



POLICY REPORT  
DEVELOPMENT AND BUILDING

Report Date: July 11, 2017  
Contact: Karen Hoesé  
Contact No.: 604.871.6403  
RTS No.: 12109  
VanRIMS No.: 08-2000-20  
Meeting Date: July 25, 2017

TO: Vancouver City Council  
FROM: General Manager of Planning, Urban Design and Sustainability  
SUBJECT: False Creek Flats Plan Implementation: Policy and By-law Amendments

***RECOMMENDATION***

- A. THAT the General Manager of Planning, Urban Design and Sustainability be instructed to make application to amend the Zoning and Development By-law generally in accordance with Appendix B, to achieve the following:
- (i) to provide a definition for "Bulk Data Storage" in Section 2, to make consequential amendments in Sections 9 and 11 reflecting the creation of a new FC-2 District Schedule, and to amend Schedule F for Amenity Share Costs for I-3 and FC-2;
  - (ii) to repeal and enact a new I-2 District Schedule;
  - (iii) to repeal and enact a new I-3 District Schedule;
  - (iv) to repeal and enact a new IC-3 District Schedule;
  - (v) to repeal and enact a new MC-1 and MC-2 Districts Schedule; and
  - (vi) to enact a new FC-2 District Schedule;

AND THAT the application be referred to a Public Hearing;

FURTHER THAT the Director of Legal Services be instructed to prepare the necessary by-laws, generally in accordance with Appendix B, for consideration at the Public Hearing.

AND FURTHER THAT the following recommendations below, B through H, be referred to Public Hearing for consideration along with A above.

- B. THAT Council rescind the *False Creek Flats Rezoning Policy: Additional General Office Use in "High Technology" Districts* (adopted April 7, 2009), except that staff be directed to continue to process any active rezoning applications in the policy area.
- C. THAT Council approve the *Rezoning Policy and Guidelines for the False Creek Flats*, as contained in Appendix A.
- D. THAT, if the application to amend the Zoning and Development By-law is referred to Public Hearing, the General Manager of Planning, Urban Design and Sustainability be instructed to make application to amend the Regional Context Statement Official Development Plan By-law generally in accordance with Appendix D;

AND THAT the Director of Legal Services be instructed to prepare the necessary by-law for consideration at the Public Hearing.

- E. THAT, if the application to amend the Zoning and Development By-law is referred to Public Hearing, then an application to amend Schedule E of the Sign By-law to establish regulations for the new FC-2 District Schedule, generally as set out in Appendix C , be referred to the same Public Hearing;

AND THAT the Director of Legal Services be instructed to prepare the necessary by-law for consideration at the Public Hearing.

- F. THAT, subject to approval of the amendments to the Zoning and Development By-law, the Noise Control By-law be amended generally in accordance with Appendix C;

AND THAT the Director of Legal Services be instructed to bring forward the amendment to the Noise Control By-law at the time of enactment of the amendments to the Zoning and Development By-law.

- G. THAT, subject to approval of the amendments to the Zoning and Development By-law, the Subdivision By-law be amended generally in accordance with Appendix C;

AND THAT the Director of Legal Services be instructed to bring forward the amendment to the Subdivision By-law at the time of enactment of the amendments to the Zoning and Development By-law.

- H. THAT, subject to approval of the amendments to the Zoning and Development By-law, the General Manager of Planning, Urban Design and Sustainability be instructed to bring forward the following for Council adoption at the time of enactment of the amending by-law:

- (i) amendments to the *Brewery Creek IC-3, C-3A, C-2C and RM-4/4N Guidelines*, as contained in Appendix E;
- (ii) amendments to the *Micro Dwelling Policies and Guidelines*, as contained in Appendix F;
- (iii) amendments to the *MC-1 and MC-2 Guidelines for Cedar Cottage, Hudson Street and East Hastings (Clark to Semlin) Areas*, as contained in Appendix G;
- (iv) amendments to the *East False Creek FC-1 Guidelines*, as contained in Appendix H;
- (v) new *False Creek Flats Urban Design Policies and Guidelines for I-2 and I-3*, as contained in Appendix I;
- (vi) new *False Creek Flats Urban Design Policies and Guidelines for IC-3 (Sub-area A)*, as contained in Appendix J; and
- (vii) new *False Creek Flats Urban Design and Development Policies and Guidelines for FC-2*, as contained in Appendix K.

## REPORT SUMMARY

The False Creek Flats Area Plan (the “Plan”) approved by Council in May 2017, focuses on intensifying employment opportunities in this strategically located area of the City. The plan provides a clear yet flexible framework to guide future growth and change to support a thriving and evolving economy over the next 30 years. As part of the implementation actions outlined in the Plan, the purpose of this report is to bring forward the zoning changes, consequential amendments and accompanying development policies and guidelines needed to manage future development. The proposed provisions are consistent with the Plan and are essential for delivering the proposed new employment spaces and housing.

The primary objectives of the district schedules, amendments, policies and guidelines are to:

- Intensify employment density in well-served transit locations;
- Retain and intensify core industrial economy serving lands;
- Support a full spectrum of industrial and economic users, from start-up to head-office;
- Develop appropriate bylaws that support innovative economies;
- Encourage amenity contributions to support economic enabling activities;
- Enable a diverse and interesting landscape that supports active retail and restaurants with goods and services intended for local workers, students and those using the area as an active transportation corridor;
- Provide clarity on future development uses, heights and densities;
- Introduce rezoning opportunities for key character and historic buildings to anchor public life and activity around unique and interesting places; and
- Introduce and intensify residential opportunities aligned with local and regional employment lands policy.

## ***COUNCIL AUTHORITY/PREVIOUS DECISIONS***

Relevant Council policies include:

- False Creek Flats Local Area Plan (2017)
- Flats Economic Development Strategy (2017)
- Regional Context Statement Official Development Plan (2013)
- Vancouver Economic Action Strategy (2011)
- Metro Core Jobs and Economy Land Use Plan (2007)
- Industrial Lands Policy (1995)
- Greenest City Action Plan (2011)
- Transportation Plan 2040 (2012)
- Culture Plan (2008)
- Vancouver Food Strategy (2013)
- Healthy City Strategy 2014-2025 (2014)
- Vancouver Neighbourhood Energy Strategy (2012)

## ***CITY MANAGER'S/GENERAL MANAGER'S COMMENTS***

The General Manager of Planning, Urban Design and Sustainability recommends approval of the foregoing. On May 17, 2017 Council approved the False Creek Flats plan to unlock the economic potential of this critical location in our city. The amended bylaws retain a core industrial focus in the east and facilitate the growing tech and innovation economy cluster in the west. The Urban Design Guidelines and development policies provide a framework for delivering a form of development that supports the broader economic vision. While the Flats is predominately focused on the delivery of appropriate workspaces, where possible the proposed zoning changes and amendments in this report are aimed at delivering new rental housing opportunities for the students and employees who will drive Vancouver's economic growth into the future. This aligns with the *Vancouver Housing and Homelessness Strategy Reset - Housing Vancouver Emerging Directions* that included immediate actions to address the escalating housing affordability crisis.

## ***REPORT***

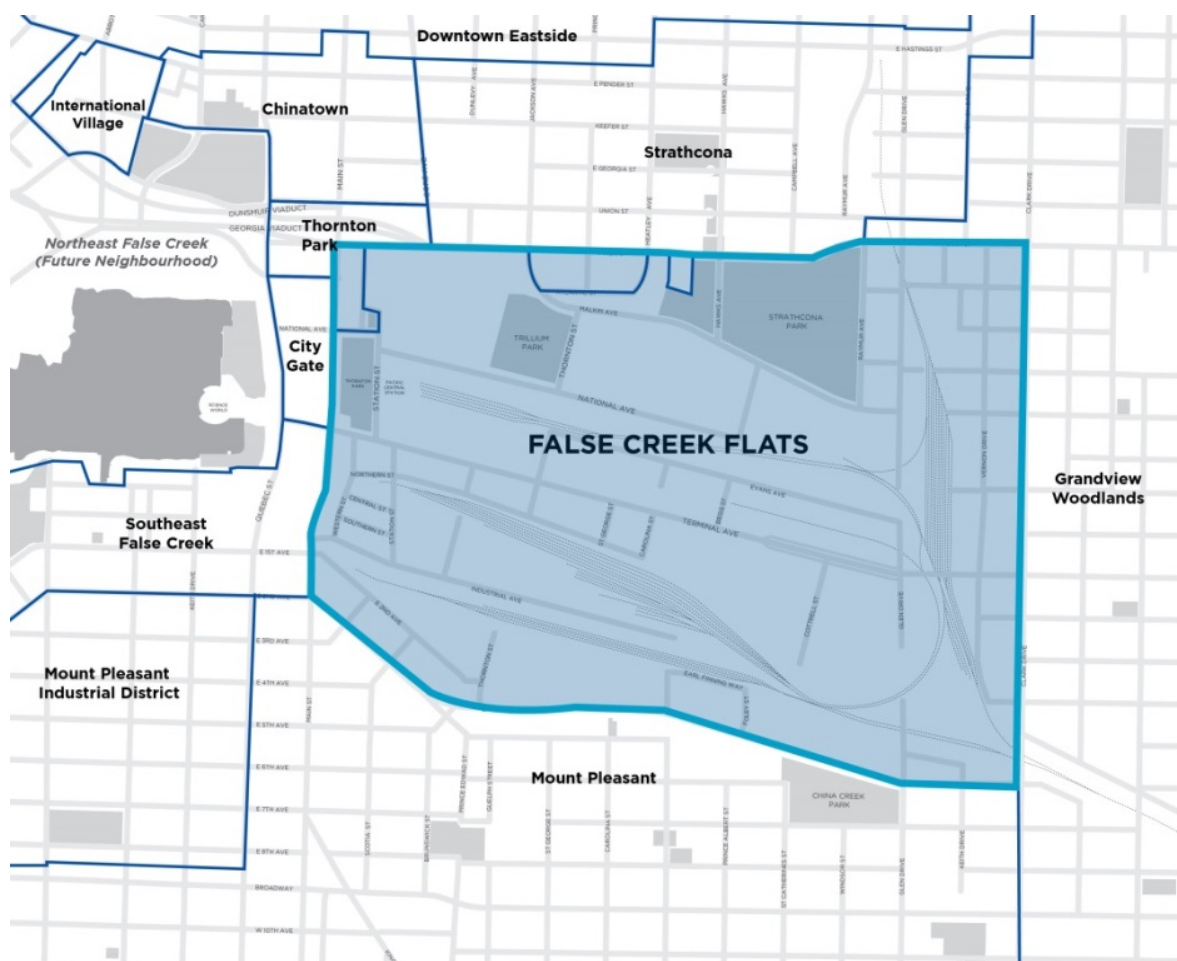
### ***Background/Context***

The Plan was approved with the intent of supporting existing industrial businesses, encouraging employment intensification, and establishing a well-functioning and unique environment to support a thriving innovation economy. At the time of Plan adoption, Council also received the *Flats Economic Development Strategy* (the "Strategy") prepared by Vancouver Economic Commission (VEC).

The False Creek Flats holds a significant economic position within Vancouver and its region. Comprised of over 450 acres of primarily employment land and located close to both downtown and the port, the Flats has over 600 businesses employing 8,000 people in diverse and thriving sectors of the local economy. Situated just east of the downtown peninsula, the area is well served by rapid transit and surrounded by residential neighbourhoods including Chinatown and Strathcona to the north; Grandview Woodland to the east; Mount Pleasant to



the south; and Southeast False Creek, City Gate and the future Northeast False Creek neighbourhood to the west (Figure 1).



*Figure 1: False Creek Flats Planning Area*

To achieve the long term vision for the False Creek Flats, the Plan focuses on five key actions for unlocking economic potential:

- establishing the **programs** to assist and grow local and strategic economic sectors;
- creating flexible work **spaces** to meet the needs of current and future businesses;
- developing a network of public **places** for employees to meet and collaborate;
- building the **connections** to link businesses to one another and the surrounding neighbourhoods; and
- creating a healthy and resilient **environment** that improves the area while addressing challenges of climate change and seismic vulnerability.

The Plan takes its cue from its designations within the Metro Vancouver Regional Growth Strategy, and focuses on two primary economic approaches (see Figure 2 for a summary of key directions). In the eastern half of the area, the Plan seeks to secure the presence of

industrial land to serve base economy and back-of-house city serving functions. It also explores industrial employment intensification with new and emerging industrial-office uses in the better transit served segment of industrial land along Terminal Avenue. On the western and southern edges, in the areas well served by transit, the Plan seeks to intensify employment.

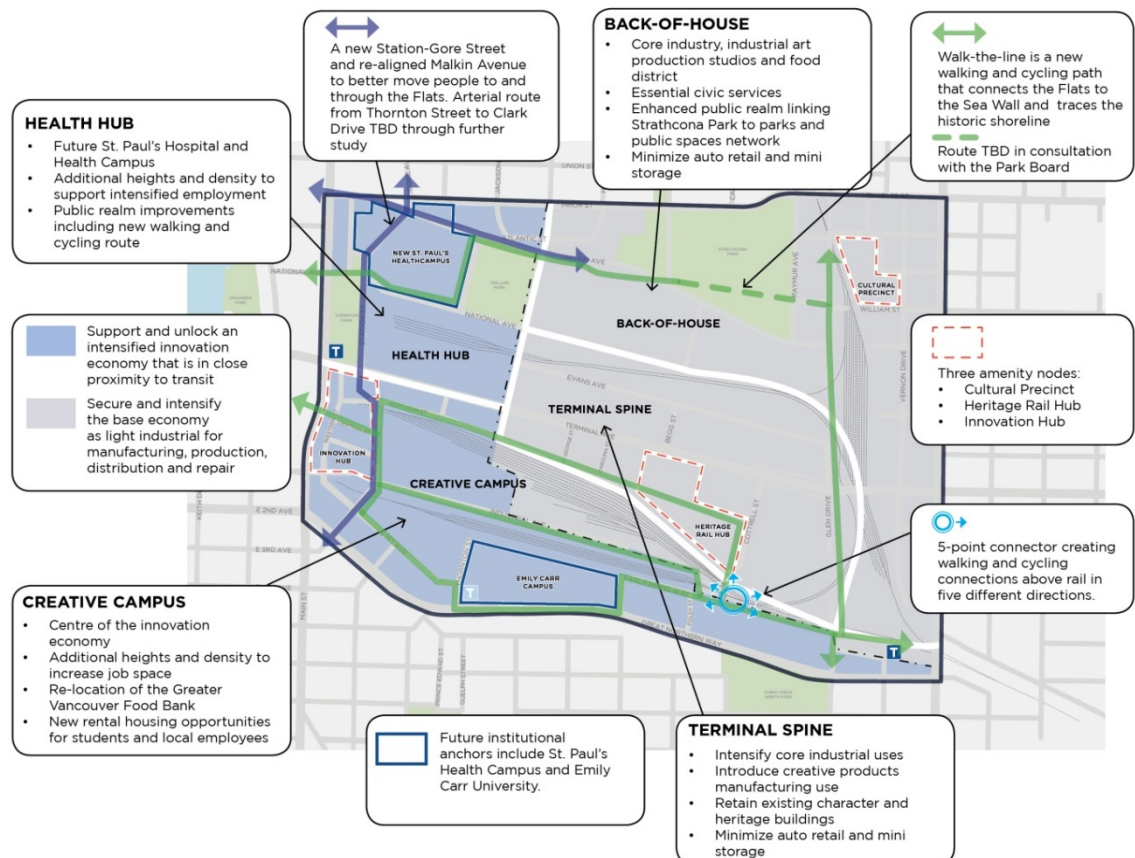


Figure 2: False Creek Flats Local Area Plan: Summary of Key Directions

A Public Benefits Strategy was also approved by Council, setting out priorities for public amenities and infrastructure to support existing and future employment space in this area, and to create a complete and liveable neighbourhood.

This report focuses on the implementation of the Council-approved policies in the Plan and Strategy as it pertains to the following policies and amendments to the Zoning and Development By-law:

- Rescinding of the False Creek Flats Rezoning Policy (2009) and the creation of a new Rezoning Policy and Guidelines for the False Creek Flats (2017)
- Amending by-law to the I-2 District Schedule;
- Amending by-law to the I-3 District Schedule;
- Amending by-law to the IC-3 District Schedule;
- Amending by-law to the MC-1 and MC-2 Districts Schedule;

- Amendments to Section 9 and Section 11 of the Zoning Districts and General Regulations;
- Amendment to Schedule F for Affordable Housing and Amenity Share Costs;
- Creation of a new FC-2 District Schedule.

To enable and support these changes and to further advance the policies outlined in the False Creek Flats Area Plan, the following amendments are proposed to the following documents:

- Regional Context Statement (RCS)
- Consequential amendments to the Sign By-law, the Noise By-law and the Subdivision By-law;
- Brewery Creek IC-3, C-3A, C-2C and RM -4/4N Guidelines
- Micro Dwelling Policies and Guidelines;
- MC-1 and MC-2 Guidelines;
- East False Creek FC-1 Guidelines;

In addition, three new policies and guidelines are proposed:

- False Creek Flats Urban Design Policies and Guidelines for I-2 and I-3;
- False Creek Flats Urban Design Policies and Guidelines for IC-3 (Sub Area A); and
- False Creek Flats Urban Design and Development Policies and Guidelines for FC-2; the Innovation Hub.

### *Strategic Analysis*

These policy proposals reflect a City-led approach to zoning changes that will rely less on rezoning for the implementation of the policies, improve certainty in the land economics, and provide better clarity to the development community, local businesses and surrounding neighbourhoods. Various approaches have been taken to deliver on the intent of the Plan including the introduction and deployment of new use definitions, leveraging higher value uses to secure less valuable but essential industrial spaces, introducing a structure to encourage contribution of amenity shares towards the public benefits strategy in exchange for additional density, introducing and encouraging active and interesting ground floor uses to animate key routes, establishing the various district schedules to support these initiatives, establishing design and development policy guidelines to guide growth, as well as a new rezoning policy for a select number of strategic sites.

### New Uses.

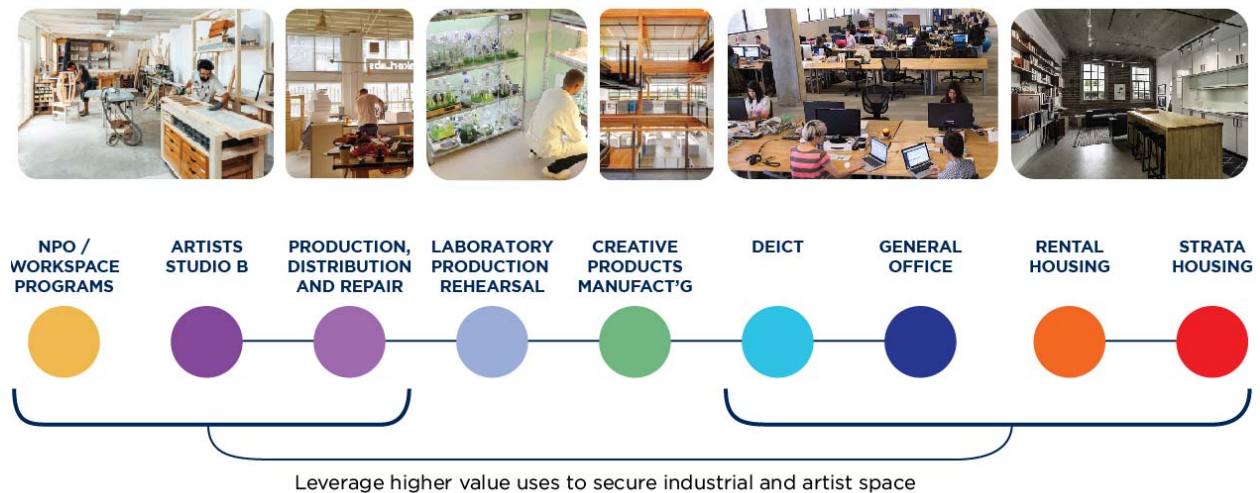
Building off of recent Council adoption of economy supporting policy in Mount Pleasant and Railtown, this Plan deploys the new uses identified in those policies to support a diverse and flexible economic future in the Flats, including:

- Digital Entertainment and Information Communication technology (DEICT): This updated Technology Office use was defined in Mount Pleasant. This use is proposed in the False Creek Flats as an option throughout higher density zones and replaces the previous use definition of High Tech Office.
- Bulk Data Storage: As a subset of DEICT, the Plan introduces a new Bulk Data Storage definition to allow this 'storage' use throughout the Flats, including the back-of-house industrial, while limiting its presence on the ground floor to support active and interesting street fronting activities.

