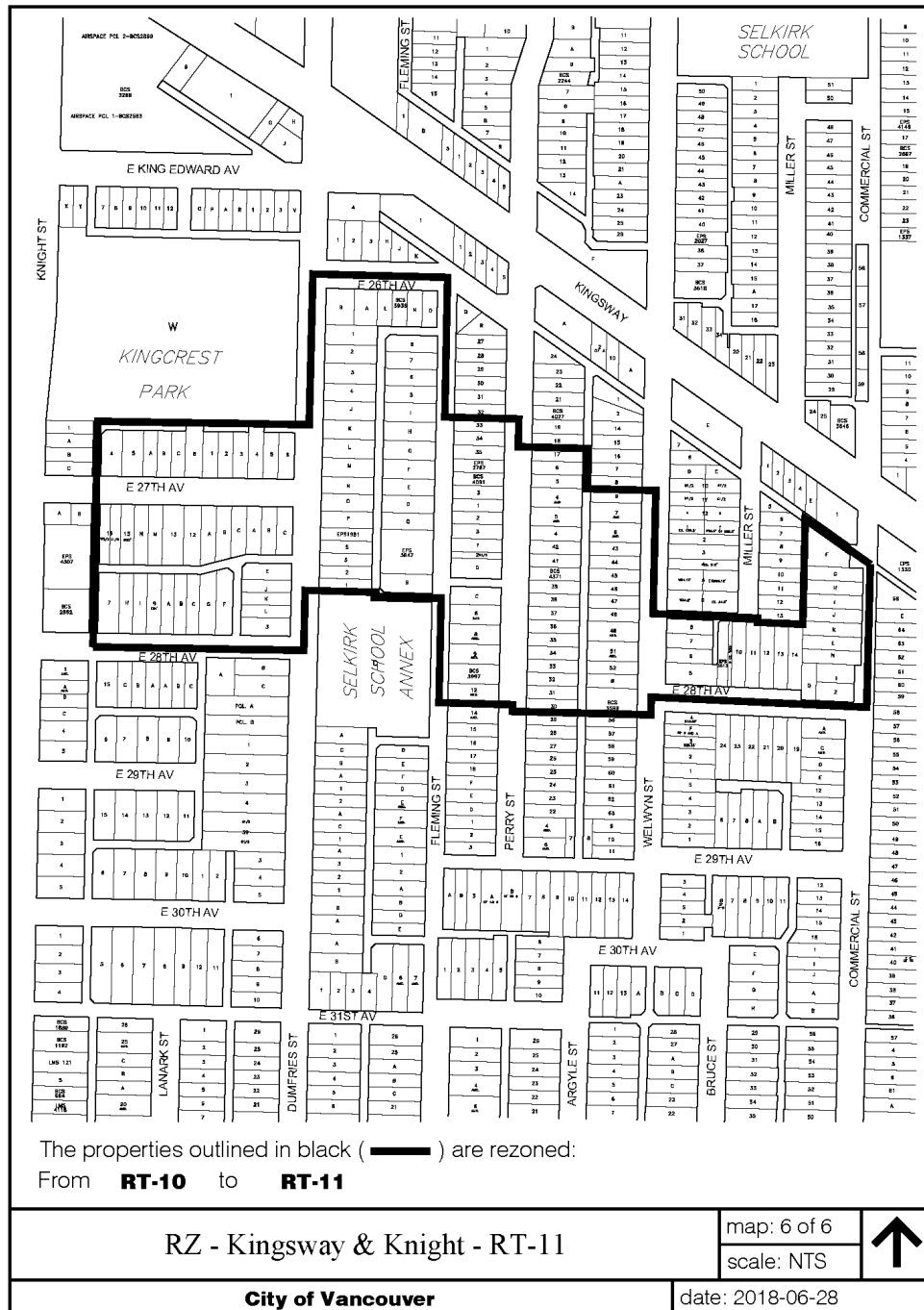
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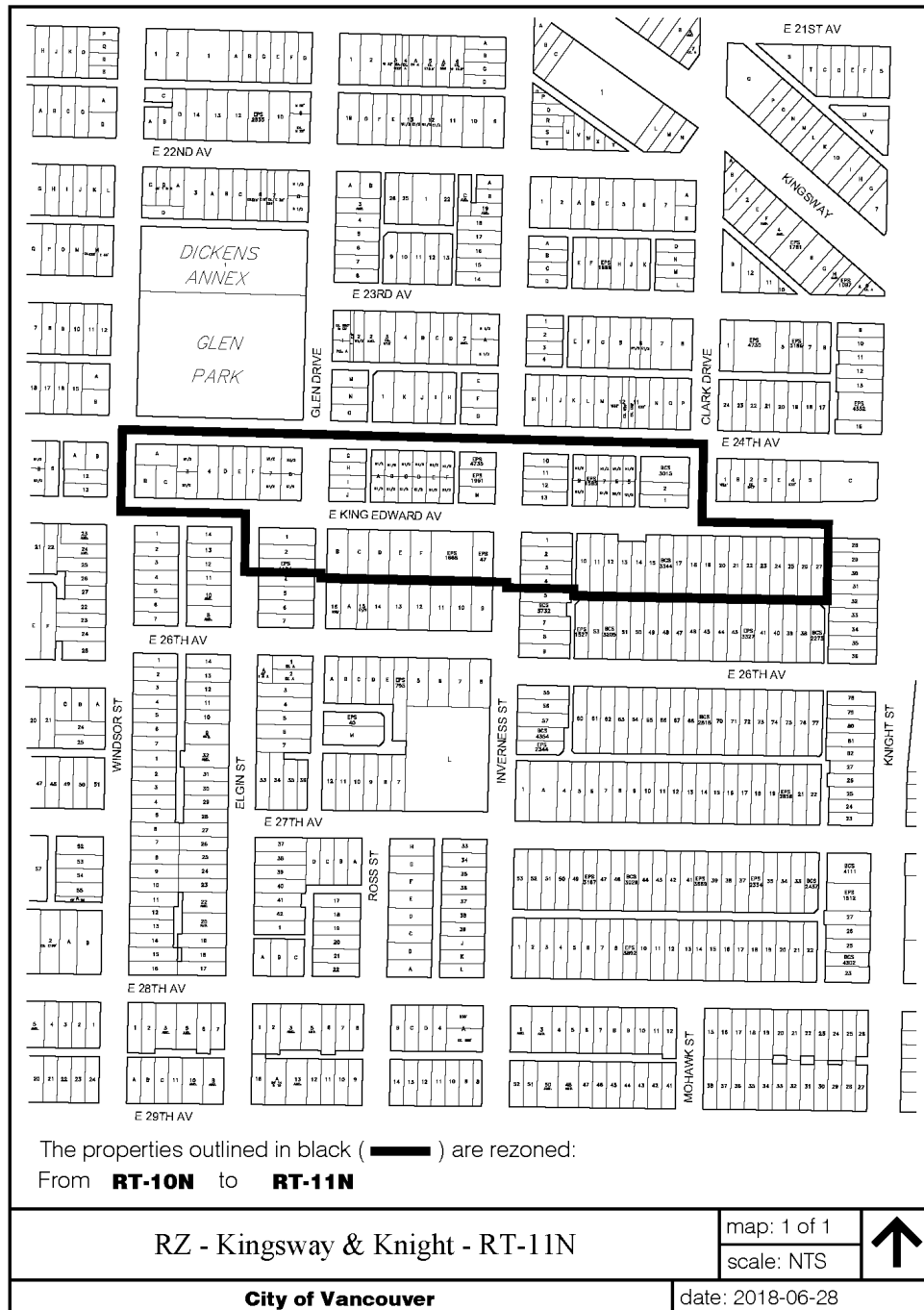
Schedule A



Schedule A



Schedule A



Note: A By-law will be prepared generally in accordance with the provisions listed below, subject to change and refinement prior to posting

BY-LAW NO. _____

**A By-law to amend Sign By-law No. 11879
with regard to the rezoning of RT-7 and
RT-8 to RT-5, and RT-10 and RT-10N to RT-11 and RT-11N**

THE COUNCIL OF THE CITY OF VANCOUVER, in public meeting, enacts as follows:

1. This by-law amends the indicated provisions of Sign By-law No. 11879.
2. In the first bullet point of Column 2 in Table 1 under section 7.1 of Part 7 (Sign Districts), across from Residential Sign District (Part 8) in Column 1, Council:
 - (a) strikes out "RT-7, RT-8,"; and
 - (b) strikes out "RT-10, RT-10N,".

Note: A By-law will be prepared generally in accordance with the provisions listed below, subject to change and refinement prior to posting

BY-LAW NO.

**A By-law to amend Parking By-law No. 6059
with regard to the rezoning of RT-7 and
RT-8 to RT-5, and RT-10 and RT-10N to RT-11 and RT-11N**

THE COUNCIL OF THE CITY OF VANCOUVER, in public meeting, enacts as follows:

1. This By-law amends the indicated provisions of the Parking By-law.
2. In Column 1 of section 4.2.1.3, Council:
 - (a) strikes out "RT-7,";
 - (b) strikes out "RT-8,"; and
 - (c) strikes out "RT-10, RT-10N,".

Note: A By-law will be prepared generally in accordance with the provisions listed below, subject to change and refinement prior to posting

BY-LAW NO.

**A By-law to amend Subdivision By-law No. 5208
with regard to the rezoning of RT-7 and
RT-8 to RT-5, and RT-10 and RT-10N to RT-11 and RT-11N**

THE COUNCIL OF THE CITY OF VANCOUVER, in public meeting, enacts as follows:

1. This By-law amends the indicated provisions of Subdivision By-law No. 5208.
2. Council amends Table 1 of Schedule A of the Subdivision By-law by:

(a) striking out:

District		Minimum Parcel Width	Minimum Parcel Area
RT-7	Two-Family Dwelling	30' [9.144 m]	3,300 sq. ft. [306.580 m ²]
RT-8	Two-Family Dwelling	30' [9.144 m]	3,300 sq. ft. [306.580 m ²]

; and

(b) striking out:

District		Minimum Parcel Width	Minimum Parcel Area
RT-10	Two-Family Dwelling	40' [12.192 m]	4,800 sq. ft. [445.935 m ²]
RT-10N	Two-Family Dwelling	40' [12.192 m]	4,800 sq. ft. [445.935 m ²]

3. Council amends Table 2 of Schedule A of the Subdivision By-law by striking out:

District		Minimum Parcel Width	Minimum Parcel Area
RT-10	Two-Family Dwelling	30' [9.144 m]	3,000 sq. ft. [278.709 m ²]
RT-10N	Two-Family Dwelling	30' [9.144 m]	3,000 sq. ft. [278.709 m ²]

Note: Amendments to Council-adopted guidelines will be prepared generally in accordance with the provisions listed below, subject to change and refinement prior to posting. Bold italics and strikethrough denote changes to the guidelines

RT-4, RT-4A, RT-4N, RT-4AN, RT-5, RT-5N and RT-6 GUIDELINES



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1 Application and Intent

These guidelines are to be used in conjunction with the RT-4, RT-4A, RT-4N, RT-4AN, RT-5, RT-5N, or RT-6 District Schedules of the **Zoning and Development By-law** and pertain to the approval of conditional floor area for additions to a character house, the approval of the conditional uses of Infill and Multiple Conversion Dwelling, and the approval of certain development relaxations, including those associated with the retention of a qualifying character house. These guidelines also pertain to the approval of the conditional uses of Multiple Dwelling and developments with more than one principal building on a site, including One-Family Dwelling or One-Family Dwelling with Secondary Suite on a site with more than one principal building.

The intent of the guidelines is to ensure that:

- (a) renovations, alterations and additions to existing character houses maintain a form and character sensitive to the design of the original house;
- (b) infill and conversion developments are respectful of the design of adjacent properties and provide a good fit with the overall neighbourhood;
- (c) new development is sympathetic to the scale and form of character homes and provides a good fit within the overall neighbourhood; and
- (d) site design considers and respects existing amenities, including trees and mature landscape.

The guidelines will be used to:

- (a) assist owners and applicants in designing developments; and,
- (b) provide a basis on which City staff evaluate projects for approval of conditional floor area, conditional uses, and discretionary variations in regulations. They may also be helpful in designing developments involving outright approval.