- Creative Product Manufacturing (CPM): In Railtown, this new manufacturing use definition was introduced, providing space for new age design, prototyping, production and manufacturing as more 'office-like' industrial uses. Many zones in the Flats will accommodate a varying amount of this type of use, thereby adding an additional level of flexibility for an intensified and vibrant economy.

### Leveraging High Value Uses

Secured in policy and long serving as an industrial district in Vancouver, the False Creek Flats has retained relatively low land values compared to surrounding residential and office districts. With land values preserved through more restrictive uses, the area presents a real opportunity to leverage strategic higher value uses for the delivery of the needed spaces for light industrial and artist spaces identified through the planning process for the Plan and the business engagement conducted by the Vancouver Economic Commission (VEC). This approach sets a minimum deliverable for identified light industrial and artist uses, which once achieved allows for additional densities of higher value uses.

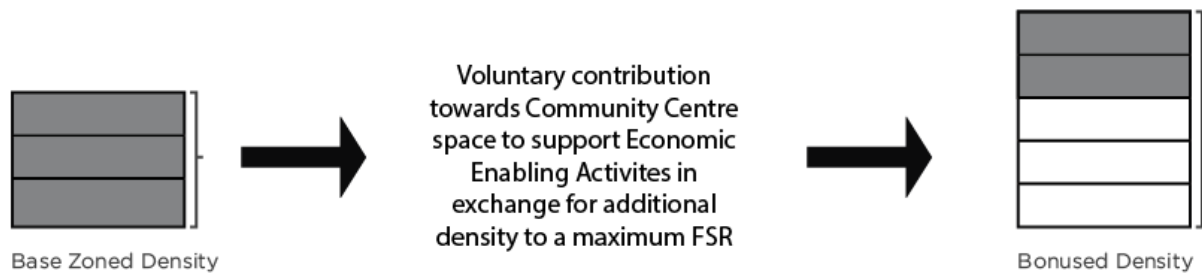


*Figure 3: Incentivizing industrial space through higher value uses*

### Density Bonuses and Amenity Shares

The Plan identified a real need for the delivery of affordable work spaces to support skills development, arts production and growth in the local industrial economy. The space needs include shared tools, facilities, job training and community work spaces. To enable delivery of these community centre spaces that support economic enabling activities, the zoning changes and policies propose three separate approaches, namely:

- A requirement for space in the Urban Design and Development Policies and Guidelines for the city-owned properties of the Innovation Hub (FC-2 Sub Areas B, C, and D),
- Creation of Community Centre space to support Economic Enabling Activities through the Rezoning Policy for the Amenity Rich Public Nodes (Areas A, B and C),
- Contributions towards acquisition or development of new Community Centre space through a bonus density structure in two of the zones, I-3 Sub Area A, and FC-2 Sub Area E.



*Figure 4: Bonus density through amenity share contributions*

The funding from this process will go towards the delivery of Community Centre spaces to provide accessible resources and facilities for skills training and supports to grow the local industrial economy.

#### Activating the Ground Floor with Interesting Light Industrial Uses.

With the adoption of the Plan, Council directed staff to:

*FURTHER THAT when preparing District Schedules arising from approval of the False Creek Flats Plan, staff provide language in the District Schedules that would allow for goods and services intended for local workers, students and those using the area as an active transportation corridor.*

To address this direction a differentiated approach has been deployed throughout the Flats:

- Through the zoning changes for the Innovation Hub and the Rezoning Policy for the remaining Amenity Rich Public Nodes identified in the Plan, the policy supports restaurant and other service opportunities to focus public life around these key nodes.
- In the higher intensity districts, the introduction of restaurant uses and limited retail uses has been included to provide additional services.
- In addition, the policies and zoning proposals encourage certain retail uses and restaurants, along with ground floor industrial space for artists and other smaller boutique manufacturers. The district schedules identify industrial uses that complement the public life of the area, including food, arts and boutique maker spaces which lend themselves well to take-up the 1/3 accessory retail available to these ground oriented industrial users.

By combining the above approaches, the Flats will not only achieve the needed amenities and services to support the visitors, local employees and students, but it will also invite the public into the interesting and engaging ground floor activities, celebrating the various businesses in the area.



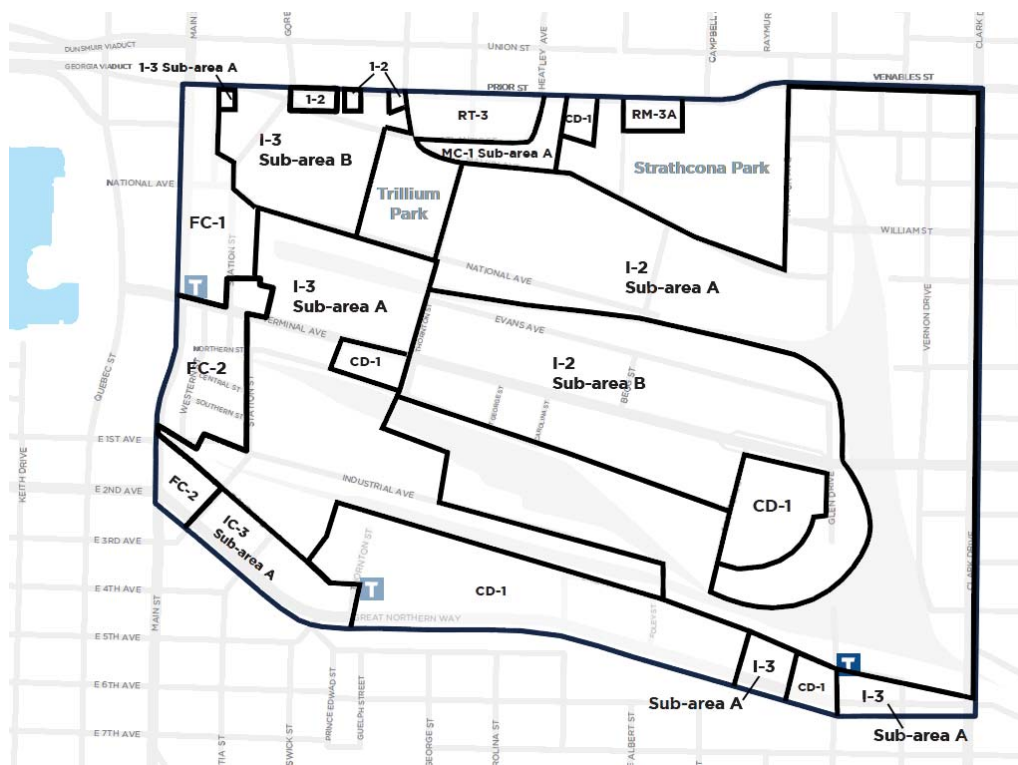
### New and Amended District Schedules and Zoning Changes

The introduction of one new District Schedule and amendments to four District Schedules with associated policies and guidelines are being proposed to establish clarity in the zoning for the benefit of all external stakeholders. This approach provides several advantages and is intended to encourage the development of work space, employment growth and rental housing over the 30 year life of the Plan, thereby achieving:

- Certainty for applicants and surrounding neighbourhoods;
- A streamlined development process; and
- Reduced timelines, cost and risk.

While certainty for external stakeholders is increased through a zoned approach, the City does limit its ability to negotiate and secure infrastructure improvements resulting from projected growth that might otherwise be achieved through a rezoning process. To address this concern, staff have calculated the impacts of the proposed growth on existing and future infrastructure needs and factored that into the Public Benefits Strategy for the False Creek Flats. In addition, where more substantial departures from existing policy are anticipated, and where more uncertainty exists, this report recommends three sites to support a negotiated rezoning.

The new False Creek Flats zoning map (Figure 5 below) depicts the zoning for the False Creek Flats, and is described in detail below. The various District Schedules, Policies and Guidelines can be referred to in the appendices.



*Figure 5: New False Creek Flats Zoning Map*

## I-2 District Schedule

This report brings forward amendments to the I-2 District Schedule to establish two new sub-areas within the False Creek Flats (Sub Areas A and B). These new sub-areas will focus on intensifying the job density on these centrally located lands while taking a slight different approach to the allocation of permitted uses, floor area and height in Sub Area B.

For both of these new sub-areas the intent of this schedule remains *"to permit industrial and other uses that are generally incompatible with residential land use but are beneficial in that they provide industrial and service employment opportunities or serve a useful or necessary function in the city"*. Both of the sub areas of the I-2 districts in the Flats introduce the ability to accommodate limited DEICT, and a full density of Artist Studio B.

Neither sub-area will permit mini self-storage or gasoline stations, while sub area A will no longer permit Auto Retail as a use. Auto Retail may still be permitted in sub area B, however in order to support future employment intensity an additional 2.0 FSR of other uses including a minimum of 1.0 FSR of light industrial or Artist Studio B will be required on the same site.

While the height and density in sub-area A remains consistent with the remainder of I-2, sub-area B provides additional height and density to be considered up to 36.5 m (120 feet) and 4.0 FSR. In addition to these changes, this sub-area also introduces significant Creative Products Manufacturing with the delivery of a minimum of 1.0 FSR of Artist Studio B or light industrial uses.

While most of the changes to the district are limited to the new False Creek Flats sub-areas, the addition of the new use of Bulk Data Storage has been included across the I-2 district as this use has previously been approved as a 'similar to' use.

Outside the planning area (bounded by Main Street, Clark Drive, Prior/Venables and Great Northern Way) this district will remain unchanged. Sites with a frontage on Prior Street west of Malkin are not included as part of sub-area A or B.

## I-3 District Schedule

The intent of this Schedule is to develop a highly flexible and employment intensive district that supports the growth of the innovation economy through a broad spectrum of employment uses. Two sub areas are proposed within the amended district schedule. Sub Area A comprises the majority of properties located to the south of National Avenue and east of Station Street. Within this sub area two approaches are taken to implement the vision of the Plan. The first approach introduces a bonus density that can be achieved through an amenity contribution towards the Community Centre space to support Economic Enabling Activities. This provision will allow developments in this area to achieve an additional 2.0 FSR beyond the base zoning of 3.0 FSR to a maximum of 5.0 FSR.

The second approach proposes to leverage higher value uses to secure and establish ground floor light industrial or artist uses. While the base zoning will retain the current highest value of 3.0 FSR of Digital Entertainment and Information Communication Technology (DEICT) (of which up to 1 FSR may be General Office), the amended zoning will support an increase of General Office from 1.0 FSR to 4.0 FSR through the provision of 1.0 FSR of Artist Studio B or identified/listed light industrial uses.

There are no changes proposed to the existing zoning in Sub Area B, which incorporates the proposed future site for a new St Paul's Hospital. An application for rezoning could be submitted in the coming months at this location, aligned with the recently approved New St. Paul's Hospital and Health Campus Policy Statement.

### IC-3 District Schedule

Building off of the existing IC-3 District Schedule, the intent in the new sub-area of IC-3, between First and Second Avenues, remains to *"permit a mix of light industrial, live arts and theatre, residential and related uses that are generally compatible with adjoining residential and commercial districts"*. The proposed changes introduce a new sub-area A that would permit additional height and density for projects including 100% market rental or 20% social housing, helping to deliver affordable workforce and student housing in this strategic location.

### MC-1 and MC-2 District Schedule

The area of MC-1 bounded by Malkin Avenue, Atlantic Street and Prior Street as Sub Area A allows conditional height and uses to achieve new secured market rental housing and to provide a transition between the Strathcona residential area north of Atlantic and Prior streets and the employment-focused area of the False Creek Flats to the south. Originally zoned I-2 this change will see a reduction in both available density (from 3.0 FSR to 2.5 FSR) and height (from 100ft (30.5m) to 45ft (13.8m)). In addition, secured rental housing is introduced, which will provide a more neighbourly built form fronting Atlantic Street with the lower impact building form. Industrial uses fronting onto Malkin Avenue will be encouraged below the rental housing.

### FC-2 District Schedule

The FC-2 district schedule is intended to serve as a thriving economic anchor for the innovation economy that permits a high-density mixed-use neighbourhood, including some residential and compatible industrial uses, together with job space to support a broad spectrum of economic users. This new district will link the Health Hub in the North to the Creative Campus to the south, including a number of sites along a proposed Gore-Station-Lorne complete street. Uses could include health science and research, digital and creative economies, light industrial and production spaces, food economy uses, arts production and a number of other uses to support public life in this district. The FC-2 District consists of five unique sub-areas, as illustrated in Figure 6, and includes residential uses to support the Plan in sub-areas B, C and E. The five sub areas will achieve the following:

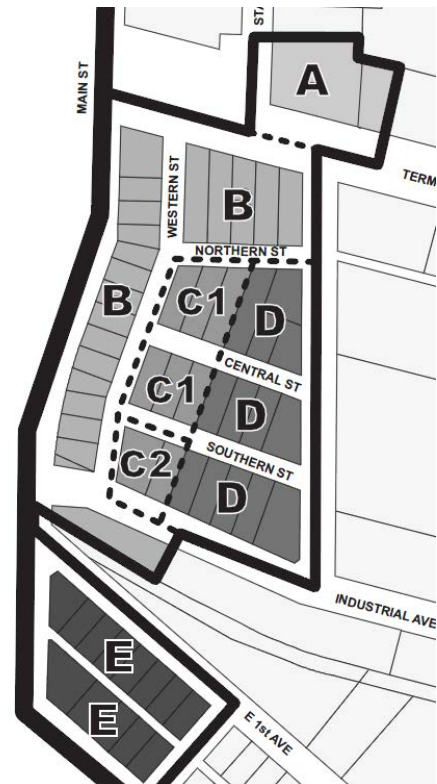


Figure 6: FC-2 Sub Area Map



*FC-2: Sub Area A:*

Located next to transit and along the Station-Gore Street connection between Railtown and Mount Pleasant, the intent is to encourage additional employment opportunities to support and contribute to the success of the new St. Paul's Hospital relocation, while also recognizing the important role that this area can play in framing the historic Pacific Central Station. Height in this sub-area will be increased to the underside of View Corridor 22 (approximately 51m) and the employment density will be increased to 7.0 FSR, with limitations on the ground floor uses to support the aspirations of the plan for an active and interesting ground floor. Uses in this sub-area can include, but are not limited to General Offices (including Digital Entertainment and Information Communication Technology); Creative Products Manufacturing; restaurants; and other commercial and Retail Uses.

*FC-2: Sub Area B:*

Located adjacent to Main Street and a portion of Terminal Avenue, this sub area will encourage a mix of commercial, light industrial, and artist uses, with significant residential above. Heights in this sub-area will be permitted up to View Corridor 22, with densities up to 6.5 FSR.

*FC-2: Sub Area C:*

Situated in the central portion of the future Innovation Hub, this sub area will provide mixed uses linked to artist studios, design, production, retail and restaurant amenities, as well non-market housing. The sub-area is divided into two portions for the purpose of allocated different height and density, with sub area C1 limited to 18.3m (60ft) and 2.5 FSR and C2 limited to the height of View Corridor 22 and 6.5 FSR. Uses in this district will include a variety of commercial, retail, service, production, artist and food industries and will seek active and interesting ground floors that encourage them to spill out into the public spaces and places.

*FC-2: Sub Area D:*

Supporting larger floorplates and heights, this sub area will accommodate a variety of higher density employment uses including DEICT, General Office, Creative Products Manufacturing and Laboratory among others. These and other employment uses will be encouraged above a ground floor of light industrial and artist production space. These ground floors will also support active uses that could include accessory retail and restaurant uses among others.

*FC-2: Sub Area E:*

Located on the southern end of new district, the intent of this new sub area is to create a diverse and complete mixed development with rental residential above light industrial, office and other economic activities. By delivering the 3.0 FSR of employment density including 1.0 FSR of light industrial or artist space, developments can achieve an additional 3.5 FSR of rental residential or social housing through the offering of an amenity share contribution towards Community Centre space to support the Economic Enabling Activities.

### Guidelines and Development Policies

A number of policy and guideline documents have been prepared to assist managing development towards implementing the Plan, including:

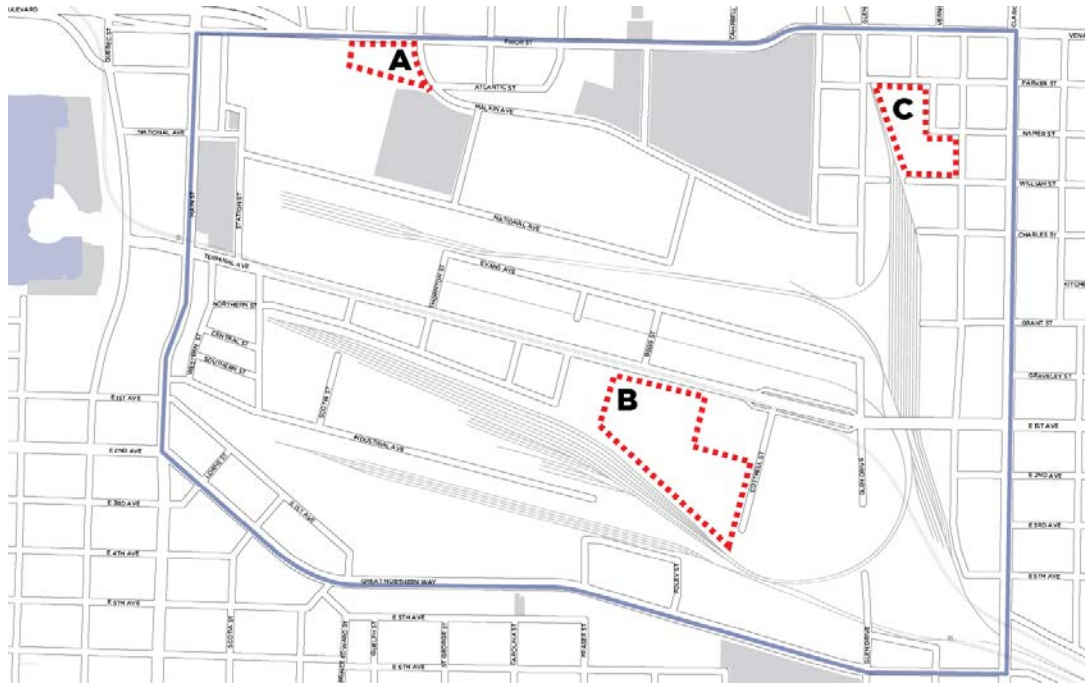
- False Creek Flats Urban Design Policies and Guidelines for I-2 and I-3;
- False Creek Flats Urban Design and Development Policies for FC-2 - the Innovation Hub;
- False Creek Flats Urban Design Policies and Guidelines for IC-3;
- Revised MC-1 and MC-2 Guidelines for Cedar Cottage, Hudson Street, East Hastings (Clark to Semlin) and False Creek Flats (Malkin-Atlantic-Prior) Areas.