In the RT-5 and RT-5N Districts, for the following uses, these guidelines do not apply and external design regulations contained in the District Schedule are applicable:

- (a) a one-family dwelling or a two-family dwelling as the only principal building on a site, which are outright uses with no discretionary floor space; and,***
- (b) a one-family or two-family dwelling with secondary suite, which are conditional uses due to a non-strata covenant requirement for the rental suites, but have no discretionary elements for which these guidelines need to be applied.***

Application of these guidelines in RT-4 and RT-4N districts in the Vanness Avenue and Boundary Road area will be applied with respect to additions to multiple conversion dwellings and infill.

The RT-6 neighbourhood of West Mount Pleasant has particular character merit. The RT-6 zoning encourages the retention of larger character buildings and the redevelopment of other sites which contain non-character buildings. Consequently, more emphasis is placed on architectural design through the regulations contained in the RT-6 District Schedule.

Although the general policy direction in these areas is to emphasize retention by providing incentives for developments which keep existing character houses, the RT-5, RT-5N, and RT-6 Schedules may permit new multiple dwellings subject certain conditions, ***in particular that site assemblies beyond two adjoining lots and a combined frontage of 50 feet are not supported.***

2 General

2.1 Character House Criteria

A character house is defined in the Zoning and Development By-Law as “an existing building that, in the opinion of the Director of Planning, has sufficient heritage character to justify its conservation”.

A character house is typically a one family dwelling ~~or two family dwelling~~ constructed prior to January 1, 1940* that meets the following character merit criteria as established by the Director of Planning. An assessment is required to determine if a house is considered to have character merit and a candidate for discretionary incentives in zoning, including conditional floor area, infill or multiple conversion dwelling, and development relaxations.

**as determined by building permit or water connection records.*

The following are the minimum requirements for character merit of pre-1940 houses:

A. Must have:

- (i) *Original massing and primary roof form* - Alterations/additions that are subsidiary to the original massing and primary roof form, such as dormers, are not considered to have altered the character of the house.

B. Plus any four of the following character elements:

- (i) *Entry* - Original open front porch or veranda, or only partially filled in, or other original entry feature.
- (ii) *Cladding* - Original cladding or replacement cladding consistent with pre-1940.
- (iii) *Window Openings* - Original location, size and shape (50% or more). The windows themselves may not be original.
- (iv) *Period Details* - Two or more period details such as fascia, window casing or trim, eave brackets, soffits, exposed beam or joist ends, half-timbering, decorative shingling, porch columns, original wood doors, entry transom/sidelights, decorative or feature windows (special shapes, bay windows, crafted/leaded glass), brick or stone chimneys, piers or foundations, secondary porch, turrets, etc.
- (v) *Streetscape Context* - The house is part of a context of 2 or more character houses (including the subject house). In assessing the streetscape, at least 2 houses on either side of the subject house should be included.

Pre-1940s buildings that have been severely altered and do not qualify as character houses may be considered for incentives, including infill and/or conversion, if character elements are restored and reinstated as part of a development proposal. In special cases, a house built in 1940 or after that has particular architectural merit, and retains original and distinctive character features, may be considered a character house. In these cases, retention incentives may be supported on a case by case basis at the discretion of the Director of Planning.

A character house is not required to be listed on the Vancouver Heritage Register. Houses listed on the Vancouver Heritage Register are eligible for the zoning incentives available to character houses, including conditional floor area, infill or conversion, if meeting the above criteria.

2.2 Level of Character House Retention Required

To be eligible for incentives, including conditional floor area, infill or conversion, the existing character house must be retained and restored to its original character as viewed from the street. At the pre-application stage, an assessment of the existing condition of the house will be undertaken by Planning staff to inform the amount of restoration required. This may include restoration of character elements, such as traditional window styles or opening up of entry porches that have been enclosed. The extent of restoration required will be determined by the scope of the proposal. Minimum expectations regarding the level of structural retention required in a character house undergoing major renovations and seeking conditional benefits in zoning are outlined in the Zoning By-law Administrative Bulletin:

Retention and Renovation of Character Merit Buildings – Scope and Documentation (<http://bylaws.vancouver.ca/bulletin/R021.pdf>).

For further direction, refer to the additional guidelines for Renovation and Addition to a Retained Character House in Appendix C.

2.3 Additions

Additions should appear subordinate in visual prominence to the retained character house, as seen from the street. In general, additions should be located at the rear. Additions may extend to the side, noting that side additions should be set back from the front façade in order to create a clear distinction between old and new. Additions to the existing front facade are not supportable.

Figure 1: Addition set back from front. This retains the original façade and minimizes disruption to the streetscape.



Rear additions are not required to replicate the period or style of the original house; however, a high degree of design sensitivity should be brought to additions seeking an architectural expression that is distinct from the original house.

Additions should be subordinate to the form and massing of the original house. Large additions may be seen to overwhelm the original house form and compromise its character value. Therefore, the maximum floor space ratio may not be fully achievable through an addition when the existing character house is modest in size. In those cases, infill may be a more supportable approach for the site.

Flexibility is provided with regards to the building depth for additions (Section 6.5) noting that additions should be responsive to the configuration of neighbouring buildings and open space. The best massing solution may vary, depending on the particulars of the existing character house and adjacent buildings.

Additions that project into rear yards beyond neighbouring houses should be designed to minimize massing and overlook impacts on adjacent properties. New windows and balconies or decks should be carefully positioned to ensure privacy, and portions of the addition that project beyond the permitted building depth may step down in height.

3 Site Design and Tree Retention

Existing trees and mature landscape are an important aspect of many character house sites, contributing to the character and amenity of the site and neighbourhood. Tree retention strategies should be explored at an early stage in the site design. Character house projects and associated infill, laneway houses or garages should be located and designed to preserve existing trees, where possible. Existing landscape features (such as stone walls) should also be retained, where possible. To retain significant trees, the Director of Planning may relax the regulations regarding the siting of buildings, and the required number of parking stalls. Alternately, some sites may not be considered suitable for infill if significant tree removal is required. Utility connections and new landscape work such as driveways, walkways, patios, privacy fences and intensive plantings should be located to avoid disturbance of tree protection zones. Generally, site grading should respect the existing topography and provide compatibility with adjacent sites.

4 Uses

(**Note:** The additional guidelines in Section 3 apply only to infill, multiple conversion dwellings, multiple dwellings, and more than one principal building in RT 5, RT-5N and RT-6).

4.1 Infill

4.1.1 General Conditions

Infill may be permitted as an incentive to retain an existing character house by allowing the construction of a second residential building, typically in the rear yard on sites with a developed lane. *The existing house should be retained and restored in accordance with these guidelines and Appendix C.*

On corner lots, all elevations which face a street should be fully designed and detailed. In general, infill buildings should be subordinate to the existing character house, and respectful of adjacent properties. These guidelines are intended to ensure a modest, neighbourly scale for infill buildings. Numerical values are not intended to be prescriptive, but to provide appropriate benchmarks to assist with the evaluation of proposed designs.

4.1.2 Infill Location

Infill will typically be located in the rear yard of sites with a developed lane.

On large sites where there is no lane access, a rear yard infill may be considered, provided there is a consistent pattern on the block of vehicular access from the street and new driveways can be located to avoid existing trees.

Front or side yard infill buildings may be considered on large sites where doing so would not unduly detract from the character and pattern of development of the neighbourhood.

Relocation of a character house may be considered to provide an access path to the infill building, or required separation between the buildings, with due regard to the zoning regulations for yards, and provided significant features such as stone foundations and pillars can be retained and existing trees preserved, where possible.

4.1.3 Infill Floor Space Ratio (FSR)

The infill should not exceed 0.25 FSR, *or 186 square metres (2000 square feet).*

4.1.4 Infill Yards, Building Widths, and Separations

The minimum side yard to the infill building should be 1.0 m (3.3 feet).

The minimum rear yard setback to the infill building should be 0.9 m (3 feet).

The minimum separation between the existing character house and the infill building should be 4.9 metres (16 feet) to provide sufficient open space on site and in relation to neighbouring sites.

The maximum (combined) width of rear yard infill and accessory buildings should not exceed 80 percent of site width.

4.1.5 Infill Height

Infill height is limited to one and a partial upper storey. Designs that approach the appearance or impact of a full two-storey expression should be avoided.

The permitted height will be related to the proposed roof form as follows:

- (a) Pitched roofs
The partial upper storey should be contained within a simple, steeply pitched primary roof form of a minimum pitch of 7:12, although secondary roof forms may be provided as outlined below (Dormers).

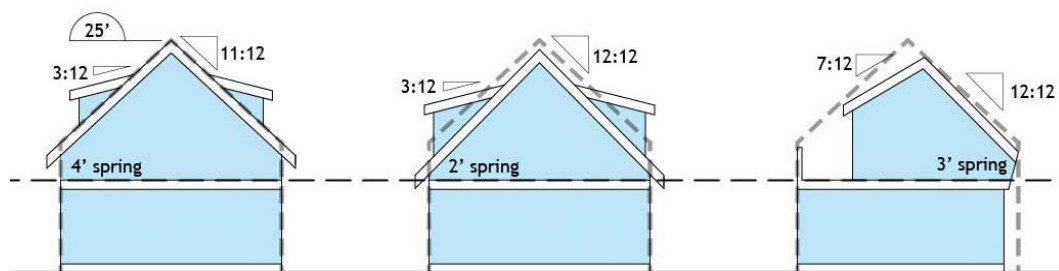
The height is limited to 7.7 m (25 feet) to the ridge of a roof with a minimum pitch of 7:12.

On an infill building whose first floor is at or near grade (no basement), the spring height for the primary roof should be no more than 1.2 m (4 feet) above the 2nd floor level.

On an infill building with a basement and a main floor level no more than 1.2m (4 feet) above grade, the spring height for the primary roof should be lower to align with the 2nd floor level.

A lower spring height may also be suitable for some roof designs to facilitate the provision of windows at a standard sill height.

Figure 2: Height and partial second storey for pitched roofs 7:12 or greater



- (b) Dormers
Dormer roof slopes should generally not be less than 3:12.

Dormer walls should be set in a minimum of two feet from the wall below and from adjacent walls (end gables) where possible.

The eave height of dormer roofs should be as low as practical to reduce the perceived scale of the partial upper storey.

On a roof where the ridge runs across the property:

- The largest dormer(s) should face the lane, and should not exceed ~~60%~~ 75% of the width of the partial upper storey.
- Dormers facing the character house should not exceed ~~35%~~ 50% of the width of the partial upper storey.

On a roof with gable ends facing the lane:

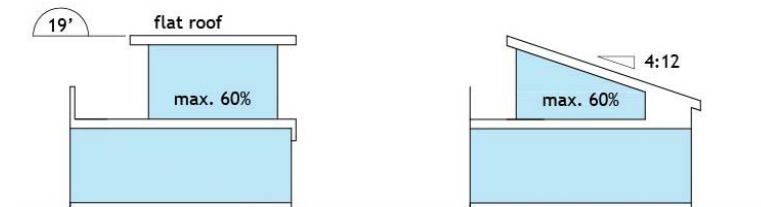
- Dormers facing a required side-yard should not exceed ~~50%~~ 60% of the building length.

- (c) Flat roofs, shed roofs and roof pitches less than 7:12
For flat, shed, or shallow pitched roofs, more design care is necessary to minimize the appearance of a two-storey building.

The floor area of the partial second storey should be approximately 60 percent of the floor area of the first storey, with setbacks to reduce its prominence.

The maximum overall height should not exceed 5.8 metres (19 feet).

Figure 3: Height and partial second storey for roofs less than 7:12



- (d) Increases in height may be considered due to topography, or to assist in the provision of required assemblies for a green roof. Increases in height may also be considered to accommodate discrete clerestory elements above the primary roof line, noting such elements improve livability, daylighting and ventilation, and add architectural interest through variation in the roof profile.
- (e) Solar Panels are excluded from height in accordance with the Planning Administration Bulletin: Solar Hot Water and Photovoltaic Panels – Installation Guidelines for Residential Zones.
- (f) Green Roofs are encouraged to improve environmental performance and to provide an amenable outlook from upper levels of neighbouring houses.
- (g) Balconies and Roof Decks should be in-keeping with the overall design. Balconies may be located at the partial second storey of the infill building and should face the lane, or a flanking street at corner sites. Balconies or decks facing the interior of the site, or roof decks above the partial second storey, are not permitted for infill buildings

4.2 Multiple Conversion Dwelling

Multiple Conversion Dwelling is the conversion of an existing character house to contain more than one dwelling unit. Conversions are permitted in order to provide incentives to retain character houses and to provide additional housing choice.

In considering development permit applications for multiple conversion dwellings, the following factors will be taken into account:

- (a) quality and livability of the resulting units;
- (b) suitability of the building for conversion in terms of age and size;
- (c) effect of the conversion on adjacent properties; and
- (d) effect of the conversion on the form and character of the existing house.

Additions may be permitted in accordance with these guidelines.

4.3 Multiple Dwellings

Multiple dwelling proposals which comply with the RT-5, RT-5N and RT-6 District Schedules and having a minimum lot size of 511m² may be considered. Corner lots present a unique design opportunity and sites which are less than 511 m² but have adequate lot size to yield 3 units on a 74 units per hectare basis (minimum of 405 m²) can be considered for a triplex.

In considering development permit applications for multiple dwellings, the following factors will be taken into account:

4.3.1 Roof Form

Most of the original housing forms in Vancouver have pitched roofs with eaves that descend far enough to fully or partially envelop the top floor. Bringing the eaves closer to grade reduces the apparent mass of a building as viewed from the street and can assist with a compatible transition to smaller existing homes on the street. Further, a substantial pitch is excellent for shedding rainwater and decreases shadowing onto neighbouring properties.

- (a) The use of a pitched roof form is encouraged for both traditional and contemporary style buildings. If a flat roof design is chosen it should perform as well as a pitched roof form with regard to shadowing by setting back the top storey, preferably from the front and rear of the building. Overlook to neighbouring yards from roof decks must be minimized.
- (b) The maximum allowable roof height as defined in the regulations may only be attained as a local point within the development rather than as a continuous height around the perimeter of the building.
- (c) In buildings where additional floor area is located in a partial third storey the floor area will be substantially contained within a steeply pitched roof. The main roof should spring from the upper floor level.
- (d) Secondary roof forms and dormers should be clearly subordinate to the main form in size and number. If a secondary roof or gable interrupts the eave line of the main roof, it should do so to mark or cover a significant element such as an entry, a porch, or a substantial projection. Smaller secondary roof elements and dormers may vary from the pitch of the main roof and may include flat roofs and shallow pitches.

4.3.2 Unit Identity

Doors and Entrances should be designed with the following considerations:

- (a) Whenever possible each principal dwelling unit should have one clearly expressed entrance facing the street. Other doors may be located on the front façade as long as clarity is maintained with respect to which is the main entrance. These secondary doors may include french doors and sliding glass doors.
- (b) The number of unit entries located side by side should be limited to two.
- (c) Where entries to units are not clearly visible from a street (e.g. units at the rear of the site, secondary suites or lock-off units), the presence and location should be announced through architectural or landscape gateway elements.
- (e) When a main entrance to a dwelling unit is from a side yard, a larger side yard setback should be considered for the portion of travel between the front property line and the front entrance. This would enable space for a sense of arrival as well as the opportunity for some landscape edge planting.
- (e) Most developments will include entries for more than two dwelling units. Care must be taken to create clear paths and identities for each unit, including secondary suites and lock-off units to assist with wayfinding.
- (f) The lane will become a focus of development, and in effect, an exposure that is as important as the streetscape. The lanescape should be visually interesting, while at the same time accommodating parking, garbage and recycling areas.

4.3.3 Massing

Building forms should begin as a simple mass, with a clear, simple roof. The integrity and simplicity of the main building forms should be legible from the street and from the lane. The scale and form of new buildings is an important part of compatibility with an existing streetscape. In addition to roof design, discussed above, other massing and design aspects including floor to floor heights, horizontal elements, changes in material,

and the proportion and placement of openings, should seek to modulate the scale of new development, to assist with a compatible fit in the streetscape.

4.3.4 Streetscape and Scale

The design of multiple dwellings must respect the streetscape, height of adjoining buildings and the rhythm of buildings along the street.

4.3.5 Materials

The finish materials of new development should be durable. High-quality materials that last longer are more sustainable and create less waste. Materials that perform well over a long period of time also increase the overall affordability of a dwelling. In addition to durability, the following should be considered when choosing exterior materials:

- (a) Use materials in a way that is true to their nature. For example, stone facing has traditionally been used as a foundation element, and as the base of columns, as its size and weight indicate a means of support.
- (b) Changes in cladding should relate to the building design, such as to express the base or foundation of the building. Transitions between materials require careful detailing to ensure durability.
- (c) In general, the same materials should be used in consistent proportions on all facades and not just on the street face. Materials should carry around corners and terminate at logical points to avoid appearing as a thin veneer or 'false front'.
- (d) All sides of a building that extend forward of an adjacent building warrant detailed treatment appropriate to a visible location.
- (e) Large blank walls, including interior sidewalls, should be avoided whenever possible. Window openings, detailing, materials, colour, wall articulation and landscaping should be used to enliven them and reduce their scale.
- (f) Materials and detailing adjacent to areas accessible to cars should be designed with resilience and durability to stand up well over time.

4.3.6 Outdoor Spaces

Ground-orientation is an important aspect of the housing types contemplated under this zoning.

- (a) A private outdoor space should be provided immediately adjacent to and accessible from each unit;
- (b) Balconies, decks and porches with a minimum depth of 1.8 m (6 ft.) may augment, or substitute where semi-private open space is provided on site;
- (c) Small units need not be provided with private open space if access is available to a shared open space; and
- (d) Units that could accommodate families (2-bedroom and larger) should provide open space suitable for children.
- (e) Semi-private open space should be designed:
 - (i) as a focus of development and an organizing element, not as 'leftover' space;
 - (ii) as a primary outlook and entrance for units in the middle and rear sections of a site
 - (ii) to provide sufficient distance, screening, landscape, and outlook considerations for the mutual comfort of dwellings overlooking the space.

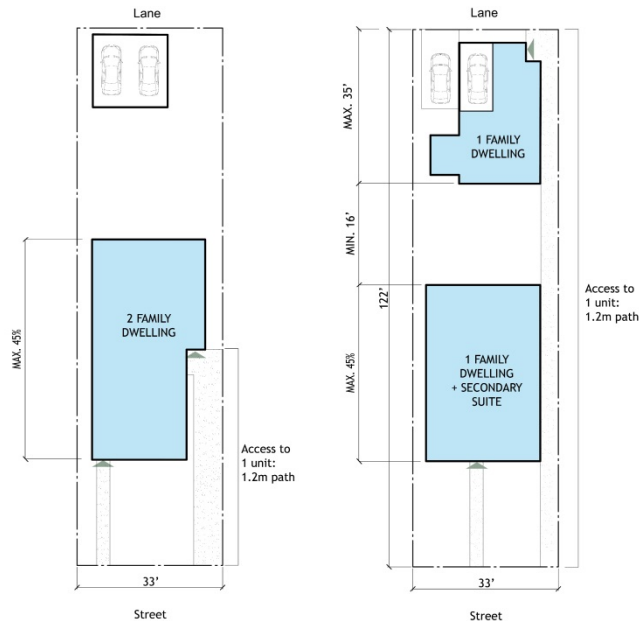
4.4 More than One New Principal Building in RT-5, RT-5N and RT-6

The RT-5, RT-5N and RT-6 District Schedules permit more than one principal building on a site. This provision will allow for the consideration of a number of housing combinations and will allow the design of multiple dwellings to be designed to respect the streetscape scale, height of adjoining buildings and rhythm of buildings along the street.

In designing projects involving total redevelopment of a site and proposing more than one principal building on a site, applicants should consult sections of these guidelines relating to multiple dwellings and infill. The same criteria with respect to sites where more than one new building may be created will apply. The infill guidelines provide direction with respect to the relationship which must be established between principal buildings, dependent on their location on the site.

On standard lots, this provision allows applicants to propose a development involving two new buildings: a one-family dwelling or one-family dwelling with secondary suite at the front of the site, and a one-family dwelling at the rear of the site, rather than an outright duplex. The new houses are intended to be compatible in building scale and placement with existing historic buildings and infill patterns of development, particularly where a single new principal building would overwhelm an existing streetscape.

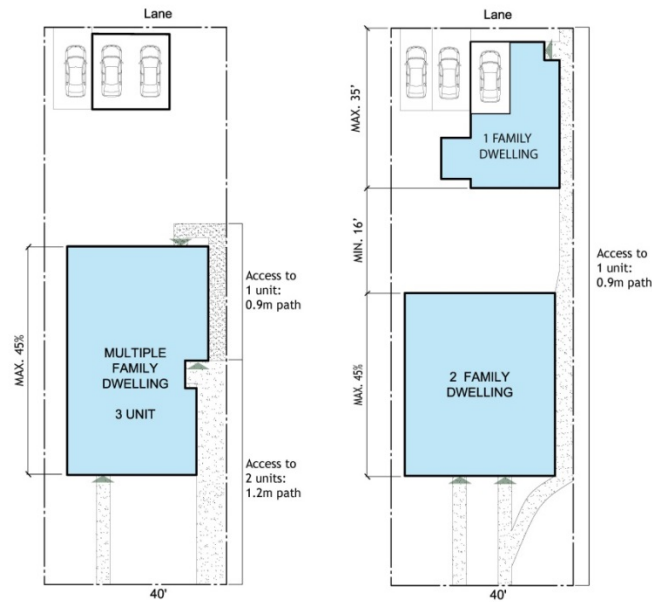
Figure 4: Example 2-family dwelling as a single principal building on a site, as compared to two principal buildings: 1-family dwelling (with or without a secondary suite) at the front of the site with 1-family dwelling at the rear.



Note: The 2-family dwelling may have a one secondary (rental) suite or 2 lock-off (rental) units, noting the 33 ft. site width accommodates 3 parking spaces. Two strata-titled units may be provided on the site.

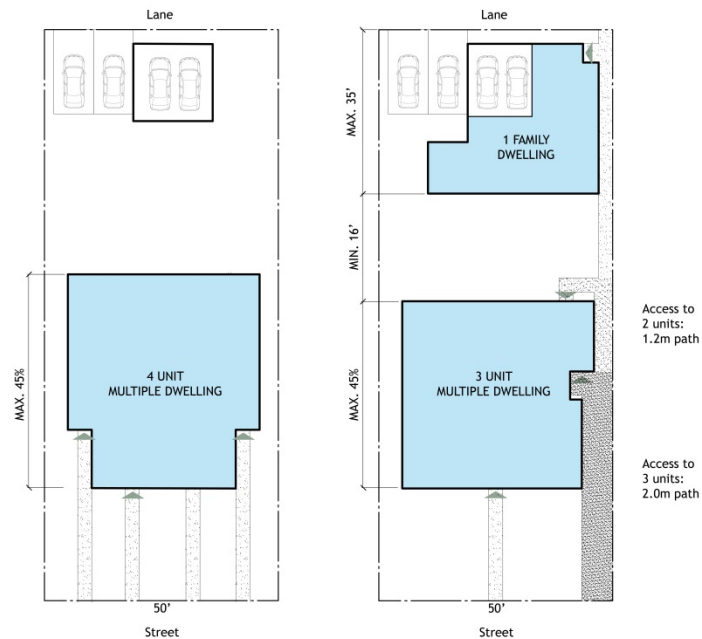
On larger lots, in RT-5 and RT-5N, this provision allows applicants to propose development involving two or more new buildings, particularly where a single new building would overwhelm an existing streetscape, where the lots is an irregular shape (i.e.. narrow and deep) or where the smaller scale of multiple buildings is preferred to a single multiple dwelling building. In the RT-6 District, multiple dwelling proposals on larger sites must be broken into individual buildings, rather than one single building.

Figure 5: Example of 3-unit multiple dwelling (tri-plex) as a single principal building on a site, as compared to two principal buildings: 2-family dwelling at the front of the site with 1-family dwelling at the rear.



Note: The total number of dwelling units is 3; secondary suites and lock off units are not permitted for this configuration. 3 strata-titled units may be provided on the site.