Applicants should consult these Guidelines in conjunction with the appropriate schedules and the False Creek Flats Plan when seeking approval for conditional uses or discretionary variations in regulations.

### Rezoning Policy

Included in this report is a Rezoning Policy and Guidelines for the three specific sites; rezoning area A at the junction of Prior Street and Malkin Avenue; rezoning area B at the Railyard s Heritage Hub and, rezoning area C at the Cultural Hub (refer to Figure 7) to provide rezoning guidance, as follows:

- On Prior Street and Malkin Avenue (rezoning area A) this policy will support the introduction of secured market rental housing in expectation of a realigned arterial road and a need to transition from the future Health Campus to the Strathcona neighbourhood. New rental residential will be achieved with the contribution of key road rights of way and quality design. Public benefit contributions on this site would also be expected to support the vision of the Plan.
- At the Railyards Heritage Hub (rezoning area B) and Cultural Hub (rezoning area C) the rezoning policy provides the criteria to support additional height, density, and employment uses to establish these nodes around key character buildings, as key pieces of the public network in the Plan. This policy will be used to assess proposals that contribute to the vision of the Plan, while providing additional density and value to offset the cost of the contribution of these critical pieces of the public life and public spaces. Both of these nodes would include significant open spaces, provide enhanced sustainability features and green infrastructure, as well as contributing spaces to support non-profits or other key economic sector users.



**Figure 7: Rezoning Policy Areas in FCF. A: Residential/Industrial Transition; B: The Railyards Heritage Hub; and C: the Cultural Hub.**

### Regional Context Statement

This report includes provision for a By-law to be prepared to amend the Regional Context Statement (RCS) Official Development Plan to enable the proposed addition of a limited amount of housing on three sites located on the edge of the planning area. The changes to the RCS will not exceed the provisions of the Regional Growth and Development Statement and discussions have been initiated with Metro Vancouver to share these amendments for their consideration, subject to approval of Council.

### *Financial Analysis*

The proposed new district schedule and amendments to four existing districts will minimize the need for individual site-specific rezoning applications. This will streamline the development process, provide certainty for the community and for future applicants, and reduce the costs and risk of development. The new zones re-affirm the role of the area as a critical economic zone in the city and provide incentives to deliver a broad spectrum of economic opportunities.

**Development Cost Levies** — Development Cost Levies (DCL's) collected from development help pay for facilities made necessary by growth including parks, childcare facilities, replacement (social/non-profit) housing and engineering infrastructure. Much of the plan area is located within the False Creek Flats layered DCL District, where area specific DCLs apply in addition to City-Wide DCLs.

**Inclusionary Zoning** - To achieve many of the objectives of the plan, the zoning has been structured to incentivize the delivery of desired uses through additional density or uses of higher value. In the IC-3, the new sub area allows additional height and density for secured market rental or social housing. In the I-3, FC-2 (E) and I-2B, additional density of higher value uses can be achieved through the delivery of 1.0 FSR of vulnerable light industrial space.

**Rezoning Policy** – The rezoning policy seeks to deliver a number of public amenities through additional densities and higher value employment uses on two of the sites and rental residential on the third of these sites. To help deliver on the Public Benefits Strategy of the plan, these sites will contribute CACs towards various items including, but not limited to, the retention of character buildings, the delivery of plaza and public open spaces, the delivery of Community Centre space to support economic enabling activities.

**Density Bonus Zone Contribution** – A density bonus provision has been included in two districts to provide an opportunity for amenity share contributions to be offered in exchange for additional density. Two district schedules contain a density bonus zone contribution which would be offered as follows:

- In the I-3 sub area A, the rate of \$107.63 per square metre (\$10 per square foot) for additional density between 3.0 FSR and 5.0 FSR;
- In sub area E of FC-2, a rate of \$1,291.67 per square metre (\$120 per square foot) for additional density between 3.0 FSR and 6.5 FSR.

These contributions from these areas will be directed towards the provision of Community Centre space to support economic enabling activities serving the False Creek Flats. The Community Centres are expected to build on innovative partnerships with senior levels of government, charities, and non-profit organizations and will require strategic alignment and coordination with partner entities.

## ***CONCLUSION***

This report is directly linked to implementation of the recently approved False Creek Flats Plan and recommends updating the Zoning and Development By-law to amend and create new zones in the planning area. These changes align with the Council priorities and directives aimed at retaining and supporting existing industrial uses, along with the growth of the innovation economy. In addition the proposed policies and guidelines place a focus on digital and technology uses, and the strategic addition of new housing to support future economic growth in this key area of the city. It is believed these updates to the regulatory framework will enhance economic diversity and employment opportunities in this vital industrial cluster and the broader Vancouver economy.

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## Appendix A

# REZONING POLICY AND GUIDELINES FOR THE FALSE CREEK FLATS

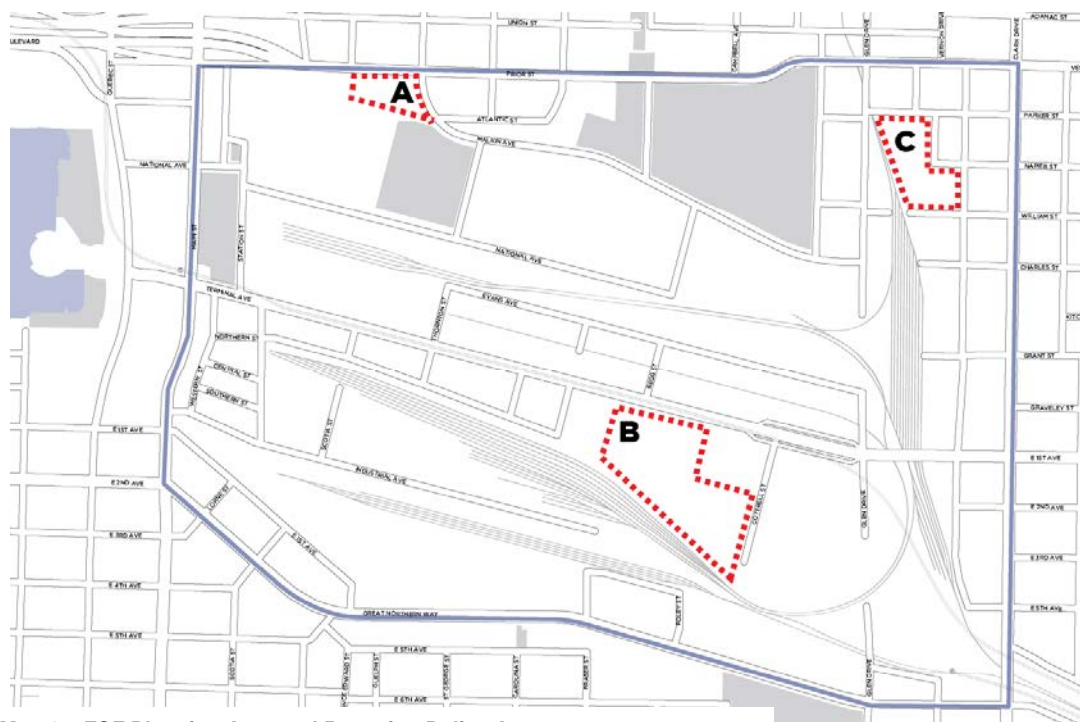
Adopted by City Council on [date of adoption]

## 1 Application and Intent

The intent of this policy is to provide guidance on rezonings in the False Creek Flats (FCF) related to the implementation of development directions and policies contained within the **False Creek Flats Plan** (available online at [vancouver.ca/falsecreekflats](http://vancouver.ca/falsecreekflats)).

The rezoning policy and guidelines applies to three specific sites. One is intended to respond to the recommended realignment of the Prior and Venables replacement arterial and act as a transition from the future St. Paul's Hospital campus to the residential neighbourhood in Strathcona, while the other two sites are intended to establish 'Amenity-Rich Public Nodes' as a critical component of the public network of key places outlined in the FCF Plan (see map 1). Common features to these two locations would include the presence of plazas and public open spaces for gathering, celebration and business showcasing, unique character elements and heritage buildings, as well as the provision of space for community economic centres to support strategic segments of the economy as outlined in the plan.

Anchored around key character buildings the specific policies on heights, densities, urban design, and other requirements for the sites contained within this policy are described in these Policies and Guidelines as well as in Chapter 7 – Land Use and Built Form and Chapter 8 – Public Spaces and Public Life of the **False Creek Flats Plan**. The economic initiatives underlying the broader plan are established in Chapter 6 – Economic Development and should be reflected in future developments as well. In addition to the provisions that follow, development proposals under this policy shall adhere to the existing, applicable Council-approved plans, policies and guidelines for each site. Further, the provisions in this rezoning policy do not preclude additional requirements that will be determined during the enquiry or rezoning process.



Map 1 – FCF Planning Area and Rezoning Policy Areas

## 2 Definitions

For the purpose of this document:

**“Economic Enabling Activities”** means Community Centre space that supports economic enabling activities in the False Creek Flats. These Centres are community accessible and may include work spaces, equipment, storage, staging areas, multifunctional spaces, job training programs, rehearsal space and/or art production facilities, that are owned and/or operated by a non-profit society, non-profit co-operative association, First Nations Band Council, or a government.

**“FCF”** refers to the False Creek Flats Area as shown in Map 1.

**“Heritage Building”** means a building listed on the Vancouver Heritage Register, or could qualify for listing on the Vancouver Heritage Register.

**“Residential”** means any dwelling use identified in Section 2 of the Zoning and Development By-law.

**“Non-residential”** means any land use permitted in Official Development Plans, District Schedules, and policy documents, except residential and parking.

**“Public Benefits Strategy”** refers to Chapter 12, Public Benefits Strategy, of the False Creek Flats Plan, which identifies on- and off-site public benefits.

**“Site”** or **“Development Site”** means a contiguous, developable piece of land.

## 3 Early Review Process

Prior to submitting a written rezoning enquiry for any site in the FCF, applicants shall meet with City staff early in their concept development process. The purpose of this meeting is to review the development concept, ensure proper contextual influences are considered, identify potential community impacts and benefits that might arise from the proposal, and clarify the strategies needed to meet social, cultural, economic and urban design objectives, including massing, character and impact on public and private views.

The processing of rezoning applications that may result from this policy will include the typical review by City advisory bodies, including but not limited to the Urban Design Panel, Vancouver Heritage Commission, and other relevant committees. Depending on the nature of the proposal, additional special review may be required, and could include: presentation of proposals at the enquiry stage to the public and advisory bodies, joint committee workshops, inclusion of guest panel members on committees, etc.

## 4 Rezoning Policies

4.1 No applications for residential will be considered in the **“Railyards Heritage Hub”** (Area ‘B’ of Map 1) or the **“Cultural Hub”** (Area ‘C’ of Map 1).

4.2 In Area ‘A’ of Map 1, rezoning applications for secured market rental residential will be considered to establish a transition from the Health Hub to the residential scale of Strathcona to the north.

(a) Height: Support for height up to 100ft (30.5m).

(b) Densities: Retain density of up to 3.0 FSR

- (c) Uses: Introduction of Rental Residential in addition to the employment uses within the I-3 zone. No residential at grade shall front onto the new Malkin alignment.
- (d) Conditions for change of use: Allocation of space for the construction of a new alignment of Malkin as outlined in the False Creek Flats plan, as well as potential new north south connection from the west side of Trillium Park to Prior street.
- (e) Design consideration, including neighbourliness and sun access to the neighbouring residential district in Strathcona.
- (f) Onsite provision, or contributions towards Community Centre space to support Economic Enabling Activities, or other identified public benefits in the Public Benefits Strategy, should be considered as a part of a rezoning.

4.3 In the “**Railyard Heritage Hub**”, Area ‘B’ of Map 1, rezoning applications for additional height and density will be considered for additional employment uses.

Anchoring the amenity and public life in the Terminal Spine, is the Rail Hub. This node is centred around the former CN maintenance building (which now functions as a refurbished station for the Rocky Mountaineer rail service), an old logistics cross-docks shed – with its long loading decks and numerous bay doors – and the adjacent Canada Packers Building. These iconic character buildings anchor a unique sense of place, and combine industrial materials along a wide span of rail lines with open and expansive views to downtown and the Northshore Mountains.

The Plan provides policy support for this node to develop into a vibrant and dense collection of industrial, office, retail and service uses. A key component of the Walk-the-Line connects a series of dead-end streets, including the foot of Cottrell Street, with a walking and cycling link at the convergence point of the various rail yards. This link would connect this node to the future Millennium Broadway Line Extension, the Emily Carr University and the broader Creative Campus, and would open the area up as a key public experience of the Flats. Taking advantage of this industrial location, the Plan will seek to support a more vibrant 24/7 activity at this location encouraging gathering and public celebrations throughout the year.

- (a) Height: Support for heights up to approximately 55m.
- (b) Densities: Support for additional density to approximately 5.0 FSR.
- (c) Uses: Support for a range of non-residential uses, with a significant component of industrial, artist studio, and creative products manufacturing.
- (d) Conditions for additional height and density: Connection over rail to VCC Clark Skytrain station would be required prior to support for a rezoning at 1725 Cottrell Street (CN Railyard and Rocky Mountaineer Station).
- (e) Delivery of public spaces and plazas that support flexible public life.
- (f) Plazas and outdoor spaces should include infrastructure to support a variety of public events on site including artist displays and business showcase opportunities.
- (g) Improved rainwater management and green infrastructure should be embedded in the area and include an improved tree canopy.

- (h) Buildings that front or back onto the cycling and pedestrian connection to Cottrell should provide interesting and animated uses with the potential to spill out towards the path.
- (i) The delivery of the public spaces and amenities identified in chapter 6 would be required for a supportable rezoning as well as urban design considerations.
- (j) The retention and integration of the Heritage A Canada Packers Building, the rail repair shop (Rocky Mountaineer Station) and significant portions of the cross-docks building should be incorporated into future development and encourage public interaction with these historic buildings
- (k) New developments should be organized to establish a series of interesting views through the site that frame up iconic structural elements and expansive views to downtown and the mountains.
- (g) Onsite provision, or contributions towards Community Centre space to support Economic Enabling Activities, or other identified public benefits in the Public Benefits Strategy, should be considered as a part of a rezoning.

4.4 In the “**Culture Hub**”, Area ‘C’ of Map 1, rezoning applications will be considered to establish a permanent focal point for arts and cultural production in the City of Vancouver. With unique and interesting public spaces tucked between the historic buildings and the rail yards, this edgy district establishes a node of cultural production and celebration unique in our city. A rezoning application for additional employment uses could be considered subject to delivery of the following:

- (a) Height: Support for heights up to approximately 55 m.
- (b) Densities: Support for additional density to approximately of 5.0 FSR.
- (c) The incorporation and refurbishment of the original Restmore Manufacturing buildings.
- (d) A mix of Class A and B Artist Studio space to completely replace the approximately 15,500 sq. m of artist studio space contained in the 1000 Parker Street Studios, with a possibility of providing less space if it is transferred to the City or a non-profit organization acceptable to the City.
- (e) A minimum of 10,000 sq. m of light industrial production, distribution and repair spaces, which can include Artist Studio - Class B beyond the requirements outlined in 4.4.(d).
- (f) A small plaza of approximately 500 sq. m on the western edge of the site, that takes advantage of the sun access from the railyard and celebrates the presence and vantage points created due to the proximity of rail.
- (g) A larger plaza of approximately 1,000 sq. m connected to George Street designed to allow for expanded space for special events through temporary closure of George and Napier St.
- (h) A series of smaller public spaces and patios should be connected by a series of pedestrian pathways that connect key public places and the various buildings within the precinct.
- (i) Plazas and outdoor spaces should include infrastructure to support a variety of public events on site including artist displays and business showcase opportunities.



- (j) Improved rainwater management and green infrastructure should be embedded in the area and include an improved tree canopy.
- (k) Consideration for a potential rail expansion and reconfiguration.
- (l) Building-level connectivity for pedestrians and cyclist to the bridge structure of a potential William Street alignment, should that be the selected Prior-Venables replacement route.
- (m) Loading and industrial uses under the bridge structure, with a secondary level of public connections at the bridge deck height.
- (h) Onsite provision, or contributions towards Community Centre space to support Economic Enabling Activities, or other identified public benefits in the Public Benefits Strategy, should be considered as a part of a rezoning.

## 5 Minor Amendments to Allowable Uses

Rezoning applications may be considered in all areas for minor amendments to the uses permitted in existing zoning by-laws, provided that the amendments do not relate to height or density increases beyond what is outlined in the FCF Plan and do not contravene relevant Council-approved policies and guidelines.

## 6 Livability Impacts

Some sites in the FCF are close to areas with active industrial use, rail corridors and yards. As a result, rezoning applications adjacent to these areas should include measures to mitigate anticipated noise, safety and other related impacts from existing uses. Technical analyses, such as acoustic comfort and rail proximity studies, may be required for sites adjacent to these existing uses.

## 7 Sustainability and Neighbourhood Energy

New developments in the FCF shall be designed to include a hydronic heating system in order to easily connect to a district energy system when one becomes available. These developments will also require agreements to ensure that they connect to such a system when it is in place. Building design for connectivity and the connection agreement must be to the satisfaction of the City Engineer. For further information, please refer to the **Neighbourhood Energy Connectivity Standards - Design Guidelines** (March 2014 or later) available online at:  
<http://vancouver.ca/files/cov/neighbourhood-energy-design-guidelines.pdf>

Other Council-approved policies relating to the City's sustainability goals shall also apply, including but not limited to, the **Green Buildings Policy for Rezoning**s available online at:  
<http://former.vancouver.ca/commsvcs/guidelines/G015.pdf>

## 8 Public Benefits through Rezoning

Appropriate public benefits shall be provided by developments rezoned through this policy, typically in the form of Community Amenity Contributions (CACs) or on-site public benefits. Public benefits will be negotiated on a case-by-case basis as part of a rezoning application, according to the Council-adopted policy **Community Amenity Contributions - Through Rezoning**s, available online at:  
<http://former.vancouver.ca/commsvcs/guidelines/C025.pdf>

See Chapter 12 – Public Benefits Strategy in the False Creek Flats Plan for details on the identified public benefits for the area.

## 9 General Design Considerations

### **Unique Spaces and Places**

The diverse combination of uses and forms of development in the False Creek Flats intentionally provides for opportunities to create unique and varied places. Places which create opportunities for public engagement in a variety of distinct places are highly encouraged.

### **Views**

New development should be considerate of the impact on distant views. However as development progresses, the industrial and institutional scales and densities anticipated in False Creek Flats will have an impact on the ability to preserve these existing views. Development should therefore place a higher emphasis on the following strategies:

- (a) Provide an attractive near view. This can include a finer grained urban fabric and building modules, high-quality materials and detailing, visually permeable facades, programming for active outdoor uses and landscape elements.
- (b) Visually linking new open space to existing open space. This can serve to expand the depth of views and may be achieved with building separations and setbacks.
- (c) The form and shape of tower elements should be informed by view studies.
- (d) Site buildings to frame views towards nearby historic or iconic industrial structures and places of interest.
- (e) In sub area 'A' residential units should comply with standard Horizontal Access to Daylight requirements.

### **Topography: Floodplain**

False Creek Flats has low topographic elevations and will be at risk of flooding during large storms by the end of the century if projected sea level rise occurs. The *Flood Plain Standards and Requirements* as adopted by Vancouver City Council should be referenced early in the review process. Existing grades including street right of ways, are often one to two meters below the anticipated ground floor elevations and, a plan to raise street elevations may be considered in the future. Therefore, new development should be designed to be adaptive when incorporating flood resilient construction methods and to accommodate public realm objectives for both the current and potential future at grade conditions. Solutions should be accommodated within the property, be visually interesting, relate to the pedestrian scale, and may include increased building setbacks, internalized stairs and ramping as well as adaptable entries, loading and parking.