Figure 6: Example of 4-unit multiple dwelling (four-plex) as compared to two principal buildings: 3-unit multiple dwelling at the front (tri-plex) with 1-family dwelling at the rear.



Note: The total number of dwelling units is 4; secondary suites and lock off units are not permitted for this configuration. 4 strata-titled units may be provided on the site.

5 RT-6 (West Mount Pleasant)

5.1 Neighbourhood Character

One area has particular character merit in that its original development is of especially high quality with minimal intrusion by unsympathetic new development. Some development in this area, notably renovations and restorations, has been outstanding in quality. This area is referred to as West Mount Pleasant.

The most important principle in this area is to have development blend in with (but not necessarily mimic) the existing context. The designer should work with what is, in the majority of cases, a fairly disciplined street rhythm using primarily traditional architectural forms. The use of these traditional forms does not preclude innovation and original design solutions. A more subtle approach to individual expression is called for in order to minimize the introduction of conflicting elements into the neighbourhood.

This area contains a majority of fine old homes many predating World War I. These structures are located on large well-maintained lots framed by mature street trees. Infill is the preferred development option.

The RT-6 zoning was introduced to reinforce the building pattern of West Mount Pleasant, which has retained much of the integrity and consistency of the character of the city's first suburb. The area includes a number of clusters and consistent streetscapes containing fine Queen Anne homes of the 1890s as well as Edwardian Builder, Craftsman and Colonial Revival houses from the development boom of 1910-1913 (see Appendix A for a description of architectural styles existing in the area). In addition are a number of large and elaborate houses built on corner lots which are reminders of the area's earlier prestige as a residential locality. The heritage character is enhanced by streets lined with mature trees. Among many renovations and conversions are a number of outstanding restorations.

Within the general area of West Mount Pleasant, 12th Avenue provides a dividing line between the area to the north where considerable renovation and rehabilitation has been undertaken and the area to the south where more new development has taken place. The integrity of architecture and streetscapes has been weakened over several decades. These guidelines place emphasis, for the West Mount Pleasant RT-6 area, on both existing buildings and new development, with a clear intent to allow redevelopment of sites with existing buildings which do not have character merit.

Several architectural styles exist in the RT-6 West Mount Pleasant area. The descriptions, contained in Appendix A, are intended to provide applicants with a general idea of the principal elements which make up each style - basic building form, roof design, entrance-way emphasis, windows and materials and details. Applicants are advised to examine buildings in the area. It is not the intent to require new construction to copy these styles exactly, but more to follow the general components.

5.2 Street Character

The basic premise of this component of physical character is that an individual building is seen first as part of a streetscape. Certain patterns comprising the streetscape generally exist which should be respected by new development.

Massing as it relates to the streetscape of the areas in question is primarily a function of building proportions and spacing between buildings. A variety of building proportions exist in these areas.

On most individual blocks where the subdivision pattern is uniform, a consistent building massing can be found, interrupted usually where post World War II development has taken place. The most dominant element from the streetscape point of view, no matter what the massing, is the expression of the single house on its own separate lot.

Where a pattern of massing and spacing has been established on a block or in the sequence of buildings on either side of the subject site, the proportions and spacing of development should

maintain that pattern. Development should reinforce the rhythm created by the individual house standing on its own lot.

5.3 Architectural Components

(Note: The additional guidelines in Section 5.3 apply only to multiple conversion dwellings in RT-6).

The incorporation of projections and recesses (in the form of bays, dormers, turrets, room projections, porches, entry porticos and recessed balconies) to the basic geometric envelope of buildings creates visual interest and a strong play of light and shadow on their facades. This variety of projections and recesses, solid and void is what gives these facades their three-dimensionality and their depth, and it is this element which, to a great extent, makes the subject areas architecturally distinctive. The apparent complexity of these character houses is a result of the ordered and logical placement of these elements. The positions and alignments of these projections and recesses have an inescapable balance to them, if not always a symmetry.

In the conversion of a character house, it is important to maintain the same balance of solid to void as on the existing facade. For example, “flattening” the facade by filling in porches and recessed balconies should be avoided. Similarly, pulling forward a set back portion of a facade to align it with a projecting portion is also inappropriate. Adding a volume which is not compatible with the facade or an exterior staircase to the second floor on the street facade is also to be avoided.

If the existing building has questionable character merit or if it has been insensitively modified so that its character has been compromised, an attempt should be made to improve the character aspects of the building by incorporating the elements described above or restoring the elements that have been compromised through previous alterations.

The opportunity should be taken on corner sites to introduce projections and recesses on both street facades. Turrets, wrap-around verandahs or other architectural features that “turn the corner” add visual interest to these prominent sites.

5.3.1 Roofs

The steeply sloped roof is used exclusively on character buildings in the subject areas. The most common roof style is the gable, typically incorporating dormers. Hipped roofs are the next most common roof shape. Frequently a hipped dormer will spring from the ridge of such a roof. Typically, the roof “cap” of the building is the most dominant single architectural component apparent from the street.

Secondary roof elements over porches and verandahs, projecting rooms and wings, bay windows, entries, etc. are a characteristic phenomenon and contribute to the general complexity which is added on to initially simple straightforward volumes that constitute the typical house found in these areas.

Development should incorporate characteristic roof forms. All roofs should be sloped with a minimum pitch of 9 on 12. Large unbroken sloped roof areas should not face the street. A gable roof theme with gable facing the street has been noted to be the most successful solution in new construction. A specific and characteristic roof style should be chosen to cover the main body of the building and this roof should be a dominant or principal component as seen from the street. On corner sites, roofs should be designed to acknowledge both streets. Secondary roof elements are encouraged and should be compatible with the principal roof. Additions and renovations to character buildings should retain the shape of the principal roof. Added volumes (such as dormers) should be compatible in shape with main roof.

5.3.2 Windows

Characteristic houses have a solid, substantial appearance partly as a result of the limited amount of window area. Even in wrap-around bay windows, the heavy window frame and casing details

give the impression of solidness. Window arrangement in original development is quite straight-forward with a simple rectangular opening usually centred on the wall area in which it is situated. The geometric pattern achieves a balance if not a symmetry.

Multiple Conversion Dwellings should respect existing solid wall-to-window area ratios and orderly window geometry. It is important to maintain the feeling of solidness that exists in characteristic houses. Views should be maximized through strategic window placement rather than wholesale use of glass. Careful window detailing and arrangement can increase the feeling of facade solidness. This issue is less critical for facades that do not face the street.

5.3.3 Entrances, Stairs, and Porches

(a) Entrances

No more than two entry doors should be placed side-by-side to avoid a barracks-like appearance. When more than two suite entries are located in close proximity, it may be preferable to have a single highly-articulated principal entry into a common lobby.

(b) Porches

Entry porches and verandahs are characteristic of houses in the subject areas. Physically, they form a void or negative space at the lower portion of the building which gives a comfortable balance to the individual facade as well as a distinctive repetitive form to the street.

The filling in of porches is strongly discouraged. Porches are encouraged in new construction.

5.3.4 Exterior Walls and Finishing

(a) Detailing

Original development is characterized by robust detailing and ornamentation. This includes large roof overhangs accentuated by wide barge boards often supported on heavy wood brackets, wide wood window frames and casings, oversize square or round columns supporting porch or portico roofs, expressed main beams (supporting projections or porch roofs, or over recessed balconies), and decorative balustrades.

In modifying character buildings, no loss of detailing should occur. This particularly applies in a Special Character Merit Area.

(b) Materials

The predominant exterior material in these areas is horizontal wood siding in 70 or 100 mm (3 or 4 inch) width in shiplap or clapboard. Wood shingle siding is also typical. Trowelled stucco with a uniform texture is a more recent material and in character buildings has been employed as a background field for the robust detailing described in Section 5.3.1. Roofs are wood shingles or shakes or asphalt shingles. The horizontal layering of houses into basement, main body or “piano nobile” and attic is sometimes emphasized by the juxtaposition of materials. Typically a heavily rusticated granite stone base supports a clapboard main body topped by a decorative shingled or Tudor half-timbered attic. Stone also appears at entry stairs and in retaining walls.

A fundamental aspect of the quality, detailing and arrangement of characteristic materials is that they have an intrinsic structural property and do not look “pasted on”. The materials have a thickness and authenticity to them and are never imitations or substitutes.

Multiple Conversion Dwellings should generally employ traditional materials. The use of the authentic materials listed above is encouraged.

6 Guidelines Pertaining to Relaxations of Regulations of the Zoning and Development By-law

The Director of Planning may relax the regulations of the Zoning and Development By-Law when a character house is retained as per Section 5 of the applicable RT District Schedule. In cases where relaxation of a regulation is proposed to facilitate retention of a character house, the Director of Planning will also consider impact on adjacent properties.

6.1 Site Area

Character house retention incentives may be considered on any site with a qualifying character house.

Section 4.1.3 allows for consideration of multiple dwelling on sites smaller than 511 m². Corner lots present a unique design opportunity, and sites which are less than 511 m² but have adequate lot size to yield 3 units on a 74 units per hectare basis (minimum of 405 m²) can be considered for a triplex.

6.2 Height

Additions to character houses may be permitted to match the existing height of the house in order to better relate to the existing massing and roof form.

The height limit in Section 4.3.2 allows for a partial third storey by discretion for new construction for a principal building. The intent of this is to allow more area under the roof than is allowed by the “half-storey” definition in the Zoning and Development By-Law. This will allow buildings to have less depth, and to conform better to traditional house forms. The partial third storey should generally be contained within a steeply pitched primary roof form with a spring height to align with the 2nd floor level.

6.3 Yards

Additions to character houses may be permitted to match the existing yard setbacks of a character house in order to better relate to the existing massing, or floor plans, with due regard to the requirements of the Vancouver Building By law.

Front and rear yard relaxations may be supported for new development to provide improved alignment with existing streetscape and buildings.

6.4 Site Coverage

Site coverage (by buildings) should be responsive to the nearby building massing and open space.

The area of impermeable materials includes impermeable surface treatments (paths, patios and paved areas) and site coverage by buildings, and should not exceed 70% of the total site area.

In certain cases, impermeable coverage may be increased a modest amount due to site constraints and provided rainwater management best practices are demonstrated. Refer to the *City of Vancouver Integrated Rainwater Management Plan, Best Management Practice Toolkit, Volume 2*.

6.5 Building Depth

The maximum building depth for a one-family dwelling (with or without secondary suite) is 35% of the site depth. For character houses, this may be increased as follows:

- (a) For the cellar or basement and first storey, a building depth of 45 percent may be allowed; and,
- (b) For the second floor and above, a building depth of 40 percent may be allowed.

Greater percentage building depth may be considered for sites with depth less than 30.5 metres (100 feet) or to support retention of existing trees or mature landscape.

In general, the building depth should not exceed 50 percent.

6.6 External Design

External design regulations in Section 4.17 are applicable to one and two-family dwellings (with or without secondary suites or lock-off units, as permitted). Renovation, addition and conversion of existing character houses are exempt from the external design regulations, noting such regulations may not be applicable to the variety of original character house designs.

7 Basements

It is encouraged to utilize existing basement space in order to manage above grade building massing and maintain an appropriate visual scale for additions. The conversion of existing basement floor space to crawl space or parking is strongly discouraged.

Some existing houses have basements with low headroom. To improve headroom, the existing basement slab may be lowered, or the house may be raised a modest amount, or a combination of both. Raising the house should not be considered where it will compromise existing character features, such as stone or brick foundations or pillars.

When raising the house, the main floor should not be located disproportionately high above grade, the original entry porch or entry feature should be kept at the main level and the lowest level should continue to read as a 'base'. To that end, the main floor should not be raised more than 0.45 m (18 inches), and should not be located more than 2 m (6.56 feet) above grade so that the basement will continue to conform to the requirements of the basement definition in the Zoning and Development By-law. When the renovation project includes a new basement and foundations, digging deeper to obtain the needed headroom is preferred.

8 Quality, Durability and Expression

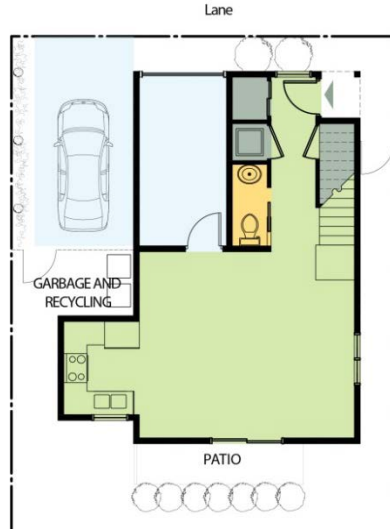
Additions, conversion and infill projects should be designed to be lasting, quality additions to neighbourhoods. Material selection and detailing should ensure performance over time.

A variety of architectural styles may be considered for infill development, so that neighbourhoods may continue to evolve in a way that respects the character of existing streetscapes.

Infill should be designed to enhance the lane. In effect, the lane becomes the public space or 'street' on which infill, and laneway houses, may be located. The lane frontage should provide a residential character with a pleasant outlook for nearby residents and a visually interesting experience for passersby. Dwelling units should have an outlook to the lane on the lower level, where possible, and primary windows and decks facing the lane on upper levels.

Consideration should be given to locating the infill entrance facing the lane. An inset entry porch should be provided to ensure the entrance is a safe and welcoming place for people to stand to avoid vehicular traffic in the lane.

Figure 7: Plan of infill with (optional) lane entry.



9 Entrances and Access

9.1 Multiple Conversion Dwelling

The original front entrance to a character house should be maintained. Entries will be provided for each additional dwelling unit, and should be clearly identifiable and expressed as such, while maintaining the location and visual prominence of the original entry.

9.2 Infill

Pedestrian access to the infill building will be from the street and along a path at the side of the existing character house. Pedestrian access to the infill building should be separate from the main house and clearly identifiable from the street.

The path may also provide access to dwelling units located within the existing house. The width of the path is related to the number of units served by the path and must meet Vancouver Building By-law fire fighter access requirements, with current requirements noted as follows:

Access to one dwelling unit:	0.90 m (3 feet)
Access to two dwelling units:	1.2 m (4 feet)
Access to more than two dwelling units:	2 m (6.56 feet)

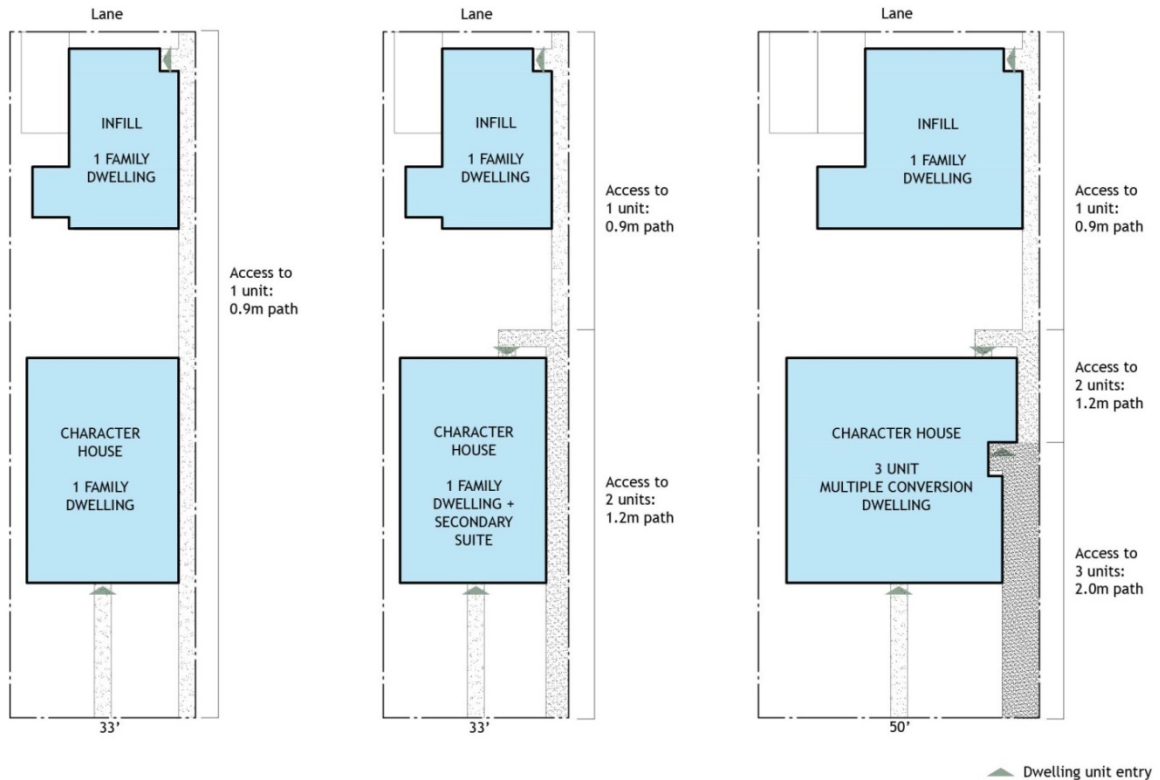
For the infill building, consideration should be given to locating an entry facing the lane to enhance the residential character of the lane and create a pedestrian-friendly environment, where feasible. Where an entry door is proposed on the lane, an inset entry porch area that provides a safe and welcoming place for people to stand should be provided.

For both conversion and infill, where entries to units are not clearly visible from a street (e.g. units at the rear of the site), their presence and location may be announced through architectural and landscape features.

9.3 Vehicular Access

Most of the area has lanes, but some blocks do not. In these cases, where access must be from the street, the result in the past has frequently been large curb cuts across sidewalks, major areas of paving, bulkier houses, inadequate unit entrance design, and little landscaping.

Figure 8: Examples of access path width requirements.



Vehicular access should be only from the lane, where one exists. Where, at the option of the applicant, adjacent owners wish to share driveway access, this should be allowed, provided that the respective owners are responsible for all legal agreements needed. Where the street is the only access available, a side driveway into parking located either under the house or in a rear garage is desirable, where the lot width permits.

Where a garage must be accessed from the street:

- (a) Minimum width curb cut should be used. The manoeuvring area in front of the garage door should be limited to what is necessary to get the vehicles into the garage. An offset, rather than centred, curb cut should be considered in order to consolidate space left for landscape and entries;*
- (b) A sloped drive and manoeuvring area should be used and the garage floor placed below grade. (The depth should be maximized depending on Engineering ramp slope standards and the front yard size.); and,*
- (c) However, flexibility in any or all of these guidelines should be allowed, whenever the retention of a street tree or significant on-site tree will be achieved.*

10 Dwelling Unit Density in RT-4, RT-4A, RT-4N and RT-4AN

The dwelling unit density in RT-4, RT-4A, RT-4N and RT-4AN should not exceed 62 units per hectare.

11 Parking

In general, one parking space per dwelling unit should be provided, except as follows.

For infill, the following is applicable:

On 33 foot wide lots, a maximum of two spaces should be provided (*See Parking By-Law Section 4.X*): one internal and one external space, to facilitate infill designs with living space at the ground floor oriented to the lane.

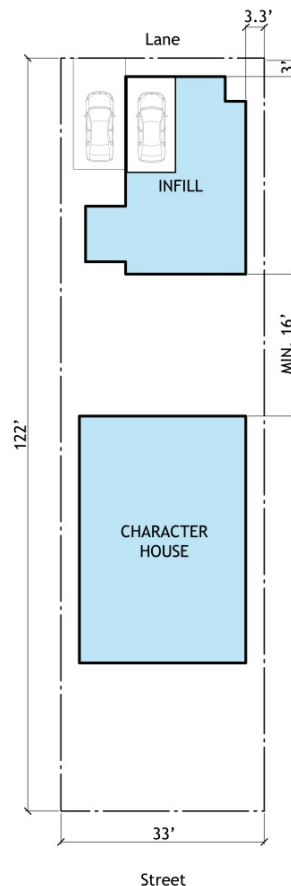
On wider lots, a maximum of two parking spaces may be contained within an infill building and excluded from floor area.

For multiple conversion dwelling, no more than two parking spaces shall be enclosed in a garage at the rear of the site. The number of garage doors directly facing the lane should be minimized.

Surface parking must be permeable, including permeable pavers or wheel strips in gravel. Standard unit pavers are not considered as permeable.

Surface parking should be screened where possible, and buffered by a 1.0 metre (3.3 feet) landscape planting bed adjacent to a side property line. This dimension may be reduced to 0.3 metres (1 foot) for 33 foot wide lots to accommodate a fence and climbing vine planting.

Figure 9: Parking configuration for infill on 33 ft. lot.



12 Landscape

The landscape design should enhance presentation to the street and the experience of the lane, improve the environmental performance of the property, provide sufficient outdoor amenity space

for dwelling units on the site, and assist with the creation of privacy for the dwelling units on site and for neighbours.

12.1 Street Frontage

Front yards should create friendly and visually open semi-public spaces.

12.2 Tree Protection, Retention and Replacement

The Protection of Trees By-law applies to all trees on private property, and includes requirements for the retention and replacement of trees on the development site, protection of trees nearby on neighbouring sites and on City property. In accordance with the provisions of this by-law, applicants will be required to submit an arborist's report.

For sites which could accommodate additional trees, the Director of Planning may require trees to be planted on the development site in coordination with a Landscape Plan/Tree Plan.

12.3 Useable Open Space and Circulation

Private, semi-private or shared outdoor areas should be provided at grade, adjacent to and convenient for each dwelling unit. Walkways should be sensitive to overlook onto private patios. Planting beds should screen common walkways using planting, rather than fencing, where possible. The amount of open space provided should be functional and should relate to the size of the dwelling unit. Where the rear yard is limited in size, a usable upper level deck with a minimum clear depth of 1.5 m (5.0 ft.) may meet the intent of the guidelines for private outdoor space.

12.4 Lane Frontage

The 0.9 m (3.0 ft.) minimum setback between an infill building and the lane should be permeable and landscaped where not required for vehicle or pedestrian access. Planted areas that face the lane are intended to expand the public realm and should not be blocked from view by private fencing. Fencing, where desired, should be set back from the property line to enhance the prominence of the planting. Where possible, plants should be located at grade in contiguous soil, i.e. avoiding planter boxes. Planting should consist of woody, evergreen and hardy plant material for year-round presence and structure. Hose bibs should be located near lane edge planting. A 6" curb should be provided to protect planting beds at lane edge. Vehicular gates, including sliding types, are discouraged.

12.5 Front Driveways

Landscape treatment of front driveways is critical. As much soft landscaping as possible should be provided to soften the appearance of the paved area. Special decorative paving (interlocking pavers, brick, exposed aggregate etc.) should be used in driveway and manoeuvring areas. Where the drive is simply an access to a side or rear garage (no manoeuvring in the front), consideration should be given to using paved wheel strips.

12.6 Garbage and Recycling

Garbage and recycling should be provided onsite in a designated storage area that is accessible to all units on the lot and screened from outdoor amenity space and the lane frontage.

Appendix A

Architectural Styles: West Mount Pleasant and Kitsilano

The following architectural styles are prevalent in the West Mount Pleasant area:

Pioneer

These are unassuming houses usually 1½ (but sometimes 2 or 2½) storeys high with a front gabled roof facing the street and containing the entrance door and perhaps a simple porch or verandah. A bay window may be situated beside the door or on the second floor, but the windows are usually plain. Proportions are tall and narrow. The houses are faced with shiplap or narrow clapboard siding, the latter becoming prevalent around 1900. Corner boards and window trim are usually plain 25 mm x 150 mm (1 x 6 inch) boards, and windows are double-hung with two or four panes in each sash. A shed-roofed kitchen is common at the rear. Basements are rare.

Decorated Pioneer

Houses of this kind are very similar to Pioneer houses, but are more ostentatious because of the addition of wood ornamentation at the gable ends, on porches, and for door and window detail. The fretwork - often called “gingerbread” — was created with the fret saw or the jig saw (also called a scroll saw). It was the development of carpentry and sawing techniques during the later years of the nineteenth century that made wooden decoration popular and affordable. Porch posts were turned with the lathe and chamfered. Decorated Pioneer buildings often use contrasting patterns of wood siding and shingles, and scalloped and lozenge-shaped shingles appear frequently.