## Weather

In all cases, weather protection should be provided at common building entries and individual entries. Continuous weather protection should be provided along all street frontages except that, it may not be provided continuously where it can be shown the provision would interfere with well-functioning industrial uses and where pedestrian traffic is not anticipated. Explore opportunities for weather protection that can encourage use as functional outdoor workspace.

## Privacy

- (a) Privacy in relation to other dwelling units, passersby, and adjacent development is a crucial aspect of residential livability and neighbourliness.
- (b) Unit orientation, acoustic construction techniques, window placement and screening should be used to enhance privacy;
- (c) Balconies and patios should be oriented, screened or landscaped to reduce direct overlook of adjacent residential uses and other units nearby;
- (d) Habitable rooms within the developments should be oriented away from pedestrian circulation routes; and
- (e) In developments with courtyards, stacked units are encouraged to reduce privacy conflicts due to access corridors.

## Safety and Security

New development must provide a secure environment. The principles of “crime prevention through environmental design” (CPTED) should be incorporated in all new development. Some strategies include:

- (a) Maximize opportunities for natural surveillance;
- (b) Provide unobstructed and transparent sightlines to exits and destinations;
- (c) Foster territoriality and a sense of ownership;
- (d) No hiding places;
- (e) Lighting of public spaces;
- (f) Lobbies visible from the street and main entrances to buildings fronting the street;
- (g) Personal safety and security should be integral to the design of parking facilities and comply with the Off-street Parking and Loading By-law, Section 4.9.

## 9 Form of Development

Objectives in the Flats for intensified employment opportunities and well-functioning workspaces are anticipated to result in a form of development with greater densities, building heights, and floor plates. Form and massing should therefore be carefully considered with respect to other the objectives of these policies and guidelines including access to daylight on the public realm, creating engaging public spaces, building articulation, an attractive near view and finer grained urban settings.

- (a) **Massing:** Height, bulk and massing should be considered with respect to access to daylight and views on the adjacent public realm and developments. Proposals should include sun shading

diagrams and context analysis, for evaluation of these objectives by staff, on existing and anticipated public spaces.

- (b) **Building Width and Depth:** Where long facades are proposed, consideration should be given to significant facade articulation and setbacks. Connections may be by transparent bridges and walkways on the upper floors. Break up long frontages and substantial expanses of wall planes with recesses, setbacks and building separations. Setbacks and yards should complement the provision of open space.
- (c) **Tower Elements:** Tower elements (considered to be any portion of a building over 22.0 m (72 ft.) in height) should:
  - (i) be separated from other commercial tower elements by 15.2 m (50ft)
  - (ii) be separated from residential tower elements by 24.0 m (80ft).

Where adjacent sites are not fully developed, the proposed tower should maintain a distance of 7.6m (25ft) from the interior side and rear property lines unless residential uses are permitted on the adjacent lots in which case the setbacks should increase to 12.5 m (41 ft).

- (d) **The Network of Public Space:** Building massing should respect the importance of sunlight on the 'Network of Public Space' and 'Walk the Line' as described in Section 8 of the **False Creek Flats Plan**.
- (e) **Street Wall:** The intent is for development to generally reinforce the existing or anticipated street wall and shoulder. In the Flats, this is expected to be built out to the front property line and to create a consistent 4 storey, 18.3 meter shoulder.
- (f) **Roof:** The profile and silhouette of roofs should be considered as part of the skyline. Elevator penthouses, mechanical rooms, equipment, vents and other appurtenances should be integrated with the architectural treatment of the roof and screened from view.
- (g) **Large Sites:** Large sites should be considered with respect to their sub-area and be based on their own unique qualities. Site design can lend itself to prioritizing grouped building arrangements that create community outdoor open spaces and internalized vehicular access.

## 10 Architectural Components

The intent for architectural components and materials is to recognize the areas unique industrial character as well as the following objectives:

- (a) Reinforce the near view with high-quality materials, detailing and active storefronts.
- (b) Express a finer grain urban fabric by articulating smaller structural bays and modules.
- (c) Generic "big box" building designs that exhibit little facade interest and transparency to the street should be avoided.
- (d) Storefronts should be transparent at grade and are encouraged not to contain long blank walls.
- (e) High clearance warehouse-type spaces should have clerestorey windows at the upper storey of the facade.

- (f) Building interface with the public realm should emphasize details and proportions at the scale of the pedestrian with particular consideration to the objectives of animated streetscapes and showcasing functional outdoor workspaces.
- (g) Reference the “heavy duty” context with details and expression.

## 11 Open Space

### Public Places and Spaces

Creating unique, vibrant, attractive, interesting and amenity rich environments appealing to the increasingly mobile employees of twenty-first century is essential for unlocking the potential of any economic district in today’s cities. The False Creek Flats Area Plan aims to establish a network of places and spaces that repositions the area from a blank space in our collective mental maps, to a critical component of our cherished network of future public spaces in the city. It is hoped these interesting and inviting places will support innovation by providing venues that support the spillover of new ideas and breakthroughs within the local economy. Objectives are described in Chapter 8 of the **False Creek Flats Plan**.

### Semi-Private Open Space

Social semi-private open space is desirable for employees, visitors and residents and should be provided to accommodate the intended users wherever possible. It could be located at grade or on the rooftop as part of a landscaped rooftop garden and should maximize sun exposure.

### On-Site Public Open Space

The following should guide design and location of open spaces on private land.

- (a) Consider opportunities to compliment public open space design including:
  - (i) Create inviting and comfortable places for people;
  - (ii) Reintroduce water and natural systems;
  - (iii) Encourage lively building edges and more welcoming street experience;
  - (iv) Respect existing public views and explore creating new views of prominent features such significant landmarks;
  - (v) Support the display of local art, craft or industry;
  - (vi) Explore opportunities for unconventional open spaces;
  - (vii) Improve Wayfinding and legibility;
  - (viii) Encourage 24/7 activity and public life; and
  - (ix) Consider ways to ensure a safe, clean, clutter free environments
- (b) Open space on privately owned land should be considered with the same objectives to reinforce the network of public spaces. Enhanced front and side yard setbacks can provide opportunities that help link open spaces.
- (c) Where practical the public open space and greenways will be constructed on City owned land or City Right of Way (R.O.W.). In some circumstances, an additional R.O.W. may be requested from adjacent development to provide a more useable trail width.
- (d) Landscaping elements and public art, including temporary projects, are encouraged.
- (e) Reflect the industrial history of the area as well as contemporary life, innovation and experimentation.

## **Public Art**

Public art should be considered based on the following process and objectives:

- (a) Consideration for 24/7 access and use of the site;
- (b) Opportunities for rotating installations and diversity of scale and material;
- (c) Opportunities for art to be embedded in public spaces and infrastructure;
- (d) Consider opportunities to create diversity throughout the site and in unexpected places; and
- (e) Create public spaces built upon people being together in innovative ways.

## 12 Landscaping

### **Streetscape**

Objectives for streetscapes include:

- (a) High quality public realm with street trees, landscaping, lighting, street furniture, signage and wayfinding, and green infrastructure where possible.
- (b) Continuous sidewalks for the site's full frontage to encourage pedestrian use.
- (c) Landscape design providing views into buildings for pedestrian interest, as well as special features such as opportunities to sit, view or take part in walking or active recreation.
- (d) Integrated rain water management.

### **Site Landscape**

- (a) Existing trees and significant landscape features should be evaluated for retention where possible;
- (b) Landscaping should be used to help mitigate impacts between residential and industrial uses as well as rail;
- (c) Landscape design on other parts of the site should relate to anticipated activities;
- (d) A layered landscape treatment should be provided to screen surface parking and loading areas while providing strategic visual access to entries and access areas;
- (e) Strengthen urban forest connectivity;
- (f) Consider planted roof tops;
- (g) Enhance habitat for birds, pollinators and other flora and fauna and following the *Bird Friendly Design Guidelines*; and
- (h) Limit extent of underground parking layout and design to accommodate retention of existing trees and for the provision of new ones.

False Creek Flats Plan  
DRAFT BY-LAW PROVISIONS

Note: A By-law will be prepared generally in accordance with the provisions listed below, subject to change and refinement prior to posting. Schedule A Maps will be prepared prior to by-law posting.

1. This by-law amends the indicated provisions of the Zoning and Development By-law.
2. In Section 2, Definitions under **Transportation and Storage Uses**, Council adds, in alphabetical order:  
  
“**Bulk Data Storage**, which means the use of a wholly enclosed building, for the storage of information on operating data servers;”
3. This by-law amends the Zoning District Plan attached as Schedule D to By-law No. 3575, and amends or substitutes the boundaries and districts shown on it, according to the amendments, substitutions, explanatory legends, notations, and references shown on the plans attached as Schedules , and to this by-law, and incorporates Schedules , and into Schedule D to By-law No. 3575.
4. Council amends the Zoning and Development By-law by repealing and enacting new versions of the I-2 District Schedule, the I-3 District Schedule, the IC-3 District Schedule, the MC-1 and MC-2 Districts Schedule and adding to it the FC-2 District Schedule, attached to this by-law as Appendices A through E.
5. In Section 9, Zoning Districts, under the heading “Commercial” Council adds “FC-2” in the appropriate alphabetical order.
6. In Section 11, General Regulations, Council amends sub-section 11.27, “Micro dwelling” by adding the following to sub-section 11.27.3 in the appropriate numerical order:  
  
“(g) the FC-2 district; and  
(h) the area of the IC-3 district north of 2nd Avenue.”
7. Council amends Schedule F for Affordable Housing and Amenity Share Costs of the Zoning and Development By-law by adding the following:

Zoning District	Affordable Housing Share Cost	Amenity Share Cost
I-3		\$107.63 per m <sup>2</sup>
FC-2		\$1291.67 per m <sup>2</sup>

False Creek Flats Plan  
DRAFT I-2 DISTRICT SCHEDULE AMENDMENTS

Note: A By-law will be prepared generally in accordance with the provisions listed below, subject to change and refinement prior to posting.

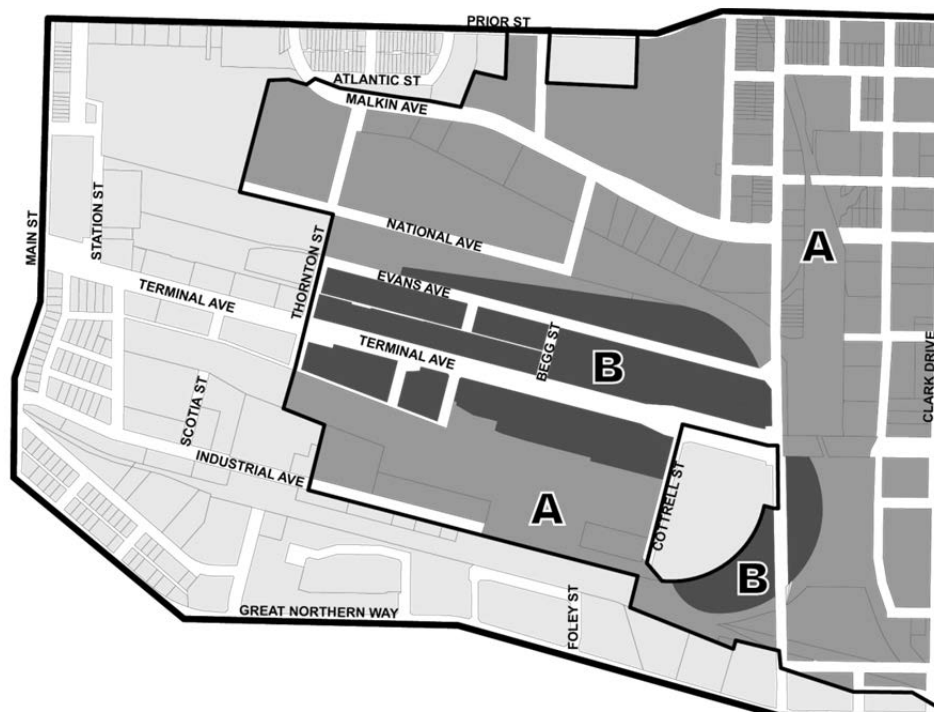
NOTE - insertions in *italics*, sections removed in ~~strike through italics~~

I-2 District Schedule

1 Intent

- 1.1 The intent of this Schedule is to permit industrial and other uses that are generally incompatible with residential land use but are beneficial in that they provide industrial and service employment opportunities or serve a useful or necessary function in the city. It is not the intent, however, to permit uses that are potentially dangerous or environmentally incompatible when situated near residential districts.
- 1.2 *Within the False Creek Flats, bounded by Prior Street, Clark Drive, Great Northern Way and Main Street, I-2 is to include two sub-areas as illustrated in Figure 1, solely for the purpose of establishing permitted uses, setbacks, height, floor area and building width and depth. Sites with a frontage on Prior Street west of Malkin are not included as part of sub-area A or B.*

Figure 1





## 2 Outright Approval Uses

2.1 Subject to all other provisions of this By-law, including the additional regulations in section 11.3 of this By-law, and to compliance with section 2.3 and the regulations of this Schedule, the uses noted in section 2.2 shall be permitted in this District and shall be issued a permit.

### 2.2 Uses

2.2.A • Accessory Buildings customarily ancillary to any of the uses listed in this Schedule, except that:

- (a) an accessory building must not exceed 4.6 m in height, and must not exceed 3.7 m in height measured to the highest point of the roof if a flat roof, to the deck line of a mansard roof, or to the mean height level between the eaves and ridge of a gable, hip, or gambrel roof;
- (b) not applicable [Location]
- (c) an accessory building's total floor area, measured to the extreme outer limits of the building, must not exceed 10% of the total area of the site.

- Accessory Uses customarily ancillary to any of the uses listed in this section, but not including accessory retail use in conjunction with wholesale uses listed in Section 2.2.W, provided that, unless permitted as an outright approval use pursuant to Section 2.2 of this schedule, the total floor area of all accessory uses is not greater than 33 ⅓ percent of the gross floor area of the principal and accessory uses combined, and provided that the floor area in accessory retail use is separated by a wall from the floor area in other uses which shall be inaccessible to the general public.

2.2.C [Cultural and Recreational]

- Artist Studio - Class A, provided that the use must not be combined with a Residential Unit, the change of use must only apply to floor area existing as of February 26, 2013, and any additions are limited to no more than 10 percent of existing floor area.
- Artist Studio - Class B, provided that the building contains no dwelling use other than a caretaker dwelling, the change of use must only apply to floor area existing as of February 26, 2013, and any additions are limited to no more than 10 percent of existing floor area.
- *Artist Studio - Class A, but only in sub-area A or B as shown in Figure 1.*
- *Artist Studio - Class B, but only in sub-area A or B as shown in Figure 1.*
- Arts and Culture Indoor Event.

2.2.M [Manufacturing]

- Bakery Products Manufacturing.
- Batteries Manufacturing.
- Chemicals or Chemical Products Manufacturing - Class B.
- Clothing Manufacturing.
- Dairy Products Manufacturing.
- Electrical Products or Appliances Manufacturing.
- Food or Beverage Products Manufacturing - Class B.
- Furniture or Fixtures Manufacturing.
- Ice Manufacturing.
- Information Communication Technology Manufacturing.

- Jewellery Manufacturing.
- Leather Products Manufacturing.
- Machinery or Equipment Manufacturing.
- Metal Products Manufacturing - Class B.
- Miscellaneous Products Manufacturing - Class B.
- Motor Vehicle Parts Manufacturing.
- Non-metallic Mineral Products Manufacturing - Class B.
- Paper Products Manufacturing.
- Plastic Products Manufacturing.
- Printing or Publishing.
- Rubber Products Manufacturing.
- Shoes or Boots Manufacturing.
- Textiles or Knit Goods Manufacturing.
- Tobacco Products Manufacturing.
- Transportation Equipment Manufacturing.
- Wood Products Manufacturing - Class B.

2.2.R [Retail]

- Gasoline Station - Full Serve, subject to the provisions of section 11.10 of this By-law, *but not in sub-area A or B as shown in Figure 1.*

2.2.S [Service]

- Animal Clinic.
- Catering Establishment.
- Laboratory.
- Laundry or Cleaning Plant.
- Motor Vehicle Repair Shop.
- Motor Vehicle Wash.
- Photofinishing or Photography Laboratory.
- *Photofinishing or Photography Studio, but only in sub-area A or B as shown in Figure 1.*
- Production or Rehearsal Studio.
- Repair Shop - Class A.
- School - Vocational or Trade.
- Sign Painting Shop.
- Work Shop.

2.2.T [Transportation and Storage]

- Cold Storage Plant.
- Packaging Plant.
- Storage Warehouse.

2.2.U [Utility and Communication]

- Public Utility, on a site not less than 61.0 m from any R district.
- Radiocommunication Station.

2.2.W [Wholesale]

- Wholesaling - Class A.

2.3 Conditions of Use

- 2.3.1 No use listed in section 2.2 of this Schedule shall involve the bulk storage, pending ultimate distribution off site of explosives, fireworks, ammunition, matches, or flares;

radioactive material; coal tar products or derivatives; or, except for a full serve gasoline station, compressed gas or petroleum.

- 2.3.2 No use listed in section 2.2 of this Schedule shall involve the bulk storage, other than wholly within a completely enclosed building, of lime; fertilizer; toxic or corrosive chemicals or acids; flammable liquids or solids; scrap or junk; rags or cotton waste; fungicides, herbicides or pesticides; paint, varnish, oil shellac or turpentine; grain, hops, or sugar; fish, fish oil or meal, animal oil or fat, or vegetable oil.
- 2.3.3 No use listed in section 2.2 of this Schedule, except for an animal clinic or laboratory, shall involve the keeping of live animals, live poultry or other fowl.
- 2.3.4 No use listed in section 2.2 of this Schedule, except for a full serve gasoline station, shall involve the storage of goods or materials other than wholly within a completely enclosed building.

### 3 Conditional Approval Uses

- 3.1 Subject to all other provisions of this By-law, including section 3.3.3 and the additional regulations in section 11.3 of this By-law, and the provisions and regulations of this Schedule, the Development Permit Board may approve any of the uses listed in section 3.2, subject to the conditions of use in section 3.3, and including such other conditions as it may decide, provided that it first considers:

- (a) the intent of this Schedule and all applicable policies and guidelines adopted by Council; and
- (b) the submission of any advisory group, property owner or tenant.

### 3.2 Uses

- 3.2.A
- Accessory Buildings to any of the uses listed in this Schedule, except as provided for in section 2.2.A of this Schedule.
  - Accessory Uses to any of the uses listed in this Schedule, other than as provided for in section 2.2.A of this Schedule.

#### 3.2.AG [Agricultural]

- Urban Farm - Class B, subject to the provisions of section 11.30 of this By-law.

#### 3.2.C [Cultural and Recreational]

- Artist Studio - Class B, subject to the provisions of section 11.18 of this By-law, and provided that the change of use applies to floor area existing as of February 26, 2013 and additions are limited to a maximum of 10 percent of the existing floor area.
- Community Centre or Neighbourhood House.
- Marina.
- Park or Playground.

- 3.2.D
- Deposition or extraction of material so as to alter the configuration of the land.

#### 3.2.DW [Dwelling]

- Dwelling Unit for a caretaker or watchman or other person similarly employed, if such dwelling unit is considered to be essential to the operation of the business or establishment, *but not in sub-area A or B as shown in Figure 1.*
- Residential Unit associated with and forming an integral part of an Artist Studio - Class B, subject to the provisions of section 11.19 of this By-law, *but not in sub-area A or B as shown in Figure 1.*

3.2.I [Institutional]

- Ambulance Station.
- Child Day Care Facility.
- Public Authority Use.
- Social Service Centre.