Pioneer Cottage

The Pioneer Cottage is a small dwelling, usually one storey high on a raised roof, and sometimes having a dormer window illuminating a bedroom in the attic space. The cottages provided inexpensive, standardized housing for people of the working class. They were frequently built in groups, and intact clusters have a row of them closely sited along the street. More elaborate versions may have a porch with classical columns and eaves brackets, but simpler ones have little ornament. Some were marketed as prefabricated “ready-made” dwellings.

Classic Box

The Classic Box is a foursquare 2 or 2½ storey house covered by a hipped roof, often one of low pitch. The second storey is a full floor high, and if there is an attic floor, the roof is pierced by a dormer. Earlier versions are undecorated, like the Pioneer house. Later examples (after 1900) may have the ornamentation associated with the Decorated Pioneer, including bay windows and decorative window openings. Classical detail may also be found. Porches are common, and the bay windows may interrupt the simple lines of the hipped roof. The front door is usually located on one side of the facade.

Classic Frame

This is the most common Vancouver dwelling house for the middle class in the early years of the present century. It is a timber-frame building between 1½ and 2½ storeys high, with the gable end of the roof presented to the street. Facade features usually include a porch and one or more bay windows. The door is located to one side. Ornamental variety in the wood and shingle siding is common. The house is similar to the Pioneer and Decorated Pioneer, but it has broader proportions and more interior space. A number of Classic Frames often appear side by side along the street, usually with minor variants in window shape, porches and decorative detailing.

Queen Anne

Queen Anne buildings (most of them houses) are varied and decorative, with asymmetrical compositions, steeply pitched roofs, a dominant front-facing gable (often with central hipped roof), and numerous projecting features such as bay windows, turrets and verandahs. Textures and colours often run rampant: shingles, siding, fretwork, gingerbread, stained glass and other features, to produce a lively design.

Eastern Shingle

The predominance of wood shingles as an exterior cladding characterizes this style — shingles always appear on the second storey, and often on the ground floor as well. The composition is likely more horizontal than vertical, with some restraint shown in decorative effects. In its eastern American prototypes, the style usually had complex massing, cross-gables or other complex roof forms, small windows often grouped in pairs, continuous shingles without corner boards, and broad verandahs. Vancouver versions may deviate less from the Classic Box or the Classic Frame, and some have a relatively simple front-facing gabled roof, but they nevertheless retain their distinctiveness because of their shingle finish.

Stick

The stick style is a variant of previously described house forms - the simpler ones such as the Classic Frame and Classic Box and also the more complex Queen Anne - and is characterized by decorative “stick work” of 25 mm x 50 mm (1 x 2 inch) boards which are applied over the wood siding and shingles. Diagonal or curved eaves brackets and braces may also be present. Stick Style houses are vertical in their proportions, usually with a front-facing gable which may contain fretwork or decorative trusses, and which may project from a hipped or complex roof.

Bungalow or Craftsman

The Bungalow and its variants dominated Vancouver domestic building in the years after 1910, supplanting the Classic Frame as the most popular house type.

Bungaloid

The term Bungaloid describes buildings in which features characteristic of Bungalows are seen in houses too large or different in form from that style. The most common Bungaloid type in Vancouver is a 2½ storey house with a front-facing gable, too tall to be a Bungalow but sharing its profuse use of brackets, beam ends, stubby porch supports and other decorative wood features. Another version has side-facing gables, with dormers or other vertical features piercing the eaves.

Colonial Revival Style

The Colonial Revival style housing involves the consistent use of decorative elements of classical origin. The typical example has a bell-cast or low-pitched hipped roof over 2 storeys on a symmetrical plan, with a full-width front porch. A central attic dormer and bay windows are further embellishments. Typical cladding is of a narrow, bevelled siding similar to American Colonial clapboard. Wood shingles are also common and are usually present on only one floor or in the gable end. The use of decorative shingles in fishscale, staggered or diagonal pattern is a holdover from the Queen Anne style. Decorative elements include eaves brackets, classical inspired mouldings and porch columns, multi-paned windows, and a round window or Palladian window.

The following architectural styles are prevalent in the Kitsilano:

Craftsman

This was the most popular style during the 1910 to 1930 period of development in the Kitsilano. The characteristics are sweeping, low-pitched gable roofs with broad overhangs and a large porch; narrow bevelled wood siding or cedar shingle cladding; robust wood detailing: exposed rafters and beams, eave brackets and braces; porch beams and pillars; balustrades, window mullions and frames. The porch supports are usually short with sloping sides and their bases may be made of rough “clinker” bricks. The principal window beneath the main gable is often composed of three sashes.

Edwardian Builder

This style was popular between 1900-1910, and used on various building forms. It's characterized by a steep roof and large porch, narrow bevelled wood siding or cedar shingle cladding, plain classical-inspired details such as small eaves brackets or dentils mouldings, porch column capitals, pediment roof forms, multi-paned or diamond-patterned windows. Stone/brick or porch supports or foundations are not commonly used.

English Builder

The English Builder style began to be built in the late 20's. It was an economical version of the more elaborate English Arts and Crafts or Tudor revival styles popular for estates. Characteristics are step cross-gable main roof, with one or more large, steep, front-facing gables, usually asymmetrically placed; very small front porch; stucco cladding; and limited detailing (plain fascias and window frames), leaded windows; sometimes small pointed arches above windows, doors etc.

Germanic Cottage (also called Eastern Cottage)

This style began to be used in the late 20's. Characteristics include small, 1 ½ storey form, with shallow-pitched end-gable roof, usually chamfered, stucco cladding, very small front porch, and detailing was limited: plain fascias and window frames, small window panes.

Appendix B

Renovation and Addition to Retained Character House

The intent of the following is to ensure that changes to an existing character house maintain its original form and character, and that additions are compatible.

2.1 Principles

(a) Retention of Original Character

Where a renovation is occurring to a character house, the new architectural components should maintain the original character of the building. Renovation to current standards may require the replacement of a good deal of material. The amount of original exterior building fabric that is to be replaced is not limited as long as it is replaced in a manner closely similar to the original, as set out in the following guidelines. Provision of drawings documenting the extent of material to be replaced may be required at time of application.

(b) Infill Character

Where an infill building is being added behind a retained 'character' house, it may be designed either to reflect the traditional character and style of the main house, or to express itself clearly as a later building by choosing a contemporary architectural style.

(c) Additions

In general, additions will not be supported on the front of character buildings, as this would significantly alter the character of the building as viewed from the street. Additions to existing character buildings should always appear secondary in visual prominence to the main house as seen from the street.

2.2 Roofs and Chimneys

(a) The original roof forms should be maintained.

(b) Consideration will be given to changing the main roof form in those cases where the height under the main ridge line is not sufficient to enable a reasonable configuration of inhabited space according to the City's by-laws.

(c) Where dormers are being added or extended, they should remain subordinate to, and not detract from the integrity of the main roof. Where dormers are being added to an end-gable house, they should be placed back from the edge of the roof, and their size should be limited to ensure the original roof line remains visually predominant. For cross-gable houses, dormers added on the street side should be in character with the typical forms of the original period

(d) Roofs on additions should be compatible with the existing building's roof form, or similar ones of the period.

(e) Secondary roof elements may vary from the pitch of the main roof and may include flat roofs and shallow pitches.

(f) If roofing material is to be replaced, either wood shingle or asphalt shingle should be used. Other materials may be considered where it can be shown they were characteristic of the original house style. If roofing is to be repaired, material should match existing.

(g) Original chimneys should be retained and repaired where possible. While matching new chimneys to existing ones is desirable, boxed-in chimneys clad with a material that matches the building wall is also acceptable.

2.3 Windows and Skylights

(a) In general, original window openings on the front façade of existing buildings should be maintained. If it is not practical to keep original frames and exterior wood trim, new windows should match the original design as closely as possible. Window

replacements from previous renovations that are not in character with the original building should be returned to a design in keeping with the original building. It is desirable to maintain existing window pane shapes and mullions as well, however, if reproduction is too costly, plain glass can be used. Use of 'stick-on' mullions or leading is not acceptable.

- (b) *On facades not visible from the street, more substantial alterations to existing windows may be considered.*
- (c) *When an addition will be seen from the street, the addition's windows should follow the same general practices as in the original building regarding shape, placement, materials and trim. Where they will not be visible from the street, variations can be considered.*
- (d) *Skylights should be modest in size when visible from the street, and set flat into the roof, rather than projecting..*
- (e) *Windows may be wood or vinyl frames of substantial section, noting the following:*
 - *Windows to have balanced sash. I.e. Both operable and non-operable windows are to have sashes of the same dimension.*
 - *Windows to have true divided lites I.e. Individual glazing units between muntin bars, or equivalent with exterior and interior mounted muntin bars and internal spacer bar.*
 - *Banked windows are to be installed as individual window units with vertical post/trim in between.*
 - *Window trim and sill material is to be wood with smooth sanded finish and painted. Comber or texture wood trims are not supported.*

2.4 Entrances Stairs and Porches

- (a) *Entrances and Stairs*
 - (i) *Original front entrance frames, trim, and stairs should be maintained where these exist. If replacement is necessary, the design should match the original design and material as closely as possible.*
 - (ii) *Maintaining the original front door and any sidelights is desirable. Where doors must be replaced, or where earlier renovations resulted in inappropriate doors, doors of similar quality to the original should be used.*
 - (iii) *When an original door and sidelights have been compromised, and an additional entrance is needed to a unit on the same level as the main entrance, a number of solutions are acceptable:*
 - *placing the door inside the original entry in a lobby arrangement;*
 - *placing two doors side-by-side; and*
 - *placing one entry at the side of the building.*
 - (iv) *When an additional entrance is desired to a basement unit, or to other living space on the basement level, it may be located on the front façade, but it should not detract from the visual dominance of the original entry.*
 - (v) *Separate units in additions and infill should have the location of the principle entry evident from the street.*

Alternative ways of doing this include:

 - *a visible entry door*
 - *a visible entry canopy or porch*
 - *a trellis and/or other modestly scale gate*
- (b) *Porches*

The Districts Schedules provide a floor space exclusion for porches, to both encourage new porches, and facilitate the opening up of old ones which may have been filled in for extra living space.

 - (i) *Original porches on existing buildings should be kept and restored.*

- (ii) *If possible, porch infill should be removed. If the enclosed space must remain for livability, the detailing of the enclosure, particularly of any window within it, should be made consistent with the original style of the building.*

2.5 Balconies and Decks

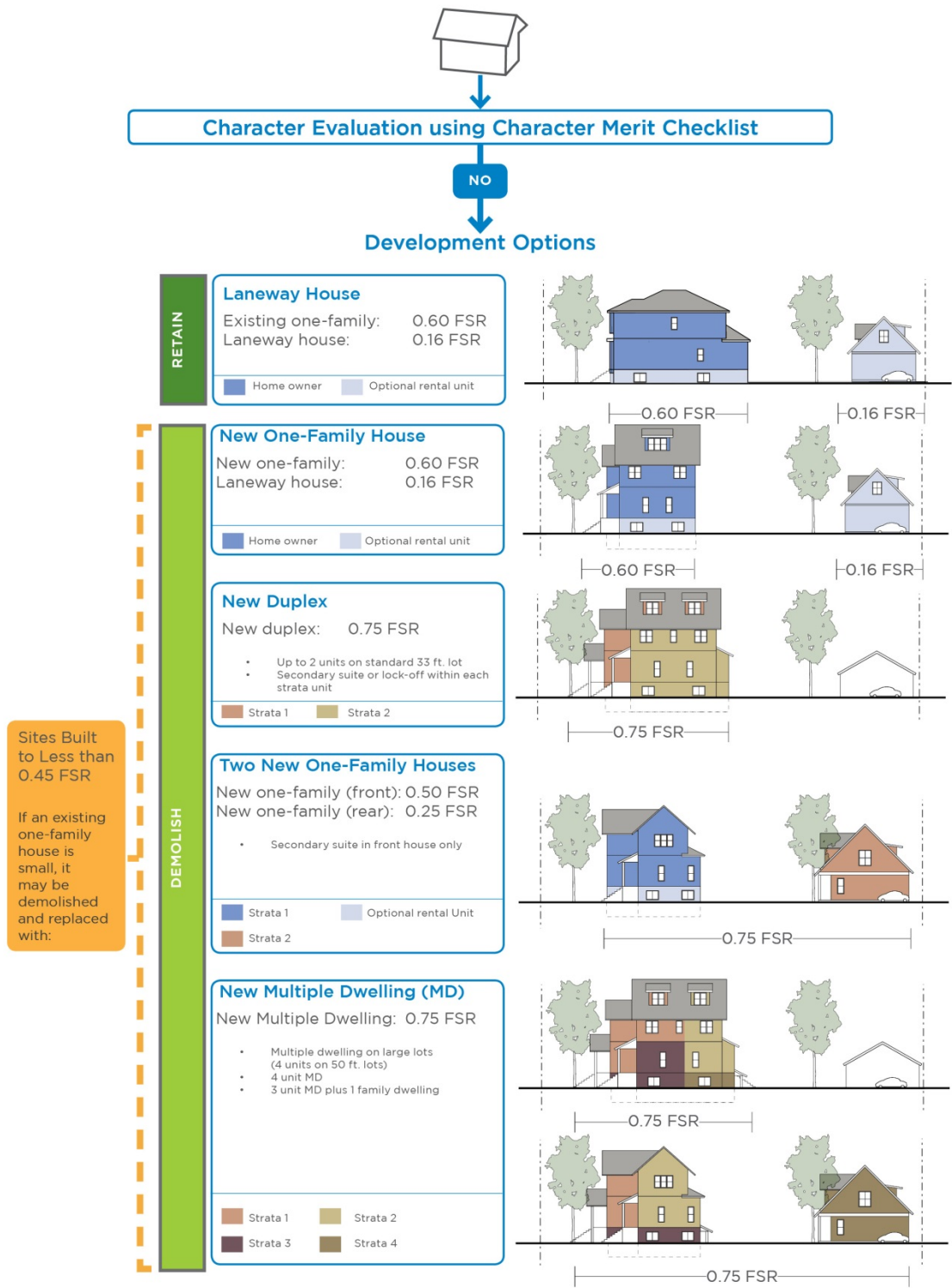
- (a) *Projecting balconies and decks should not be located on the front façade of older houses. Decks located on, or partially within a roof may be acceptable on the front of the building provided they appear integrated and are modeled on traditional examples.*
- (b) *Projecting balconies or decks may be located at the rear, subject to guidelines regarding privacy and setbacks.*

2.6 Exterior Walls and Finishing

- (a) *Materials:*
 - Original materials should be retained and repaired where practical. If replacement is necessary, the same material should be used, although it may be manufactured in a different way. (For example, narrow wood clapboard is available in sheets).*
 - (i) *Materials on additions visible from the street should match those of the existing building.*
 - (ii) *The same materials should be used consistently on all facades, including the interior of inset porches. The use of a material only as a ‘paste-on’ on one or two facades is not acceptable.*
 - (iii) *“Imitative” materials such as vinyl siding and cultured stone are not acceptable, although some materials that have advanced to a point where they convincingly replicate original materials may be acceptable and will be evaluated at time of application.*
- (b) *Detailing:*
 - (i) *Existing detailing on buildings should be kept and restored. If it has been removed, it should be replaced in the original style and material;*
 - (ii) *Uncharacteristic detailing (gingerbread to ‘Victorianize’ buildings) should not be added; and*
 - (iii) *Detailing on additions should be compatible with that on the original building, but the degree of detailing may vary considerably, depending on the overall design intent of the addition and its visibility from the streets.*
 - (iv) *Exterior wood trim including fascias, barge boards, belly boards, and corner boards should be smooth, sanded material with painted finish. Combed or textured wood products are not supported.*
 - (v) *Stone cladding should be true cut natural stone with minimum 2” thickness. Corner details should not expose edges of stone.*
 - (vi) *Cementitious siding may be supported. Siding should be smooth finish with maximum 4" exposure. Faux wood grain finish is not approved.*
 - (vii) *High quality garage doors should be provided for infill development.*
- (d) *Where a material is proposed that is not covered by (a) or (b), its acceptability will be evaluated on a case by case basis.*

RT-5 & RT-6 Development Options illustrations





Note: Amendments to Council-adopted guidelines will be prepared generally in accordance with the provisions listed below, subject to change and refinement prior to posting. Bold italics and strikethrough denote changes to the guidelines

KENSINGTON-CEDAR COTTAGE AND NORQUAY VILLAGE CHARACTER HOUSE AND RETENTION GUIDELINES

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1 Application and Intent

~~The Norquay Village Neighbourhood Centre Plan supports encouraging the retention of character houses. The RT-11 and RT-11N and RM-7 and RM-7N Districts Schedules in Kensington-Cedar Cottage and Norquay Village include incentives for the retention of pre-1940 character houses on single lots. With the exception of Small House/Duplex development sites, the retention of a character house is at the owner's discretion. *These guidelines are applicable to applications seeking discretionary incentives for the retention of a character house.*~~

1.1 Definition of a Character Building

~~For the purpose of these guidelines, a character building is defined as a building built before January 1, 1940* which in the opinion of staff meets at least four of the following seven criteria with respect to the street facing facades (See Appendix A for more detailed information about character buildings in Vancouver).~~

~~A character house has retained at least **four** of the following features on the street facing façade(s):~~

- ~~(a) Retains original massing and roof form.~~
- ~~(b) Has original front porch or veranda or only partially filled in.~~
- ~~(c) Has original cladding or replaced with materials typical of the pre 1940's.~~
- ~~(d) Has 50% or more of typical period window openings (original location, size and shape).~~
- ~~(e) Has 50% or more original casings or trim such as wood treatment around windows and doors.~~
- ~~(f) Retains a minimum of two period detailing or decorative elements (fascias, eave brackets, soffits, exposed beam or joist ends, half timbering, decorative shingling, porch columns, original wood doors, entry transom/sidelights, decorative or feature windows of round, diamond, octagonal or palladian shapes or crafted glass).~~
- ~~(g) Exhibits other period features (secondary porch, secondary roof with gable ends and dormers, brick or stone foundations etc.).~~

~~*as determined by building permit or water connection records.~~

A character house is defined in the Zoning and Development By Law as “an existing building that, in the opinion of the Director of Planning, has sufficient heritage character to justify its conservation”.

A character house is typically a one family dwelling constructed prior to January 1, 1940 that meets the following character merit criteria as established by the Director of Planning. An assessment is required to determine if a house is considered to have character merit and a candidate for discretionary incentives in zoning, including conditional floor area, infill or multiple conversion dwelling, and development relaxations.*

(See Appendix A for more detailed information about character buildings in Vancouver).

The following are the minimum criteria:

(a) Must have:

- (i) Original massing and primary roof form - Alterations/additions that are subsidiary to the original massing and primary roof form, such as dormers, are not considered to have altered the character of the house.*

(b) Plus any four of the following character elements:

- (i) Entry - Original open front porch or veranda, or only partially filled in, or other original entry feature.*
- (ii) Cladding - Original cladding or replacement cladding consistent with the era when the house was built.*

- (iii) *Window Openings - Original location, size and shape (50 percent or more). The windows themselves may not be original.*
- (iv) *Period Details - Two or more period details, such as fascia, window casing or trim, eave brackets, soffits, exposed beam or joist ends, half-timbering, decorative shingling, porch columns, original wood doors, entry transom/sidelights, decorative or feature windows (special shapes, bay windows, crafted/leaded glass), brick or stone chimneys, piers or foundations, secondary porch, turrets, etc.*
- (v) *Streetscape Context - The house is part of a context of 2 or more character houses on the same block face (including the subject house). In assessing the streetscape, at least 2 houses on either side of the subject house should be included.*

Pre-1940s buildings that have been severely altered and do not qualify as character houses may be considered for incentives, including infill and/or conversion, if character elements are restored and reinstated as part of a development proposal. In special cases, a house built in 1940 or after that has particular architectural merit, and retains original and distinctive character features, may be considered a character house. In these cases, retention incentives may be supported on a case by case basis at the discretion of the Director of Planning.

A character house is not required to be listed on the Vancouver Heritage Register. Houses listed on the Vancouver Heritage Register are eligible for the zoning incentives available to character houses, including conditional floor area, infill or conversion, if meeting the above criteria.

**as determined by building permit or water connection records.*

EXAMPLES OF CHARACTER BUILDING ASSESSMENT OF PRE-1940'S HOUSES



~~Y~~ original massing and roof form
~~Y~~ original front porch (or only partially filled in)
~~Y~~ cladding is original
~~Y~~ contains 50% or more typical period window openings
~~Y~~ retained 50% or more original casings or trims
~~Y~~ retained pre-1940's detailing (eave fascias, brackets, etc)
 — other features (intact secondary porch, turrets, etc.)
~~6~~ TOTAL (character elements)
Y original massing and roof form

Y original front porch (or only partially filled in)
Y cladding is original
Y contains 50% or more typical period window openings
Y two or more period details
 — streetscape

4/5 TOTAL (character elements)



~~Y~~ original massing and roof form
~~—~~ original front porch (or only partially filled in)
~~—~~ cladding is original
~~Y~~ contains 50% or more typical period window openings
~~—~~ retained 50% or more original casings or trim
~~—~~ retained pre-1940's detailing (eave (fascias, brackets, etc.)
~~—~~ other features such as intact secondary porch, etc.
~~2~~ TOTAL (character elements)

Y original massing and roof form

~~—~~ original front porch (or only partially filled in)
~~—~~ cladding is original
~~Y~~ contains 50% or more typical period window openings
~~—~~ two or more period details
~~—~~ streetscape

1/5 TOTAL (character elements)



~~Y~~ original massing and roof form
~~Y~~ original front porch (or only partially filled in)
~~Y~~ cladding is original
~~Y~~ contains 50% or more typical period window openings
~~Y~~ retained 50% or more original casings or trim
~~Y~~ retained pre-1940's detailing (eave (fascias, brackets, etc.)
~~—~~ other features such as intact secondary porch, etc.

~~6~~ TOTAL (character elements)

Y original massing and roof form

~~Y~~ original front porch (or only partially filled in)
~~Y~~ cladding is original
~~Y~~ contains 50% or more typical period window openings
~~Y~~ two or more period details
~~—~~ streetscape

4/5 TOTAL (character elements)



delete photo

~~Y~~ original massing and roof form
~~—~~ original front porch (or only partially filled in)
~~Y~~ cladding is original
~~Y~~ contains 50% or more typical period window openings
~~Y~~ retained 50% or more original casings or trim
~~Y~~ retained pre-1940's detailing (eave, fascias, brackets, etc.)
~~—~~ other features such as intact secondary porch, etc.

~~5~~ TOTAL (character elements)



delete
photo

~~Y~~ original massing and roof form
~~Y~~ original front porch (or only partially filled in)
~~—~~ cladding is original
~~Y~~ contains 50% or more typical period window openings
~~—~~ retained 50% or more original casings or trim
~~Y~~ retained pre-1940's detailing (eave, fascias, brackets, etc.)
~~—~~ other features such as intact secondary porch, etc.

~~4~~ TOTAL (character elements)

2 Renovation and Addition to Retained Character House

The intent of the following guidelines is to ensure that changes to an existing ‘character’ building maintain its original form and character, and that additions are compatible. To determine whether an existing building is considered a character house refer to Section 1.

2.1 Principles

- (a) **Retention of Original Character**
Where a renovation is occurring to a character house, the new architectural components should maintain the original character of the building. Renovation to current standards may require the replacement of a good deal of material. The amount of original exterior building fabric that is to be replaced is not limited as long as it is replaced in a manner closely similar to the original, as set out in the following guidelines. Provision of drawings documenting the extent of material to be replaced may be required at time of application.
- (b) **Infill Character**
Where an infill building is being added behind a retained character house, it may be designed either to reflect the traditional character and style of the main house, or to express itself clearly as a later building by choosing a contemporary architectural style.
- (c) **Additions**
In general, additions will not be supported on the front of character houses, as this would significantly alter the character of the building as viewed from the street. Additions to existing character houses should always appear secondary in visual prominence to the main house as seen from the street.