3.2.M [Manufacturing]

- Brewing or Distilling.
- Chemicals or Chemical Products Manufacturing - Class A.
- *Creative Products Manufacturing, but only in sub-area B as shown in Figure 1.*
- Food or Beverage Products Manufacturing - Class A.
- Linoleum or Coated Fabrics Manufacturing.
- Miscellaneous Products Manufacturing - Class A.
- Non-metallic Mineral Products Manufacturing - Class A.
- Paper Manufacturing.
- Rubber Manufacturing.
- Vegetable Oil Manufacturing.

3.2.O [Office]

- General Office, *including Digital Entertainment and Information Communication Technology*, but not including the offices of accountants, lawyers and notary publics, nor the offices of real estate, advertising, insurance, travel and ticket agencies.

3.2.P [Parking]

- Parking Uses.

3.2.R [Retail]

- Farmers' Market, subject to the provisions of Section 11.21 of this By-law. *Compatibility with nearby sites, parking, traffic, noise, hours of operation, size of facility, pedestrian amenity.*
- Furniture or Appliance Store.
- Gasoline Station - Split Island, subject to the provisions of section 11.10 of this By-law.
- Public Bike Share.
- Retail Store, but limited to:
  - Retail Store for the renting of merchandise in which the exclusive use of at least 50% of the floor area is for the storage of inventory.
  - Limited Service Food Establishment, which means the use of premises for the primary purpose of selling, or selling and serving, prepared food to the public during all hours of operation, where the premises include not more than 16 indoor or outdoor seats for customers consuming food purchased on the premises, but where customers may also purchase food for take-out, and where live entertainment is not available.
  - convenience store, in conjunction with a Gasoline Station - Full Serve or Gasoline Station - Split Island.
  - Accessory Retail Use.
- Vehicle Dealer, *but not in sub-area A as shown in Figure 1.*

3.2.S [Service]

- Auction Hall.

- Funeral Home.
- Laundromat or Dry Cleaning Establishment.
- Photofinishing or Photography Studio.
- Print Shop.
- Repair Shop - Class B.
- Restaurant - Class 1.

3.2.T [Transportation and Storage]

- Aircraft Landing Place.
- *Bulk Data Storage.*
- Booming Ground.
- Marine Terminal or Berth.
- Mini-storage Warehouse, *but not in sub-area A or B as shown in Figure 1.*
- Railway Station or Rail Yard.
- Storage Yard.
- Taxicab or Limousine Station.
- Truck Terminal or Courier Depot.
- Weighing or Inspection Station.
- Works Yard.

3.2.U [Utility and Communication]

- Public Utility, other than as provided for in section 2.2.U of this Schedule.
- Recycling Depot.
- Waste Disposal Facility, but limited to the transfer, sorting or recycling of refuse or garbage.

3.2.W [Wholesale]

- Cardlock Fuel Station.
- Junk Yard or Shop existing as of November 26, 1996.
- Lumber and Building Materials Establishment.
- Wholesaling - Class B.

- 3.2.Z
- Any other use which is not specifically listed and defined as a use in section 2 of this By law but which the *Director of Planning or Development Permit Board* considers comparable in nature to the uses listed in this Schedule, having regard to the intent of this District Schedule.
  - A use which is listed in section 2 of this Schedule but does not comply with the conditions of use in section 2.3.

3.3 Conditions of Use

- 3.3.1 Uses listed in section 3.2 of this Schedule, except for approved Transportation and Storage Uses, must not involve the bulk storage, pending ultimate distribution off site, of explosives, fireworks, ammunition, matches, or flares, radioactive material; coal tar products or derivatives; or, except for a split island gasoline station, compressed gas or petroleum.

- 3.3.2 No use listed in section 3.2 of this Schedule shall involve the bulk storage, other than wholly within a completely enclosed building or suitably contained for distribution off-site, of lime; fertilizer; toxic or corrosive chemicals or acids; flammable liquids or solids; rags or cotton waste; fungicides, herbicides or pesticides; paint, varnish, oil shellac or turpentine; grain, hops, or sugar; fish, fish oil or meal, animal oil or fat, or vegetable oil.

- 
- 3.3.3 No use listed in section 3.2 of this Schedule, except for a retail store, shall involve the keeping of live animals.
- 3.3.4 No use listed in section 3.2 of this Schedule shall involve the storage of goods or materials other than wholly within a completely enclosed building unless the yard or portion of the yard containing the goods or materials is enclosed by a suitable fence or wall restricting public access.
- 3.3.5 A lounge use accessory to Brewing or Distilling use shall be carried on wholly within a completely enclosed building.
- 3.3.6 *Except for entrances, Bulk Data Storage use shall not be permitted at the ground floor.*
- 4 Regulations
- All uses approved under sections 2 and 3 of this District Schedule shall be subject to the following regulations.
- 4.1 Site Area -- Not Applicable.
- 4.2 Frontage -- Not Applicable.
- 4.3 Height
- 4.3.1 The maximum height of a building shall be 18.3 m, *and in sub-areas A and B, except for buildings existing as of [date of enactment]:*
- (a) *the floor to floor height of the first floor of a building must measure a minimum of 6.0 m; and*
  - (b) *the floor to floor height of any floor above the first floor of a building must measure a minimum of 4.0 m.*
- 4.3.2 *In all areas of the I-2 District except sub-area B, ~~The~~ the Director of Planning or the Development Permit Board, as the case may be, may permit an increase in the maximum height of a building to a height not exceeding 30.5 m with respect to any development provided that ~~he first considers~~ consideration is given to:*
- (a) the intent of this Schedule, all applicable policies and guidelines adopted by Council and the relationship of the development with nearby residential districts;
  - (b) the submission of any advisory group, property owner or tenant; and
  - (c) the effect of building height, bulk and siting on daylight access and visual privacy of developments in nearby residential districts. Daylight access can be adequately maintained if there is no shadow impact at 10 a.m., noon and 2 p.m. on September 21 and March 21. Visual privacy can be achieved by separating building facades by 24.4 m.
- 4.3.3 *In sub-area B, the Director of Planning or the Development Permit Board, as the case may be, may with respect to any development permit an additional increase in the maximum height of a building to a height not exceeding 36.5 m provided that consideration is given to the intent of this Schedule, all applicable policies and guidelines adopted by Council, and:*
- (a) *the provision of a minimum floor space ratio of 1.0 combined for any uses listed in sub-section 4.7.1 (e) (i), (ii) and (iii);*

- (b) the height, bulk, massing, location and overall design of the building and its effect on the site, surrounding buildings and streets;*
- (c) the provision of public open space, landscape, and the effects of overall design on the general amenity of the area;*
- (d) the effect of the development on traffic in the area; and*
- (e) the provision for pedestrian needs.*

*4.3.4 Despite sections 4.3.1 and 4.3.2, for sloping sites in sub-area A with a property line adjacent to Clark Drive, the Director of Planning may permit an increase in height of up to 4.0 m for portions of the building, provided the Director of Planning first considers the intent of this Schedule and all applicable policies and guidelines adopted by Council.*

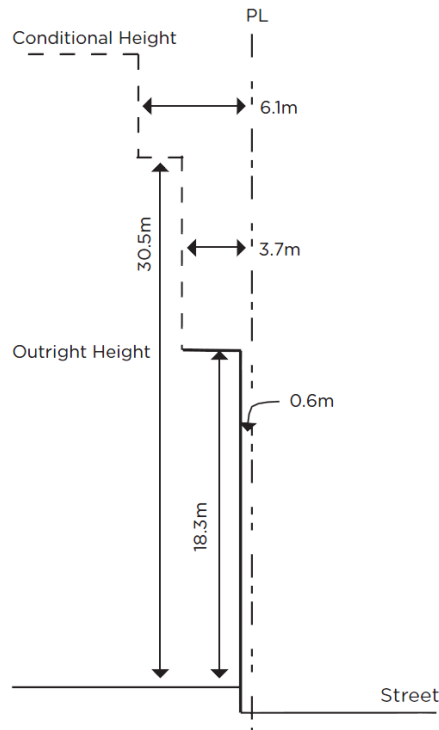
#### **4.4 Front Yard and Setback**

**4.4.1** No front yard shall be required.

*4.4.2 Despite section 4.4.1, in sub-area B the front yard and front setback shall be as follows and as illustrated in Figure 2:*

- (a) For portions of buildings within 2.0 m above the officially established building grades at the front property line:*
  - ii. subject to clause (ii) and (iii), the depth of the yard shall be 0.6 m, and*
  - iii. above a height of 18.3 m measured from a plane formed by the lines extending horizontally back from the property line at grade, the minimum depth of the front setback shall be a minimum of 3.7 m except that open roof gardens may intrude into the setback; and*
  - iv. above a height of 30.5 m measured from a plane formed by the lines extending horizontally back from the property line at grade, the minimum depth of the front setback shall be a minimum of 6.1 m except that open roof gardens may intrude into the setback; and*
- (b) despite subsection (a), the minimum front setback, measured from the front property line, of any parking area shall be 1.2 m.*

Figure 2



4.4.3 *Despite section 4.4.2, the Director of Planning may permit a reduced front yard or front setback for portions of the building, provided the Director of Planning first considers the intent of this Schedule and all applicable policies and guidelines adopted by Council.*

#### 4.5 Side Yards and Setback

4.5.1 No side yard shall be required, except that where the site adjoins, without the intervention of a lane, a site located in an R district, in which case the following side yard requirements apply:

- (a) where the adjoining site is in an RM district, a side yard with a minimum width of 1.5 m shall be provided adjoining the RM district;
- (b) in all other cases, a side yard with a minimum width of 0.9 m shall be provided, except in the case of a corner site in which case an exterior side yard need not be provided.

4.5.2 Where a side yard is provided, although not required, the minimum provisions of section 4.5.1 shall apply.

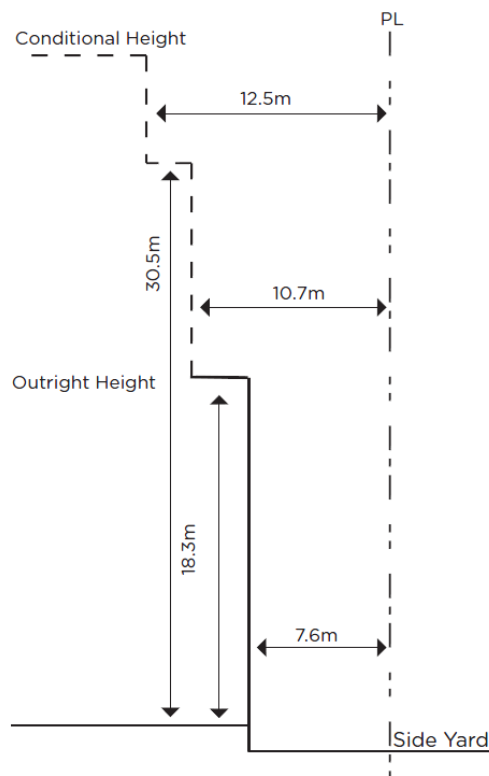
4.5.3 *Despite sections 4.5.1 and 4.5.2, in sub-area B the side yards and side setback shall be as follows and as illustrated in Figure 3:*

- (a) *a side yard with a minimum depth of 7.6 metres shall be provided;*
- (b) *where any portion of a building is greater than 18.3 m in height, a side setback with a minimum depth of 10.7 m shall be provided;*
- (c) *where any portion of a building is greater than 30.5 m in height, a side setback with a minimum depth of 12.2 m shall be provided; and*



- (d) on a corner site, the exterior side yard and side setback requirements shall be the same as the front yard and front setback requirements in section 4.4.2 and 4.4.3.

Figure 3:



- 4.5.5 Despite section 4.5.3, in sub-area B, the Director of Planning may permit a reduced side yard or side setback, provided that the Director of Planning first considers the existing street network, loading and vehicular access, and the provision of open space.
- 4.6 Rear Yard and Setback
- 4.6.1 A rear yard with a minimum depth of 3.1 m shall be provided, except that where the rear of the site abuts a lane, this required minimum depth shall be decreased by the lane width between the rear property line and the ultimate centre line of the lane.
- 4.6.2 The Director of Planning or the Development Permit Board, as the case may be, may waive the requirement to provide a rear yard where he is satisfied that the site is located within an area where rear access to the site and adjacent sites is not likely to be required and that site is sufficiently large to provide adequate open space.
- 4.7 Floor ~~Space Ratio~~ Area and Density
- 4.7.1 The floor space ratio shall not exceed 3.0, subject to the following:

- (a) the maximum floor space ratio shall be 3.0 for Manufacturing Uses, Transportation and Storage Uses, Utility and Communication Uses, Wholesale Uses, and the following Service Uses: Laboratory; Laundry or Cleaning Plant; Production or Rehearsal Studio; Repair Shop - Class A; ~~and~~ Work Shop; *and, in sub-area A and B, Artist Studio - Class B.*
- (b) the maximum floor space ratio shall be 1.0 for each of the following Service Uses: Catering Establishment; Motor Vehicle Repair Shop; Photofinishing or Photography Laboratory; ~~and~~ Sign Painting Shop; *and, in sub-area B, for Creative Products Manufacturing;*
- (c) the maximum floor space ratio shall be 1.0 for all other uses combined;
- (d) the floor area in Retail Uses, including accessory retail but not including Vehicle Dealer, shall not exceed 1 000 m<sup>2</sup>, *except that in sub-areas A and B, the floor area for accessory retail shall not exceed 500 m<sup>2</sup>;*
- (e) *for Vehicle Dealer in sub-area B, the maximum floor space ratio shall be 1.0, subject to the provision of a minimum floor space ratio of 2.0 of uses listed in sub-section 4.7.1(a) which must include a minimum floor space ratio of 1.0 for any of the following uses combined:*
  - (i) *Cultural and Recreational, limited to Artist Studio - Class B;*
  - (ii) *Manufacturing, limited to Bakery Products Manufacturing, Brewing or Distilling, Chemicals or Chemical Products Manufacturing - Class B, Clothing Manufacturing, Dairy Products Manufacturing, Food or Beverage Products Manufacturing - Class B, Furniture or Fixtures Manufacturing, Jewellery Manufacturing, Leather Products Manufacturing, Metal Products Manufacturing - Class A or B, Miscellaneous Products Manufacturing - Class A, Miscellaneous Products Manufacturing - Class B, Non-metallic Mineral Products Manufacturing - Class B, Paper Products Manufacturing, Printing or Publishing, Plastic Products Manufacturing, Rubber Products Manufacturing, Shoes or Boots Manufacturing, Textiles or Knit Goods Manufacturing, and Wood Products Manufacturing - Class B;*  
*or*
  - (iii) *Service, limited to Catering Establishment, Motor Vehicle Repair Shop, Print Shop, Repair Shop - Class A, Repair Shop - Class B, and Sign Painting Shop;*
- (~~e~~f) the floor area in General Office use shall not exceed the greater of 235 m<sup>2</sup> or 33 ⅓ percent of the total gross floor area of all principal and accessory uses combined;
- (~~f~~g) the floor area in convenience store in conjunction with a Gasoline Station - Full Serve or Gasoline Station - Split Island use must not exceed 200 m<sup>2</sup> per site;
- (~~g~~h) the floor area in Restaurant - Class 1 use must not exceed 300 m<sup>2</sup>; and
- (~~h~~i) the floor area for a lounge use accessory to a Brewing or Distilling use must not exceed 80 m<sup>2</sup>.

4.7.2 *In sub-area B, the Director of Planning or the Development Permit Board, as the case may be, may permit an increase in the maximum floor space ratio to 4.0 with respect to any development, which may include up to 3.0 of Creative Products Manufacturing use, provided that consideration is given to the intent of this Schedule, all applicable policies and guidelines adopted by Council, and:*

- (a) *the provision of a minimum floor space ratio of 1.0 combined for any uses listed in sub-section 4.7.1 (e) (i), (ii) and (iii);*
- (b) *the height, bulk, massing, location and overall design of the building and its effect on the site, surrounding buildings and streets;*
- (c) *the provision of public open space, landscape, and the effects of overall design on the general amenity of the area;*

- (d) *the effect of the development on traffic in the area; and*
- (e) *the provision for pedestrian needs.*

4.7.23 The following shall be included in the computation of floor space ratio:

- (a) all floors of all buildings including accessory buildings, both above and below ground level, to be measured to the extreme outer limits of the building.

4.7.34 The following shall be excluded in the computation of floor space ratio:

- (a) open ~~residential~~ balconies and any other appurtenances which, in the opinion of the Director of Planning, are similar to the foregoing, provided that the total area of all exclusions does not exceed ~~eight~~ *twelve* percent of the ~~residential~~ floor area being provided;
- (b) roof decks if the Director of Planning first considers:
  - (i) the design of landscape treatments;
  - (ii) the effect on privacy and overlook; and
  - (iii) all applicable Council policies and guidelines.
- (c) where floors are used for off-street parking and loading, the taking on or discharging of passengers, bicycle storage, heating and mechanical equipment, or uses which in the opinion of the Director of Planning are similar to the foregoing, those floors or portions thereof so used, which:
  - (i) are at or below the base surface, provided that the maximum exclusion for a parking space shall not exceed 7.3 m in length; or
  - (ii) are above the base surface and where developed as off-street parking are located in an accessory building situated in the rear yard, provided that the maximum exclusion for a parking space shall not exceed 7.3 m in length;
- (d) storage space associated with an Artist Studio - Class B where the space is provided below the base surface and subject to a maximum exclusion of 20 m<sup>2</sup> for each Artist Studio - Class B; and
- (e) amenity areas for the social and recreational enjoyment of residents and employees, or providing a service to the public, including facilities for general fitness, general recreation and child day care provided that:
  - (i) the total area being excluded shall not exceed the lesser of 20 percent of the permitted floor space or 100 m<sup>2</sup>; and
  - (ii) in the case of a child day care centre, the Director of Planning, on the advice of the Director of Social Planning, is satisfied that there is a need for a day care facility in the building or in the immediate neighbourhood.

4.7.45 The Development Permit Board or the Director of Planning, as the case may be, may relax the provisions of section 4.7.1(e) for General Office uses limited to manufacturer's agent or import broker or similar uses, subject to the maximum floor space provisions of section 4.7.1(c) and provided that he first considers:

- (a) the intent of this Schedule and all applicable policies and guidelines adopted by Council; and
- (b) the extent to which building design conforms to industrial standards for wholesale uses, including but not limited to consideration for loading bays, large truck access, freight elevators, ceiling heights, corridor and door widths, and load bearing surfaces.

4.8 Site Coverage -- Not Applicable.

4.9 [Deleted -- see Parking By-law.]

4.10 Horizontal Angle of Daylight -- Not Applicable.

4.11 Vertical Angle of Daylight -- Not Applicable.

4.12 to 4.15 *Reserved*

4.16 *Building Depth and Building Width*

4.16.1 *In sub-area B, the building depth must not exceed 61 m, measured in a straight line parallel to the side property line, from the front exterior wall to rear exterior wall at street grade.*

4.16.2 *In sub-area B, the building width must not exceed 61 m, measured in a straight line parallel to the front property line, from the two side exterior walls at grade.*

4.16.3 *Notwithstanding sections 4.16.1 and 4.16.2, eaves and gutters or other projections, which in the opinion of the Director of Planning are similar, may project into the minimum side yard to a maximum of 1.0 m measured horizontally*

4.16.4 *Despite sections 4.16.1 and 4.16.2, where a functional or hardship need is demonstrated, the Director of Planning may permit an increased building depth or width if consideration is given to:*

- (a) the existing street network, loading and vehicular access;*
- (b) the provision of a visually interesting building massing; and*
- (c) the intent of this district schedule and all applicable policies and guidelines.*

False Creek Flats Plan  
DRAFT I-3 DISTRICT SCHEDULE AMENDMENTS

Note: A By-law will be prepared generally in accordance with the provisions listed below, subject to change and refinement prior to posting.

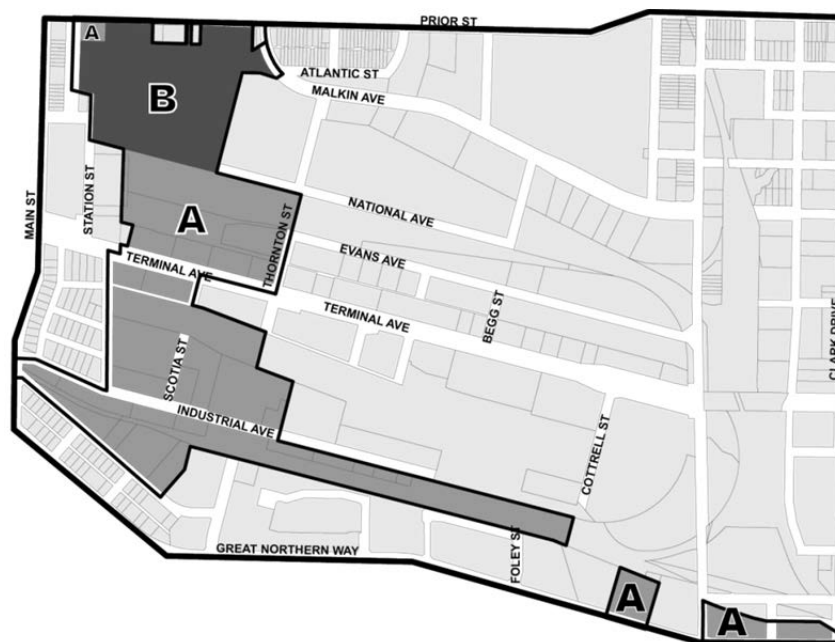
NOTE - insertions in *italics*, sections removed in ~~strike through italics~~

I-3 District Schedule

1 Intent

- 1.1 The intent of this Schedule is to permit high technology industry, *creative products manufacturing, digital entertainment, information and communication technology*, and related industry with a significant amount of research and development activity. It is also the intent to permit light industrial uses that are generally compatible with high-technology and other industrial uses, and with adjoining residential or commercial districts. *Health care offices are encouraged in the area around the future St. Paul's Hospital site.*
- 1.2 *The I-3 District is to consist of two sub-areas as illustrated in Figure 1, solely for the purpose of establishing permitted uses, floor area and height.*

Figure 1



## 2 Outright Approval Uses

2.1 Subject to all other provisions of this By-law, including the additional regulations in section 11.3 of this By-law, and to compliance with section 2.3 and the regulations of this Schedule, the uses noted in section 2.2 shall be permitted in this District and shall be issued a permit.

### 2.2 Uses

2.2.A • Accessory Buildings customarily ancillary to any of the uses listed in this Schedule, except that:

- (a) an accessory building must not exceed 4.6 m in height, and must not exceed 3.7 m in height measured to the highest point of the roof if a flat roof, to the deck line of a mansard roof, or to the mean height level between the eaves and ridge of a gable, hip, or gambrel roof;
- (b) an accessory building must be situate in the rear yard no less than 3.1 m from the ultimate centre line of any rear or flanking lane; and
- (c) an accessory building's total floor area, measured to the extreme outer limits of the building, must not exceed 10% of the total area of the site.

- Accessory Uses customarily ancillary to any of the uses listed in this section, provided that, unless permitted as an outright approval use pursuant to Section 2.2 of this schedule, the total floor area of all accessory uses is not greater than 33 ⅓ percent of the gross floor area of the principal and accessory uses combined, and provided that the floor area in accessory retail use is separated by a wall from the floor area in other uses which shall be inaccessible to the general public.

#### 2.2.C [Cultural and Recreational]

- Artist Studio - Class A, provided that the use must not be combined with a Residential Unit, the change of use must only apply to floor area existing as of February 26, 2013, and any additions are limited to no more than 10 percent of existing floor area.
- *Artist Studio - Class A, but only in sub-area A as shown in Figure 1.*
- *Artist Studio - Class B, but only in sub-area A as shown in Figure 1.*
- Arts and Culture Indoor Event.

#### 2.2.M [Manufacturing]

- Electrical Products or Appliances Manufacturing.
- Information Communication Technology Manufacturing.
- Miscellaneous Products Manufacturing - Class B.
- Printing or Publishing.

#### 2.2.O [Office]

- General Office, but limited to Digital Entertainment and Information Communication Technology.

#### 2.2.S [Service]

- Laboratory.
- Photofinishing or Photography Laboratory.
- Production or Rehearsal Studio.
- Work Shop.

2.2.U [Utility and Communication]

- Radiocommunication Station.

2.3 Conditions of Use

- 2.3.1 No use listed in section 2.2 of this Schedule, except a production or rehearsal studio, shall be carried on other than wholly within a completely enclosed building, except for off-street parking and loading, heating and mechanical equipment, or other facilities or equipment which in the opinion of the Director of Planning are similar to the foregoing.
- 2.3.2 No use listed in section 2.2 of this Schedule shall involve the bulk storage, pending ultimate distribution off site, of explosives, fireworks, ammunition, matches, or flares; radioactive material; coal tar products or derivatives; or compressed gas or petroleum.
- 2.3.3 No use listed in section 2.2 of this Schedule shall involve the storage, other than wholly within a completely enclosed building, of lime; fertilizer; toxic or corrosive chemicals or acids; flammable liquids or solids; scrap or junk; rags or cotton waste; fungicides, herbicides or pesticides; paint, varnish, oil shellac or turpentine; grain, hops, or sugar; fish, fish oil or meal, animal oil or fat, or vegetable oil.
- 2.3.4 No use listed in section 2.2 of this Schedule, except for a laboratory, shall involve the keeping of live animals.

3 Conditional Approval Uses

- 3.1 Subject to all other provisions of this By-law, including section 3.3.3 and the additional regulations in section 11.3 of this By-law, and the provisions and regulations of this Schedule, the *Director of Planning or* Development Permit Board may approve any of the uses listed in section 3.2, subject to the conditions of use in section 3.3, and including such other conditions as it may decide, provided that *consideration is given to*:
- (a) the intent of this Schedule and all applicable policies and guidelines adopted by Council; and
  - (b) the submission of any advisory group, property owner or tenant.

3.2 Uses

- 3.2.A • Accessory Uses to any of the uses listed in this Schedule, other than as provided for in section 2.2.A of this Schedule.

3.2.AG [Agricultural]

- Urban Farm - Class B, subject to the provisions of section 11.30 of this By-law.

3.2.C [Cultural and Recreational]

- Artist Studio - Class B, subject to the provisions of section 11.18 of this By-law, and provided that the change of use applies to floor area existing as of February 26, 2013 and additions are limited to a maximum of 10 percent of the existing floor area.
- Community Centre or Neighbourhood House.
- Fitness Centre.

- Hall.
- Marina.
- Park or Playground.

3.2.D • Deposition or extraction of material so as to alter the configuration of the land.

3.2.DW [Dwelling]

- Dwelling Unit for a caretaker or watchman or other person similarly employed, if such dwelling unit is considered to be essential to the operation of the business or establishment *but only in sub-area B as shown in Figure 1.*
- Residential Unit associated with and forming an integral part of an Artist Studio - Class B, subject to the provisions of section 11.19 of this By-law, *but only in sub-area B as shown in Figure 1.*

3.2.I [Institutional]

- Ambulance Station.
- Child Day Care Facility.
- Public Authority Use.
- School - University or College.
- Social Service Centre.

3.2.M [Manufacturing]

- Bakery Products Manufacturing.
- Batteries Manufacturing.
- Brewing or Distilling.
- Chemicals or Chemical Products Manufacturing - Class B.
- Clothing Manufacturing.
- *Creative Products Manufacturing. but only in sub-area A as shown in Figure 1.*
- Dairy Products Manufacturing.
- Food or Beverage Products Manufacturing - Class A existing as of July 20, 1999.
- Food or Beverage Products Manufacturing - Class B.
- Furniture or Fixtures Manufacturing.
- Ice Manufacturing.
- Jewellery Manufacturing.
- Leather Products Manufacturing.
- Machinery or Equipment Manufacturing.
- Metal Products Manufacturing - Class B.
- Miscellaneous Products Manufacturing - Class A.
- Motor Vehicle Parts Manufacturing.
- Non-metallic Mineral Products Manufacturing - Class B.
- Paper Products Manufacturing.
- Plastic Products Manufacturing.
- Rubber Products Manufacturing.
- Shoes or Boots Manufacturing.
- Textiles or Knit Goods Manufacturing.
- Tobacco Products Manufacturing.
- Transportation Equipment Manufacturing.
- Wood Products Manufacturing - Class B.



3.2.O [Office]

- General Office, but not including the offices of accountants, lawyers and notary publics, nor the offices of real estate, advertising, insurance, travel and ticket agencies.
- *Health Care Office, but only in sub-area A as shown in Figure 1.*

3.2.P [Parking]

- Parking Uses.

3.2.R [Retail]

- Farmers' Market, subject to the provisions of Section 11.21 of this By-law. *Compatibility with nearby sites, parking, traffic, noise, hours of operation, size of facility, pedestrian amenity.*
- Gasoline Station - Full Serve, subject to the provisions of section 11.10 of this By-law, *but only in sub-area B as shown in Figure 1.*
- Gasoline Station - Split Island, subject to the provisions of section 11.10 of this By-law, *but only in sub-area B as shown in Figure 1..*
- Public Bike Share.
- *Retail Store, but only in sub-area A as shown in Figure 1, and limited to:*
  - *Limited Service Food Establishment, which means the use of premises for the primary purpose of selling, or selling and serving, prepared food to the public during all hours of operation, where the premises include not more than 16 indoor or outdoor seats for customers consuming food purchased on the premises, but where customers may also purchase food for take-out, and where live entertainment is not available.*
- Vehicle Dealer, but limited to the rental of motor vehicles, *but only in sub-area B as shown in Figure 1..*

3.2.S [Service]

- Animal Clinic.
- Catering Establishment.
- Laundry or Cleaning Plant.
- Motor Vehicle Repair Shop.
- Motor Vehicle Wash.
- Photofinishing or Photography Studio.
- Print Shop.
- Repair Shop - Class A.
- Repair Shop - Class B.
- Restaurant - Class 1, provided that the total floor area does not exceed 300 m<sup>2</sup>.
- *Restaurant - Class 2, but only in sub-area A as shown in Figure 1, provided that the total floor area does not exceed 300 m<sup>2</sup>.*
- School - Arts or Self-Improvement.
- School - Business.
- School - Vocational or Trade.
- Sign Painting Shop.

3.2.T [Transportation and Storage]

- Aircraft Landing Place.
- *Bulk Data Storage, but only in sub-area A as shown in Figure 1.*
- Cold Storage Plant.
- Marine Terminal or Berth.
- Mini-storage Warehouse, *but only in sub-area B as shown in Figure 1.*
- Packaging Plant.

- Railway Station or Rail Yard.
- Storage Warehouse.
- Taxicab or Limousine Station.
- Truck Terminal or Courier Depot.

3.2.U [Utility and Communication]

- Public Utility.
- Recycling Depot.

3.2.W [Wholesale]

- Wholesaling - Class A.
- Wholesaling - Class B.

- 3.2.Z
- Any other use which is not specifically listed and defined as a use in section 2 of this By-law but which the *Director of Planning or Development Permit Board* considers comparable in nature to the uses listed in this Schedule, having regard to the intent of this District Schedule.
  - A use which is listed in section 2 of this Schedule but does not comply with the conditions of use in section 2.3.

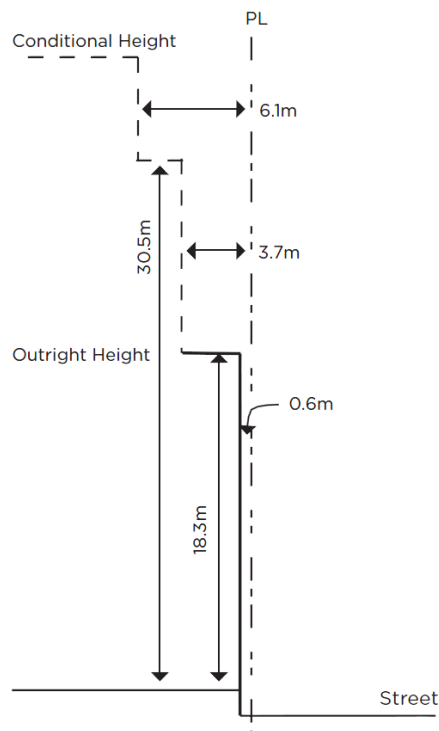
3.3 Conditions of Use

- 3.3.1 No use listed in section 3.2 of this Schedule, except a gasoline station, vehicle dealer, parking uses and transportation and storage uses, shall be carried on other than wholly within a completely enclosed building unless appropriate measures are taken, to the satisfaction of the Director of Planning, to eliminate any dangerous, injurious, noxious or otherwise objectionable impact that could adversely affect the surrounding area and adjoining non-industrial districts.
- 3.3.2 No use listed in section 3.2 of this Schedule shall involve the bulk storage, pending ultimate distribution off site, of explosives, fireworks, ammunition, matches, or flares; radioactive material; coal tar products or derivatives; or, except for a gasoline station, compressed gas or petroleum.
- 3.3.3 No use listed in section 3.2 of this Schedule shall involve the storage, other than wholly within a completely enclosed building, of lime; fertilizer; toxic or corrosive chemicals or acids; flammable liquids or solids; rags or cotton waste; fungicides, herbicides or pesticides; paint, varnish, oil shellac or turpentine; grain, hops, or sugar; fish, fish oil or meal, animal oil or fat, or vegetable oil.
- 3.3.4 No use listed in section 3.2 of this Schedule, except for an animal clinic, shall involve the keeping of live animals.
- 3.3.5 No use listed in section 3.2 of this Schedule shall involve the storage of goods or materials other than wholly within a completely enclosed building unless the yard or portion of the yard containing the goods or materials is enclosed by a suitable fence or wall restricting public access.
- 3.3.6 A lounge use accessory to Brewing or Distilling use shall be carried on wholly within a completely enclosed building.
- 3.3.7 *Except for entrances, Bulk Data Storage use shall not be permitted at the ground floor.*

- 3.3.8 *Except for entrances, Office Uses listed in 3.2.0 shall not be permitted at the ground floor.*
- 4 Regulations
- All uses approved under sections 2 and 3 of this District Schedule shall be subject to the following regulations.
- 4.1 Site Area -- Not Applicable.
- 4.2 Frontage -- Not Applicable.
- 4.3 Height
- 4.3.1 The maximum height of a building shall be 18.3 m, *and in sub-areas A, except for buildings existing as of [date of enactment]:*
- (a) *the floor to floor height of the first floor of a building must measure a minimum of 6.0 m; and*
  - (b) *the floor to floor height of any floor above the first floor of a building must measure a minimum of 4.0 m.*
- 4.3.2 *In sub-area B, ~~The~~ the Director of Planning or the Development Permit Board, as the case may be, may permit an increase in the maximum height of a building to a height not exceeding 30.5 m with respect to any development provided that ~~he first~~ considers consideration is given to:*
- (a) the intent of this Schedule, all applicable policies and guidelines adopted by Council and the relationship of the development with nearby residential districts;
  - (b) the submission of any advisory group, property owner or tenant; and
  - (c) the effect of building height, bulk and siting on daylight access and visual privacy of developments in nearby residential districts. Daylight access can be adequately maintained if there is no shadow impact at 10 a.m., noon and 2 p.m. on September 21 and March 21. Visual privacy can be achieved by separating building facades by 24.4 m.
- 4.3.3 *In sub-area A, the Director of Planning or the Development Permit Board, as the case may be, may permit an increase in the maximum height of a building to a height not exceeding 45.7 m with respect to any development provided that consideration is given to:*
- (a) *the provision of a minimum floor space ratio of 1.0 combined for any uses listed in sub-sections 4.7.5(b) (i), (ii) and (iii);*
  - (b) *the height, bulk, massing, location and overall design of the building and its effect on the site, surrounding buildings and streets;*
  - (c) *the provision of public open space, landscape, and the effects of overall design on the general amenity of the area;*
  - (d) *the effect of the development on traffic in the area; and*
  - (e) *the provision for pedestrian needs.*
- 4.4 Front Yard
- 4.4.1 No front yard shall be required *in sub-area B and the front yard and front setback in sub-area A shall be as follows and as illustrated in Figure 2:*

- (a) For portions of buildings within 2.0 m above the officially established building grades at the front property line:
- (i) subject to clause (ii) and (iii), the depth of the yard shall be 0.6 m;
  - (ii) above a height of 18.3 m measured from a plane formed by the lines extending horizontally back from the property line at grade, the depth of the front setback shall be a minimum of 3.7 m except that open roof gardens may intrude into the setback; and
  - (iii) above a height of 30.5 m measured from a plane formed by the lines extending horizontally back from the property line at grade, the minimum depth of the front setback shall be a minimum of 6.1 m except that open roof gardens may intrude into the setback; and
- (b) despite subsection (a), the minimum front setback, measured from the front property line, of any parking area shall be 1.2 m.

Figure 2



- 4.4.2 Despite section 4.4.1, the Director of Planning may permit a reduced front yard or front setback for portions of the building if consideration is given to the following:

- (a) to encourage massing that is stepped and varied in response to the context; and
- (b) to provide a more visually interesting form of architectural expression,

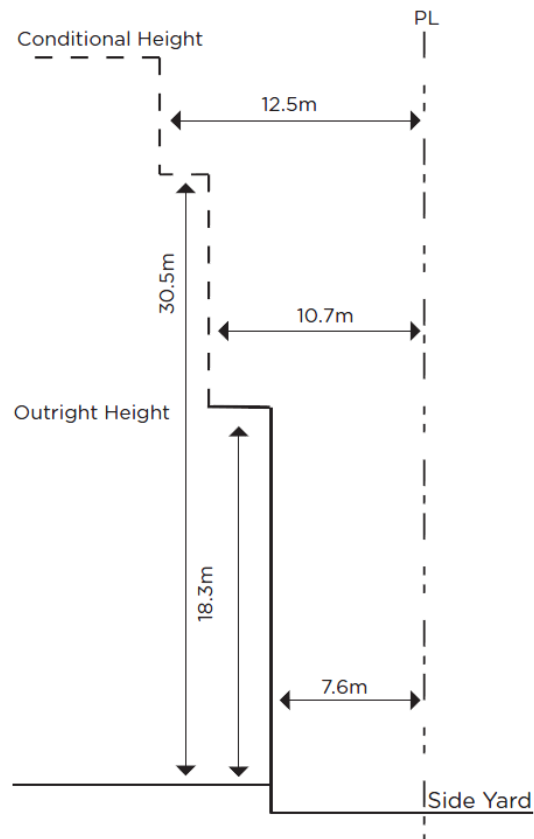
provided the Director of Planning first considers the intent of this Schedule and all applicable policies and guidelines adopted by Council.

#### 4.5 Side Yards and Setbacks

- 4.5.1 In sub-area A, the side yards and side setback shall be as follows and as illustrated in Figure 3:

- (a) a side yard with a minimum depth of 7.6 meters shall be provided;
- (b) where any portion of a building is greater than 18.3 m in height, a side setback with a minimum depth of 10.7 m shall be provided;
- (c) where any portion of a building is greater than 30.5 m in height, a side setback with a minimum depth of 12.2 m shall be provided; and
- (d) on a corner site, the exterior side yard and side setback requirements shall be the same as the front yard and front setback requirements in section 4.4.1 and 4.4.2.