2.2 Roofs and Chimneys

- (a) The original roof forms should be maintained.
- (b) Consideration will be given to changing the main roof form to reflect those of other neighbourhood character houses, in those cases where the height under the main ridge line is not sufficient to enable a reasonable configuration of inhabited space according to the City’s by-laws.
- (c) Where dormers are being added or extended, they should remain subordinate to, and not detract from the integrity of the main roof.
- (d) Roofs on additions should be compatible with the existing building’s roof form, or similar ones of the period.
- (e) Secondary roof elements may vary from the pitch of the main roof and may include flat roofs and shallow pitches.
- (f) If roofing material is to be replaced, either wood shingle or asphalt shingle should be used. Other materials may be considered where it can be shown they were characteristic of the original house style. If roofing is to be repaired, material should match existing.
- (g) Original chimneys should be retained and repaired where possible. While matching new chimneys to existing ones is desirable, boxed-in chimneys clad with a material that matches the building wall is also acceptable.

2.3 Windows and Skylights

- (a) In general, original window openings on the front façade of existing buildings should be maintained. If it is not practical to keep original frames and exterior wood trim, new windows should match the original design as closely as possible. Window replacements from previous renovations that are not in character with the original building should be returned to a design in keeping with the original building. It is desirable to maintain existing window pane shapes and mullions as well, however, if reproduction is too costly, plain glass can be used. Use of ‘stick-on’ mullions or leading is not acceptable.
- (b) On facades not visible from the street, more substantial alterations to existing window shape and size may be considered. Materials and detailing of frames should be compatible with the existing style.

- (c) When an addition will be seen from the street, the addition's windows should follow the same general practices as in the original building regarding shape, placement, materials and trim.
- (d) Skylights should be modest in size when visible from the street.

2.4 Entrances Stairs and Porches

- (a) Entrances and Stairs
 - (i) Original front entrance frames, trim, and stairs should be maintained where these exist. If replacement is necessary, the design should match the original design and material as closely as possible.
 - (ii) Maintaining the original front door and any sidelights is desirable. Where doors must be replaced, or where earlier renovations resulted in inappropriate doors, doors of similar quality to the original should be used.
 - (iii) When an original door and sidelights have been compromised, and an additional entrance is needed to a unit on the same level as the main entrance, a number of solutions are acceptable:
 - placing the door inside the original entry in a lobby arrangement;
 - placing two doors side-by-side; and
 - placing one entry at the side of the building.
 - (iv) When an additional entrance is desired to a basement unit, or to other living space on the basement level, it may be located on the front façade, but it should not detract from the visual dominance of the original entry.
- (b) Porches

The RT-11 and 11N, and RM-7 and RM-7N Districts Schedules provides a floor space exclusion for porches, to both encourage new porches, and facilitate the opening up of old ones which may have been filled in for extra living space.

 - (i) Original porches on existing buildings should be kept and restored.
 - (ii) If possible, porch infill should be removed. If the enclosed space must remain for livability, the detailing of the enclosure should be made consistent with the original style of the building.

2.5 Balconies and Decks

- (a) Projecting balconies and decks should not be located on the front façade of older houses. Decks located on, or partially within a roof may be acceptable on the front of the building provided they appear integrated and are modeled on traditional examples.
- (b) Projecting balconies or decks may be located at the rear, subject to guidelines regarding privacy and setbacks.

2.6 Exterior Walls and Finishing

- (a) Materials:

Original materials should be retained and repaired where practical. If replacement is necessary, the same material should be used, although it may be manufactured in a different way. (For example, narrow wood clapboard is available in sheets).

 - (i) Materials on additions should match those of the existing building.
 - (ii) The same materials should be used consistently on all facades, including the interior of inset porches. The use of a material only as a 'paste-on' on one or two facades is not acceptable.
 - (iii) "Imitative" materials such as vinyl siding are generally not acceptable, although some materials that have advanced to a point where they convincingly replicate original materials may be acceptable and will be evaluated at time of application (e.g. some types of cementitious board will be appropriate).
- (b) Detailing:
 - (i) Existing detailing on buildings should be kept and restored. If it has been removed, it should be replaced in the original style and material;
 - (ii) Uncharacteristic detailing (gingerbread to 'Victorianize' buildings) should not be added; and

- (iii) Detailing on additions should be compatible with that on the original building, but the degree of detailing may vary considerably, depending on the overall design intent of the addition and its visibility from the streets.
- (c) Where a material is proposed that is not covered by (a) or (b), its acceptability will be evaluated on a case by case basis.

Character Buildings

Background

Much of the early residential development in many of Vancouver's neighbourhoods took place between 1910 and 1940. Homes built in this period were of various architectural styles and have been well documented. The most popular styles are described below and range from the bungalow, cottage, and classic frame homes built in the craftsman style to the more elaborate homes such as the Queen Anne and Tudor styles seen in the City's older neighbourhoods of Shaughnessy and Mount Pleasant. Vancouver's neighbourhoods still contain a large proportion of pre-1940's houses that may meet criteria to be considered character houses. Many pre-1940's houses were modest structures with little ornament, and many have been modified over the years.

Principal Elements

The principal elements which are generally common to the traditional pre-1940's houses are the following:

- (a) **Simple mass with a dominant main pitched roof**
Pre-1940's houses were simple with a basement projecting 1.2 m (4 ft.) to 1.8 m (1.6 ft.) above ground, a main floor, and optional full or partial second floor. On this basic box structure was a simple pitched primary main roof over the first storey eave. Roofs were most commonly end-gable (gable facing the street, ridge running lengthwise on the lot) or cross-gable (slope facing the street, ridge running across the lot). Roof pitch was usually substantial although bungalow styles feature low pitched gables roofs with broad overhangs. Other roof forms such as hip, gambrel or mansard were less common. Some houses also featured secondary roof elements over porches and verandas and projecting rooms.
- (b) **Emphasis on front entries and porches**
Covered porches on the main (entry) level were a universal feature, and were of several types.
 - (i) projecting from the facade under a separate roof structure, but with a solid base;
 - (ii) projecting, but under an extension of the main roof; and
 - (iii) inset from the façade.

The front entrances were on the main level, about 1.2 m (4 ft.) to 1.8 m (6 ft.) above grade. Upper level porches were also common on some styles. They were inset into the second storey wall, or partially inset into the wall and the porch roof below.

All porches has substantial depth, single storey height, robust wood supporting beams and columns, and robust picket type wood railing, or solid balustrade formed by an extension of the wall below. Any columns or posts were limited to the first storey. They were single storey front entry covered porches, or recessed balconies.

- (c) **Windows and Doors**
Pre-1940's buildings were characterized by limited amounts of window area (relative to the wall) and simple rectangular shapes. Windows tended to be symmetrical often rectangular window openings with trim. Decorative window shapes were relatively rare. Doors were generally single, not double, but were usually panelled, some with windows.
- (d) **Materials and Detailing**
Wood was the most prevalent wall material. This was usually in the form of horizontal 76 mm (3 in.) to 101 mm (4 in.) clapboard, board and batten or shingles. Stucco was used on some "English Builder" and "Germanic cottage" style houses. Stucco was stone-dash, pebble-dash or medium textured stucco. Brick was used much more rarely.

Though not an exhaustive list, decorative detailing tended to be the expression of the wood trim such as around doors and windows, heavy beam and columns in porch structures, window casing frames and mullions, bargeboards and eaves brackets and braces, fascias, or exposed ends of “roof joists” under the roof overhangs. Detailing in wall materials included decorative shingling (fish-scale, scalloped, staggered or diamond-shaped), usually small amounts in the upper parts of gables and half timbering.

Popular “Pre-1940’s” Architectural Styles

The following architectural styles are representative of the less complex pre-1940’s buildings prevalent in many of Vancouver’s neighbourhoods.

- (a) **Bungalow or Craftsman**
The Bungalow and its variants dominated Vancouver domestic building in the years after 1910, supplanting the Classic Frame as the most popular house type. The features common to the many variations of Bungalows are low-pitched gabled roofs with broad eaves or overhangs, and the profuse use of wood detail (exposed rafters and beams, eaves brackets and braces, and textured wood clapboard or shingles. The most prevalent Bungalow type in Vancouver is an expansive house 1 or 1 ½ storeys high with the gable facing the street and often having a smaller, secondary gable over the projecting entrance porch. Entry stairs were solid substantial staircases, not flimsy open stairs. The porch columns/supports are usually short with sloping sides and their bases may be made of rough “clinker” bricks. The principal window beneath the main gable is often composed of three sashes.
- (b) **Bungaloid**
The term Bungaloid describes buildings in which features characteristic of Bungalows are seen in houses too large or different in form from that style. The most common Bungaloid type in Vancouver is a 2 ½ storey house with a front-facing gable, too tall to be a Bungalow, but sharing its profuse use of brackets, beam ends, stubby porch columns and other decorative wood features. Another version has side-facing gables, with dormers or other vertical features piercing the eaves.
- (c) **Classic Box**
The Classic Box is a foursquare 2 or 2 ½ storey house with a hipped roof, often one of low pitch. The second storey is a full floor high, and if there is an attic floor, the roof has a dormer. Earlier versions are undecorated, like the Pioneer house. Later examples (after 1900) may have the ornamentation associated with the Decorated Pioneer, including bay windows and decorative window openings. Classical detail may also be found. Porches are common, and the bay windows may interrupt the simple lines of the hipped roof. The front door is usually on one side of the façade.
- (d) **Classic Frame**
This is the most common Vancouver dwelling house for the middle class in the early 1900’s. It is a timber-frame building between 1 ½ and 2 ½ storeys high, with the gable end of the roof presented to the street. Façade features usually include a porch and one or more bay windows. The door is located to one side. Ornamental variety in the wood and shingle siding is common. The house is similar to the Pioneer and Decorated Pioneer, but it has broader proportions and more interior space. A number of Classic Frames often appear side by side along the street, usually with minor variants in window shape, porches and decorative detailing.

- (e) **Edwardian Builder**
This style was popular between 1900-1910, and used on various building forms. It's characterized by a steep roof and large porch, narrow bevelled wood siding or cedar shingle cladding, plain classical-inspired details such as small eaves brackets or dentils mouldings, porch column capitals, pediment roof forms, multi-paned or diamond-patterned windows; and stone/brick or porch supports or foundations not commonly used.
- (f) **Pioneer**
These are modest houses usually 1 ½ (but sometimes 2 or 2 ½) storeys high with a front gabled roof facing the street containing the entrance door and perhaps a simple porch or veranda. Windows are usually plain, but a bay window may be situated beside the door or on the second floor. Proportions are tall and narrow. The houses are shiplap or narrow clapboard siding, the latter becoming prevalent around 1900. Corner boards and window trim are usually plain 25 mm x 150 mm (1 x 6 inch) boards, and windows are double-hung with two or four panes in each sash. A shed-roof kitchen is common at the rear. Basements are rare.
- (g) **Decorated Pioneer**
Similar to Pioneer houses, but are more elaborate because of the addition of wood ornamentation at the gable ends, on porches, and for door and window detail. The fretwork – often called “gingerbread” – was created with the fret saw or the jig saw. Porch posts were turned with the lathe and chamfered. These dwellings often use contrasting patterns of wood siding and shingles, and scalloped and lozenge-shaped shingles appear frequently.
- (h) **English Builder**
The English Builder style began to be built in the late 20's. It was an economical version of the more elaborate English Arts and Crafts or Tudor revival styles popular for estates. Characteristics are step cross-gable main roof, with one or more large, steep, front-facing gables, usually asymmetrically placed; very small front porch; stucco cladding; and limited detailing (plain fascias and window frames), leaded windows; sometimes small pointed arches above windows, doors etc.
- (i) **Pioneer Cottage**
The Pioneer Cottage is a small dwelling, usually one storey high on a raised roof, and sometimes having a dormer window illuminating a bedroom in the attic space. They were frequently built in groups, and intact clusters have a row of them closely sited along the street. More elaborate versions may have a porch with classical columns and eaves brackets, but simpler ones have little ornament.
- (j) **Germanic Cottage (also called Eastern Cottage)**
This style began to be used in the late 20's. Characteristics include small, 1 ½ storey form, with shallow-pitched end-gable roof, usually chamfered, stucco cladding, very small front porch, and detailing was limited: plain fascias and window frames, small window panes.

Photos of Character Buildings

Pre-1940's Character Houses: 1 to 1 ½ Storey Bungalow, Cottage and Pioneer Styles and their variants



Pre-1940's Character Houses: 1 to 2 storey Classic frame houses and variations