Figure 3



- 4.5.2 Despite section 4.5.1, the Director of Planning may permit a reduced side yard or side setback, provided that the Director of Planning first considers the existing street network, loading and vehicular access, and the provision of open space.
- 4.5.3 In sub-area B, no ~~the~~ side yard shall be required, except that where the site adjoins, without the intervention of a lane, a site located in an R district, in which case a side yard with a minimum width of 1.5 m shall be provided adjoining the R district.
- 4.54 Where a side yard is provided in sub-area B, although not required, a side yard with a minimum depth of 0.9 m shall be provided.
- 4.6 Rear Yard
  - 4.6.1 A rear yard with a minimum depth of 3.1 m shall be provided, except that where the rear of the site abuts a lane, this required minimum depth shall be decreased by the lane width between the rear property line and the ultimate centre line of the lane.

- 4.6.2 The Director of Planning or the Development Permit Board, as the case may be, may waive the requirement to provide a rear yard where ~~he is~~ satisfied that the site is located within an area where rear access to the site and adjacent sites is not likely to be required and that site is sufficiently large to provide adequate open space.

4.7 Floor ~~Space Ratio~~ Area and Density

- 4.7.1 *The floor space ratio shall not exceed 3.0 in sub-area A, subject to the following:*

- (a) *the maximum floor space ratio shall be 3.0 for Artist Studio, Manufacturing Uses, Office Uses listed in section 2.2.0, Transportation and Storage Uses, Utility and Communication Uses, Wholesale Uses, Service Uses listed in section 2.2.S, and Parking Uses;*
- (b) *the maximum floor space ratio shall be 1.0 for all other uses combined;*
- (c) *the floor area in Retail Uses, shall not exceed 1 000 m<sup>2</sup>, except that accessory retail shall not exceed 500 m<sup>2</sup>;*
- (d) *the floor area for Office Uses listed in section 3.2.0 shall not exceed 33 percent of the total gross floor area of all principal and accessory uses combined; and*
- (e) *the floor area for a lounge use accessory to a Brewing or Distilling use must not exceed 80 m<sup>2</sup>.*

- 4.7.42 The floor space ratio shall not exceed 3.0 *in sub-area B*, subject to the following:

- (a) the maximum floor space ratio shall be 3.0 for Manufacturing Uses, Transportation and Storage Uses, Utility and Communication Uses, Wholesale Uses, Service Uses listed in section 2.2.S, and Parking Uses;
- (b) the maximum floor space ratio shall be 1.0 for all other uses combined;
- (c) the floor area in Retail Uses, including accessory retail, shall not exceed 1 000 m<sup>2</sup>;
- (d) the floor area in Office Uses listed in section 3.2.0 shall not exceed 33 percent of the total gross floor area of all principal and accessory uses combined; and
- (e) the floor area for a lounge use accessory to a Brewing or Distilling use must not exceed 80 m<sup>2</sup>.

- 4.7.23 The following shall be included in the computation of floor space ratio:

- (a) all floors of all buildings including accessory buildings, both above and below ground level, to be measured to the extreme outer limits of the building.

- 4.7.34 The following shall be excluded in the computation of floor space ratio:

- (a) open ~~residential~~ balconies and any other appurtenances which, in the opinion of the Director of Planning, are similar to the foregoing, provided that the total area of all exclusions does not exceed ~~eight~~ twelve percent of the ~~residential~~ floor area being provided;
- (b) roof decks if the Director of Planning first considers:
  - (i) the design of landscape treatments;
  - (ii) the effect on privacy and overlook; and
  - (iii) all applicable Council policies and guidelines.
- (c) where floors are used for off-street parking and loading, the taking on or discharging of passengers, bicycle storage, heating and mechanical equipment, or uses which in the opinion of the Director of Planning are similar to the foregoing, those floors or portions thereof so used, which:
  - (i) are at or below the base surface, provided that the maximum exclusion for a parking space shall not exceed 7.3 m in length; or

- (ii) are above the base surface and where developed as off-street parking are located in an accessory building situated in the rear yard, provided that the maximum exclusion for a parking space shall not exceed 7.3 m in length;
- (d) storage space associated with an Artist Studio - Class B where the space is provided below the base surface and subject to a maximum exclusion of 20 m<sup>2</sup> for each Artist Studio - Class B; and
- (e) amenity areas for the social and recreational enjoyment of residents and employees, or providing a service to the public, including facilities for general fitness, general recreation and child day care provided that:
  - (i) the total area being excluded shall not exceed the lesser of 20 percent of the permitted floor space or 100 m<sup>2</sup>; and
  - (ii) in the case of a child day care centre, the Director of Planning, on the advice of the Director of Social Planning, is satisfied that there is a need for a day care facility in the building or in the immediate neighbourhood.

4.7.5 *In sub-area A, notwithstanding section 4.7.1 of this schedule, if the Director of Planning first considers the intent of this schedule and all applicable Council policies and guidelines, the Director of Planning may permit an increase in the permitted floor area of one m<sup>2</sup> per amenity share, provided to the City at no cost to the City, to a maximum additional floor space ratio of 2.0 in addition to the maximum permitted floor space ratio of 3.0, for the following uses:*

- (a) *Artist Studio, Manufacturing Uses, Utility and Communication Uses, Wholesale Uses, and Service Uses listed in section 2.2.S; and*
- (b) *Office Uses listed in 2.2.O and 3.2.O, except that the total floor area may include up to a maximum floor space ratio of 4.0 for Office Uses, and must include a minimum 1.0 floor space ratio for any of the following uses combined:*
  - (i) *Cultural and Recreational, limited to Artist Studio - Class B;*
  - (ii) *Manufacturing, limited to Bakery Products Manufacturing, Brewing or Distilling, Chemicals or Chemical Products Manufacturing - Class B, Clothing Manufacturing, Dairy Products Manufacturing, Food or Beverage Products Manufacturing - Class B, Furniture or Fixtures Manufacturing, Jewellery Manufacturing, Leather Products Manufacturing, Metal Products Manufacturing - Class A or B, Miscellaneous Products Manufacturing - Class A, Miscellaneous Products Manufacturing - Class B, Non-metallic Mineral Products Manufacturing - Class B, Paper Products Manufacturing, Printing or Publishing, Plastic Products Manufacturing, Rubber Products Manufacturing, Shoes or Boots Manufacturing, Textiles or Knit Goods Manufacturing, and Wood Products Manufacturing - Class B;*
  - (iii) *Retail, limited to Farmers' Market; or*
  - (iv) *Service, limited to Catering Establishment, Motor Vehicle Repair Shop, Print Shop, Repair Shop - Class A, Repair Shop - Class B, and Sign Painting Shop.*

4.7.6 *Notwithstanding section 4.7.5, the maximum floor space ratio achievable as a result of the provision of amenity shares must otherwise comply in all respects with this district schedule and this by-law, and consideration shall be given to:*

- (a) *the height, bulk, massing, location and overall design of the building and its effect on the site, surrounding buildings and streets;*
- (b) *the provision of public open space, landscape, and the effects of overall design on the general amenity of the area;*

- (c) the provision of roads and bike and pedestrian connections as outlined in plans and policies adopted by Council;*
- (c) the effect of the development on traffic in the area; and*
- (d) the provision for pedestrian needs.*

**4.7.5** *For the purposes of section 4.7.5, amenity share means an amenity share as set out in Schedule F of the Zoning and Development By-law.*

**4.7.6** *For the purposes of this district schedule, amenity means the following:*

*(a) Community Centre or Neighbourhood House.*

**4.7.7** *In sub-area B, ~~The~~ the Development Permit Board or the Director of Planning, as the case may be, may relax the provisions of section 4.7.1 up to a floor space ratio of 3.0 for Office Uses listed in section 2.2.0, if the Development Permit Board or the Director of Planning, as the case may be, first considers:*

- (a) the intent of the schedule, all applicable policies and guidelines adopted by Council, and the relationship of the development to any nearby residential uses;*
- (b) the height, bulk, location, and overall design of the building and its effect on the site, surrounding buildings, and streets; and*
- (c) the provision of roads and bike and pedestrian connections as outlined in plans and policies adopted by Council.*

**4.8 to  
4.165** (Reserved)

#### **4.16 Building Depth and Building Width**

**4.16.1** *In sub-area A, the building depth must not exceed 61 m, measured in a straight line parallel to the side property line, from the front exterior wall to rear exterior wall at street grade.*

**4.16.2** *In sub-area A, the building width must not exceed 61 m, measured in a straight line parallel to the front property line, from the two side exterior walls at grade.*

**4.16.3** *Notwithstanding sections 4.16.1 and 4.16.2, eaves and gutters or other projections, which in the opinion of the Director of Planning are similar, may project into the minimum side yard to a maximum of 1.0 m measured horizontally*

**4.16.4** *Despite sections 4.16.1 and 4.16.2, where a functional need is demonstrated, the Director of Planning may permit an increased building depth or width if the Director of Planning first considers:*

- (a) the existing street network, loading and vehicular access;*
- (b) the provision of a visually interesting building massing; and*
- (c) the intent of this district schedule and all applicable policies and guidelines.*



**4.17 External Design**

- 4.17.1 Any fence, wall, or landscaping located along the street property line (which is, for the purposes of this section 4.17, the property line along an abutting street but not a lane) shall facilitate pedestrian interest to the satisfaction of the Director of Planning.
- 4.17.2 All garbage containers shall be enclosed, located, or screened so as not to be visible from the centre line of an abutting street.

False Creek Flats Plan  
DRAFT IC-3 DISTRICT SCHEDULE AMENDMENTS

Note: A By-law will be prepared generally in accordance with the provisions listed below, subject to change and refinement prior to posting.

NOTE - insertions in *italics*, sections removed in ~~strikethrough italics~~

IC-3 District Schedule

1 Intent

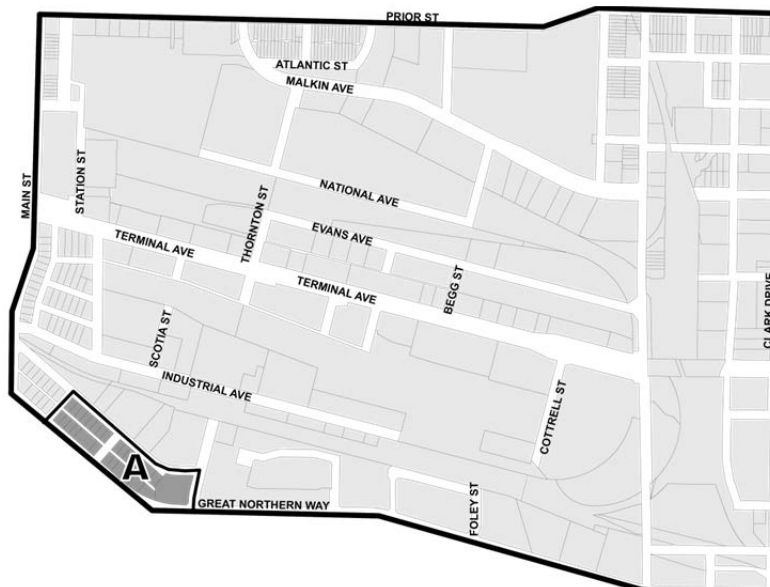
- 1.1 The primary intent of this Schedule is to permit a mix of light industrial, live arts and theatre, residential and related uses that are generally compatible with adjoining residential and commercial districts. Service uses compatible with and complementing light industrial uses and a limited number of office uses are also permitted, but not general retail stores.

*In the False Creek Flats, north of Great Northern Way, additional discretionary height and density may be considered where 20% of the residential floor area is used for social housing or where all of the dwelling units are secured market rental housing.*

The general intent of the external design regulations is to achieve certain public objectives with respect to the historic Brewery Creek water course.

- 1.2 *Within the False Creek Flats, the area north of Great Northern Way and 2nd Avenue illustrated in Figure 1 is referred to as sub-area A, solely for the purpose of establishing permitted uses, setbacks, floor area and height.*

Figure 1



2 Outright Approval Uses

2.1 Subject to all other provisions of this By-law, including the additional regulations in section 11.3 of this By-law, and to compliance with section 2.3 and the regulations of this Schedule, the uses listed in section 2.2 shall be permitted in this District and shall be issued a permit.

2.2 Uses

2.2.A • Accessory Buildings customarily ancillary to any of the uses listed in this Schedule, except that:

- (a) an accessory building must not exceed 4.6 m in height, and must not exceed 3.7 m in height measured to the highest point of the roof if a flat roof, to the deck line of a mansard roof, or to the mean height level between the eaves and ridge of a gable, hip, or gambrel roof;
- (b) an accessory building must be situated in the rear yard no less than 3.1 m from the ultimate centre line of any rear or flanking lane; and
- (c) an accessory building's total floor area, measured to the extreme outer limits of the building, must not exceed 10% of the total area of the site.

- Accessory Uses customarily ancillary to any of the uses listed in this section, but not including accessory retail use in conjunction with wholesale uses listed in section 2.2.W, provided that, unless permitted as an outright approval use pursuant to section 2.2 of this Schedule, the total floor area of all accessory uses shall not be greater than 33-⅓ percent of the gross floor area of the principal and accessory uses combined, and provided that the floor area in accessory retail use is separated by a wall from the floor area in other uses which shall be inaccessible to the general public.

2.2.C [Cultural and Recreational]

- Artist Studio - Class A, provided that the use must not be combined with a Residential Unit, the change of use must only apply to floor area existing as of February 26, 2013, and any additions are limited to no more than 10 percent of existing floor area.
- Arts and Culture Indoor Event.
- Club.
- Fitness Centre.
- Hall.
- Theatre.

2.2.M [Manufacturing]

- Bakery Products Manufacturing.
- Batteries Manufacturing.
- Chemicals or Chemical Products Manufacturing - Class B.
- Clothing Manufacturing.
- Dairy Products Manufacturing.
- Electrical Products or Appliances Manufacturing.
- Food or Beverage Products Manufacturing - Class B.
- Furniture or Fixtures Manufacturing.
- Ice Manufacturing.
- Information Communication Technology Manufacturing.
- Jewellery Manufacturing.
- Leather Products Manufacturing.

- Miscellaneous Products Manufacturing - Class B.
- Non-metallic Mineral Products Manufacturing - Class B.
- Paper Products Manufacturing.
- Plastic Products Manufacturing.
- Printing or Publishing.
- Rubber Products Manufacturing.
- Shoes or Boots Manufacturing.
- Tobacco Products Manufacturing.
- Wood Products Manufacturing - Class B.

2.2.R [Retail]

- Retail Store, but limited to the sale of art and hand-crafted products.

2.2.S [Service]

- Catering Establishment.
- Laboratory.
- Laundry or Cleaning Plant.
- Motor Vehicle Repair Shop.
- Motor Vehicle Wash.
- Photofinishing or Photography Laboratory.
- Photofinishing or Photography Studio.
- Print Shop.
- Production or Rehearsal Studio.
- School - Vocational or Trade.
- Sign Painting Shop.
- Work Shop.

2.2.T [Transportation and Storage]

- Cold Storage Plant.
- Packaging Plant.
- Storage Warehouse.

2.2.U [Utility and Communication]

- Radiocommunication Station.

2.2.W [Wholesale]

- Lumber and Building Materials Establishment.
- Wholesaling - Class A.
- Wholesaling - Class B, provided that floor area does not exceed 1 000 m<sup>2</sup>.

2.3 Conditions of Use

2.3.1 No use listed in section 2.2 of this Schedule, except a retail store and a lumber store, shall be carried on other than wholly within a completely enclosed building, except for off-street parking and loading, heating and mechanical equipment, or other facilities or equipment which in the opinion of the Director of Planning are similar to the foregoing.

2.3.2 No use listed in section 2.2 of this Schedule shall involve the bulk storage, pending ultimate distribution off site, of explosives, fireworks, ammunition, matches, or flares; radioactive material; rags or cotton waste; and compressed gas, petroleum, coal or tar products or derivatives.

3 Conditional Approval Uses

3.1 Subject to all other provisions of this By-law, including section 3.3.3, and the additional regulations in section 11.3 of this By-law, and the provisions and regulations of this Schedule, the Development Permit Board may approve any of the uses listed in section 3.2, subject to the conditions of section 3.3, and including such other conditions as it may decide, provided that it first considers:

- (a) the intent of this Schedule and all applicable policies and guidelines adopted by Council; and
- (b) the submission of any advisory group, property owner or tenant.

3.2 Uses

- 3.2.A
- Accessory Uses customarily ancillary to any of the uses listed in this section, subject to the same provisions as section 2.2.A of this Schedule.
  - Accessory Uses customarily ancillary to any of the uses listed in this Schedule, other than as provided for in section 2.2.A of this Schedule.

3.2.AG [Agricultural]

- Urban Farm - Class B, subject to the provisions of section 11.30 of this By-law.

3.2.C [Cultural and Recreational]

- Artist Studio, subject to the provisions of section 11.18 of this By-law.
- Bingo Hall.
- Casino - Class 1.
- Community Centre or Neighbourhood House.

3.2.DW [Dwelling]

- Dwelling Unit for a caretaker, watchman or other person or persons similarly employed, if such dwelling unit is considered to be essential to the operation of the business or establishment.
- Dwelling Units in conjunction with any of the uses listed in this schedule except that no portion of the first storey of a building to a depth of 10.7 m from the front wall of the building and extending across its full width shall be used for residential purposes except for entrances to the residential portion.
- Dwelling Unit existing as of and used continuously since October 25, 1988, provided that any additions thereto are limited to 10 percent of existing floor space or 37 m<sup>2</sup>, whichever is the lesser.
- *Micro dwelling, subject to the provisions of section 11.27 of this By-law, but only in sub-area A as shown in Figure 1.*
- Residential Unit associated with and forming an integral part of an Artist Studio, subject to the provisions of section 11.19 of this By-law.

3.2.I [Institutional]

- Ambulance Station.
- Child Day Care Facility.
- Public Authority Use.
- Social Service Centre.

3.2.M [Manufacturing]

- Brewing or Distilling.
- Chemicals or Chemical Products Manufacturing - Class A.
- Food or Beverage Products Manufacturing - Class A.

- Linoleum or Coated Fabrics Manufacturing.
  - Machinery or Equipment Manufacturing.
  - Metal Products Manufacturing - Class B.
  - Miscellaneous Products Manufacturing - Class A.
  - Motor Vehicle Parts Manufacturing.
  - Non-metallic Mineral Products Manufacturing - Class A.
  - Rubber Manufacturing.
  - Textiles or Knit Goods Manufacturing.
  - Transportation Equipment Manufacturing.
  - Vegetable Oil Manufacturing.
- 3.2.0 [Office]
- General office, but not including the offices of accountants, lawyers and notary publics, nor the offices of real estate, advertising, insurance, travel and ticket agencies.
- 3.2.P • Parking Uses.
- 3.2.R [Retail]
- Farmers' Market, subject to the provisions of Section 11.21 of this By-law. Compatibility with nearby sites, parking, traffic, noise, hours of operation, size of facility, pedestrian amenity.
  - Public Bike Share.
- 3.2.S [Service]
- Auction Hall.
  - Cabaret.
  - Restaurant - Class 1.
  - Restaurant - Class 2.
  - School-Arts or Self Improvement.
- 3.2.T [Transportation and Storage]
- Aircraft Landing Place.
  - Railway Station or Rail Yard.
  - Storage Yard.
  - Taxicab or Limousine Station.
  - Truck Terminal or Courier Depot.
  - Weighing or Inspection Station.
  - Works Yard.
- 3.2.U [Utility and Communication]
- Public Utility.
  - Recycling Depot.
- 3.2.W [Wholesale]
- Cardlock Fuel Station.
  - Wholesaling - Class B, other than as provided for in section 2.2.WH of this Schedule.
- 3.2.Z • Any other use which is not specifically listed and defined as a use in section 2 of this By-law but which the Development Permit Board considers comparable in nature to the uses listed in this Schedule, having regard to the intent of this District Schedule.

- Any use which is listed in section 2.2 of this Schedule but which does not comply with the conditions of use of section 2.3.1.
- Any other use which is not specifically listed in this District Schedule but which was a legally conforming use existing as of October 25, 1988.

### 3.3 Conditions of Use

- 3.3.1 No use listed in section 3.2 of this Schedule, except a Cardlock fuel station and transportation and storage uses, shall be carried on other than wholly within a completely enclosed building unless appropriate measures are taken, to the satisfaction of the Director of Planning, to eliminate any dangerous, injurious, noxious or otherwise objectionable impact that could adversely affect the surrounding area and adjoining non-industrial districts.
- 3.3.2 No use listed in section 3.2 of this Schedule shall involve the bulk storage, pending ultimate distribution off site, of explosives, fireworks, ammunition, matches, or flares; radioactive material; rags or cotton waste; and, except for a Cardlock fuel station, compressed gas, petroleum, coal or tar products or derivatives.
- 3.3.3 No use listed in section 3.2 of this Schedule shall involve the storage, other than wholly within a completely enclosed building, of toxic or corrosive chemicals or acids; scrap; fungicides, herbicides or pesticides; paint, varnish, oil shellac or turpentine; grain, hops, or sugar; fish, fish oil or meal, animal oil or fat, or vegetable oil.
- 3.3.4 No use listed in section 3.2 of this Schedule shall involve the storage of goods or materials other than wholly within a completely enclosed building unless the yard or portion of the yard containing the goods or materials is enclosed by a suitable fence or wall restricting public access.
- 3.3.5 No use listed in section 3.2 of this Schedule shall involve the storage of goods or materials or the placement of machinery or of refuse or garbage receptacles other than wholly within a completely enclosed building unless adequately screened from view from any adjacent R district, or any R district across an adjacent street or lane, by evergreen planting, wall, or fence and related landscaping that is acceptable to the Director of Planning.
- 3.3.6 A lounge use accessory to Brewing or Distilling use shall be carried on wholly within a completely enclosed building.

### 4 Regulations

All uses approved under sections 2 and 3 of this Schedule shall be subject to the following regulations:

#### 4.1 Site Area -- Not Applicable.

#### 4.2 Frontage -- Not Applicable.

#### 4.3 Height

- 4.3.1 The maximum height of a building shall be 18.3 m.

#### 4.4 Front Yard

- 4.4.1 No front yard shall be required.

#### 4.5 Side Yards

- 4.5.1 No side yard shall be required, except where the site adjoins, without the intervention of a lane, a site located in an R District, in which case a side yard with a minimum width of 1.5 m shall be provided adjoining the R District.
- 4.5.2 Where a side yard is provided, although not required, a side yard with a minimum width of .9 m shall be provided.

#### 4.6 Rear Yard

- 4.6.1 A rear yard with a minimum depth of 3.1 m shall be provided, except that where the rear of the site abuts a lane, this required minimum depth shall be decreased by the lane width between the rear property line and the ultimate centre of the lane.
- 4.6.2 The Director of Planning may waive the requirement to provide a rear yard where he is satisfied that the site is located within an area where rear access to the site and adjacent sites is not likely to be required.

#### 4.7 Floor Space Ratio

- 4.7.1 The floor space ratio shall not exceed 3.00, subject to the following:
- (a) the maximum floor space ratio shall be 1.00 for all uses other than artist studio, manufacturing uses, retail store, school, theatre, transportation and storage uses, and wholesaling - class A;
  - (b) the maximum floor space ratio shall be 2.5 for artist studio and the associated residential unit;
  - (c) the floor area in retail uses, including accessory retail, shall not exceed 1 000 m<sup>2</sup>; and
  - (d) the floor area for a lounge use accessory to a Brewing or Distilling use shall not exceed 80 m<sup>2</sup>.
- 4.7.2 The following shall be included in the computation of floor space ratio:
- (a) all floors of all buildings, both above and below ground level, to be measured to the extreme outer limits of the building; and
  - (b) in dwelling units and artists studios, where the distance from a floor to the floor above, or where there is no floor above, to the top of the roof rafters or deck exceeds 3.7 m, an additional amount equal to the area of the floor below the excess height, except that the Director of Planning may exclude additional height in combination with:
    - (i) an undeveloped floor area beneath roof elements which are, in the opinion of the Director of Planning, solely for decorative purposes and to which the only means of access is a hatch, residential lobby or mechanical penthouse, or
    - (ii) venting skylights, opening clerestory windows or other similar features which, in the opinion of the Director of Planning, reduce energy consumption or improve natural light and ventilation.
- 4.7.3 The following shall be excluded in the computation of floor space ratio:
- (a) open ~~residential~~ balconies and any other appurtenances which, in the opinion of the Director of Planning, are similar to the foregoing, provided that the total area of all exclusions does not exceed ~~eight~~ *twelve* percent of the ~~residential~~ floor area being provided;
  - (b) roof decks if the Director of Planning first considers:



- (i) the design of landscape treatments;
  - (ii) the effect on privacy and overlook; and
  - (iii) all applicable Council policies and guidelines.
- (c) where floors are used for off-street parking and loading, the taking on or discharging of passengers, bicycle storage, heating and mechanical equipment, or uses which in the opinion of the Director of Planning are similar to the foregoing, those floors or portions thereof so used, which are at or below the base surface, provided that the off-street parking spaces do not have a length of more than 7.3 m for the purpose of exclusion from floor space ratio computation;
- (d) storage space associated with an artist studio where the space is provided below the base surface and subject to a maximum exclusion of 20 m<sup>2</sup> for each artist studio; and
- (e) amenity areas, including child day care facilities, recreation facilities and meeting rooms accessory to a residential use, to a maximum total area of 10 percent of the total permitted floor area.

4.7.4 Where a need for a cultural facility has been demonstrated to the satisfaction of the Development Permit Board or Director of Planning, the Development Permit Board or Director of Planning may increase the maximum floor space ratio for any one building, which includes one or more of such facilities. The Development Permit Board or the Director of Planning will require that any such facility be preserved in the public domain by way of a registered agreement and operated by the City or its delegates.

In determining the increase in floor area that may be permitted, the Development Permit Board or Director of Planning shall consider:

- (a) the construction cost of the facility;
- (b) any costs to the developer of continuing maintenance required for the facility;
- (c) the rental value of the increased floor area;
- (d) the value of any authorized relaxation of other restrictions;
- (e) the opinion of City Council; and
- (f) all applicable policies and guidelines adopted by Council.

4.7.5 The Director of Planning or the Development Permit Board may, for any development where a residential unit is being provided in conjunction with and forming an integral part of an artist studio, permit an increase in floor space ratio, subject to prior approval by City Council, and the securing of a Housing Agreement and provided that the residential unit is occupied by persons receiving income equal to or less than the income defined by the British Columbia Housing Management Corporation as 'core need'.

In determining the amount of the increase in floor space ratio that may be permitted by this section 4.7.5, the Director of Planning or the Development Permit Board, with advice from the Manager of the Housing Centre and the Manager of Real Estate, shall consider:

- (a) the cost to the developer of adhering to the conditions of the housing agreement;
- (b) the value of the increased floor area;
- (c) the value of any relaxation of other regulations;
- (d) the impact upon livability and environmental quality of the neighbourhood; and
- (e) all applicable policies and guidelines adopted by Council.

4.8 to  
4.154 (Reserved)

#### 4.15 Acoustics

- 4.15.1 *In sub-area A as shown in Figure 1, a development permit application for dwelling uses requires evidence in the form of a report and recommendations prepared by persons trained in acoustics and current techniques of noise measurements, demonstrating that the noise levels in those portions of the dwelling units listed below do not exceed the noise levels expressed in decibels set opposite such portions of the dwelling units. For the purposes of this section the noise level is the A-weighted 24-hour equivalent (Leq) sound level and will be defined simply as the noise level in decibels.*

<i>Portions of dwelling units</i>	<i>Noise levels (Decibels)</i>
<i>Bedrooms</i>	<i>35</i>
<i>Living, dining, recreation rooms</i>	<i>40</i>
<i>Kitchen, bathrooms, hallways</i>	<i>45</i>

#### 4.16 (Reserved)

#### 4.17 External Design

- 4.17.1 Building continuity shall be achieved at the street property line (which is, for the purposes of this section 4.17, the property line along an abutting street but not a lane) as follows:
- (a) no yard shall be permitted along a street property line, except for a required setback, side or rear yard, and yard established by building line;
  - (b) the first storey shall include the main pedestrian entrance and facilities serving the public, such as reception area or lobby and showroom or display area, which shall be oriented with maximum visibility to the abutting street or, in the case of a corner site, the widest abutting street;
  - (c) where a building occupies a corner site, architectural features, lighting, signage, and related facade characteristics shall be located so as to orient the building to the widest abutting street;
  - (d) transparent window area shall comprise at least 80 percent of the exterior wall surface of the first storey along an abutting street and 40 percent of the exterior wall surface on every upper storey along an abutting street;
  - (e) no portion of the floor of the first storey along an abutting street shall be more than 1.0 m above or below grade at the street property line.
- 4.17.2 If the Director of Planning or Development Permit Board is satisfied that enforcement of section 4.17.1 will result in unnecessary hardship, and that the form of development will otherwise achieve building continuity, the Director of Planning or Development Permit Board may relax all or some of the requirements of section 4.17.1.
- 4.17.3 Garbage container storage areas, heating and mechanical equipment, and off-street parking and loading facilities shall be enclosed, located or screened so as not to be visible from the centre line of an abutting street.
- 4.17.4 Any use which is not carried on wholly within a completely enclosed building, including parking use, shall be set back 1.2 m from the street property line at an abutting street and screened, so as not to be visible from the centre line of every abutting street, by evergreen planting, wall, or fence with related landscaping.

**5        *Relaxation of Regulations***

- 5.1**        *In sub-area A, as shown in Figure 1, the Director of Planning or the Development Permit Board may relax the regulations regarding permitted floor space ratio for dwelling units in conjunction with other permitted uses, if the Director of Planning or the Development Permit Board first considers the intent of this schedule, and all applicable Council policies and guidelines, and:*
- (a) the total floor space ratio does not exceed 4.0, except that the maximum floor space ratio for dwelling uses shall not exceed 3.5, and*
  - (b) for the purpose of this clause an artist studio and its associated residential unit shall together be considered a dwelling use; and*
  - (c) a minimum of 20% of the residential floor area included in the calculation of floor space ratio must be used for social housing, or*
  - (d) all dwelling units must be secured market rental housing.*
- 5.2**        *In sub-area A, as shown in Figure 1, the Director of Planning or the Development Permit Board may relax the regulations regarding permitted height for dwelling units in conjunction with other permitted uses, if the Director of Planning or the Development Permit Board first considers the intent of the schedule, and all applicable Council policies and guidelines, and:*
- (a) the maximum height does not exceed 30.5 m.; and*
  - (b) a minimum of 20% of the residential floor area included in the calculation of floor space ratio is used for social housing, or*
  - (c) all dwelling units must be secured market rental housing.*

False Creek Flats Plan  
DRAFT MC-1 and MC-2 DISTRICTS SCHEDULE AMENDMENTS

Note: A By-law will be prepared generally in accordance with the provisions listed below, subject to change and refinement prior to posting.

NOTE - insertions in *italics*, sections removed in ~~strike through italics~~  
MC-1 and MC-2 Districts Schedule

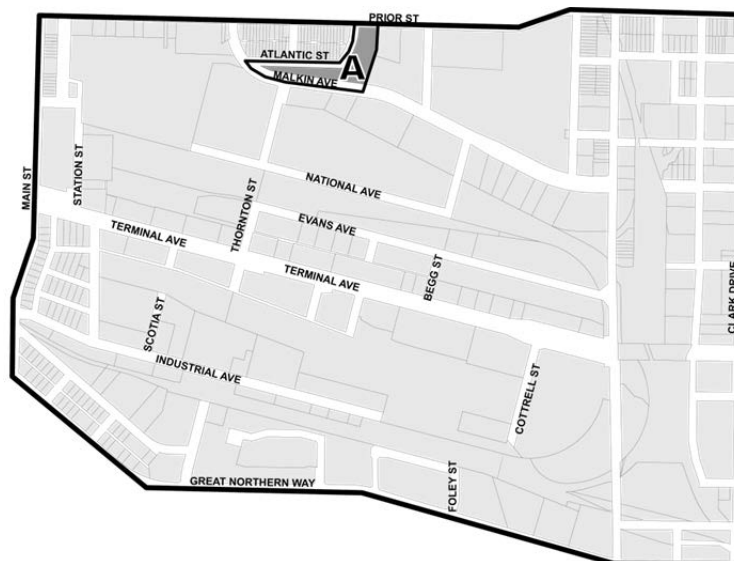
1 Intent

- 1.1 The intent of this Schedule is to reinforce the mixed use nature of this area, with residential, commercial and light industrial uses permitted. Emphasis is placed on building design that furthers compatibility among uses, and contributes to area character and pedestrian interest. The MC-2 District differs from the MC-1 District in limiting dwelling uses in areas adjacent to a heavy impact industrial zone.

*The area of MC-1 bounded by Malkin Avenue, Atlantic Street and Prior Street allows conditional height and density to achieve new secured market rental housing to provide a transition between the residential area north of Atlantic and Prior streets and the employment-focused area of the False Creek Flats to the south.*

- 1.2 *Within the False Creek Flats, the MC-1 area north of Malkin Avenue and illustrated in Figure 1 is referred to as sub-area A, solely for the purpose of establishing permitted uses, setbacks, floor area and height.*

Figure 1



## 2 Outright Approval Uses

2.1 Subject to all other provisions of this By-law and to compliance with section 2.3 and the regulations of this Schedule, the uses listed in section 2.2 shall be permitted in the MC-1 District and MC-2 District and shall be issued a permit.

### 2.2 Uses

2.2.1 The uses listed in section 2.2.1 shall be permitted in the MC-1 and MC-2 Districts.

2.2.1A • Accessory Buildings customarily ancillary to any of the uses listed in this Schedule, provided that:

- (a) no accessory building exceeds 3.7 m in height measured to the highest point of the roof if a flat roof, to the deck line of a mansard roof, or to the mean height level between the eaves and the ridge of a gable, hip or gambrel roof, provided that no portion of an accessory building may exceed 4.6 m in height;
- (b) all accessory buildings are located in the rear yard and in no case are less than 3.1 m from the ultimate centre line of any rear or flanking lane;
- (c) the total floor area, measured to the extreme outer limits of the building, of all accessory buildings is not greater than 15 percent of the total area of the site;
- (d) not applicable;
- (e) not applicable;
- (f) no accessory building obstructs the horizontal daylight access prescribed in this Schedule for residential use.

- Accessory Uses customarily ancillary to any of the uses listed in this section, provided that the total area of all accessory uses is not greater than 25 percent of the gross floor area of the principal and accessory uses combined.

#### 2.2.1C [Cultural and Recreational]

- Artist Studio - Class A, provided that the use must not be combined with a Residential Unit, the change of use must only apply to floor area existing as of February 26, 2013, and any additions are limited to no more than 10 percent of existing floor area.
- Arts and Culture Indoor Event.
- Library.
- Museum or Archives.

#### 2.2.1M [Manufacturing]

- Bakery Products Manufacturing.
- Chemical or Chemical Products - Class B.
- Clothing Manufacturing.
- Dairy Products Manufacturing.
- Electrical Products or Appliances Manufacturing.
- Food or Beverage Products Manufacturing - Class B.
- Furniture or Fixtures Manufacturing.
- Ice Manufacturing.
- Information Communication Technology Manufacturing.
- Jewellery Manufacturing.
- Leather Products Manufacturing.
- Miscellaneous Products Manufacturing - Class B.
- Non-Metallic Minerals Products Manufacturing - Class B.

- Paper Products Manufacturing.
- Plastic Products Manufacturing.
- Printing or Publishing.
- Shoes or Boots Manufacturing.
- Tobacco Products Manufacturing.

2.2.10 [Office]

- Financial Institution.
- General Office.
- Health Care Office.

2.2.1R [Retail]

- Grocery or Drug Store except for Small-scale Pharmacy.
- Retail Store.

2.2.1S [Service]

- Animal Clinic.
- Barber Shop or Beauty Salon.
- Beauty and Wellness Centre.
- Bed and Breakfast Accommodation, subject to the provisions of section 11.4 of this By-law.
- Catering Establishment.
- Laboratory.
- Laundromat or Dry Cleaning Establishment.
- Laundry or Cleaning Plant.
- Motor Vehicle Repair Shop.
- Motor Vehicle Wash.
- Photofinishing or Photography Laboratory.
- Photofinishing or Photography Studio.
- Print Shop.
- Production or Rehearsal Studio.
- Repair Shop - Class A.
- Repair Shop - Class B.
- Restaurant - Class 1.
- School - Arts or Self-Improvement.
- School - Business.
- School - Vocational or Trade.
- Sign Painting Shop.
- Work Shop.

2.3 Conditions of Use

- 2.3.1 No use listed in section 2.2 of this Schedule shall involve the bulk storage of vegetable oil or fat; fish; fish oil or meal; animal oil or fat; grain; sugar; hops; scrap or waste materials; junk; lime; fertilizer; fungicides; herbicides; pesticides; explosives; matches; ammunition; fireworks; flares; wax; industrial chemicals; acids; paints; varnishes; rags; cotton waste; radioactive materials; or, except for a full serve or split island gasoline station, compressed gas, petroleum, coal tar products or derivatives.
- 2.3.2 No use listed in section 2.2 of this Schedule shall involve the storage, other than wholly within a completely enclosed building, of vegetable oil or fat; fish; fish oil or meal; animal oil or fat; scrap or waste material; paints; varnishes; oil shellac or

turpentine; grain; sugar; hops; pesticides; fungicides; herbicides; or toxic or corrosive chemicals or acids.

2.3.3 No commercial or industrial use listed in section 2.2 of this Schedule shall involve the keeping of live animals except:

- (a) animal clinic;
- (b) laboratory; and
- (c) retail store.

2.3.4 All uses listed in section 2.2 of this Schedule shall be carried on wholly within a completely enclosed building except for the following:

- (a) parking and loading facilities;
- (b) full serve and split island gasoline station, except that section 11.10.2 of this By-law continues to apply;
- (c) restaurant;
- (d) display of flowers, plants, fruits and vegetables;
- (e) neighbourhood public house;
- (f) vehicle dealer;
- (g) transportation and storage uses; and
- (h) lumber and building materials establishment.

2.3.5 Where goods, materials, machinery, or refuse or garbage receptacles are stored or placed outside a building, they shall be enclosed by a minimum 1.8 m high fence, wall or evergreen planting, to restrict public access and screen from public view.

### 3 Conditional Approval Uses

3.1 Subject to all other provisions of this By-law, including section 3.3.3, and the provisions and regulations of this Schedule, the Development Permit Board may approve any of the uses listed in section 3.2, subject to the conditions of section 3.3, and including such other conditions as it may decide, provided that it first considers:

- (a) the intent of this Schedule and all applicable policies and guidelines adopted by Council; and
- (b) the submission of any advisory group, property owner or tenant.

### 3.2 Uses

3.2.1 The uses listed in section 3.2.1 may be permitted in the MC-1 and MC-2 Districts.

3.2.1A • Accessory uses to any of the uses listed in this section, subject to the same provisions as section 2.2.1A of this Schedule.

#### 3.2.1AG [Agricultural]

- Urban Farm - Class B, subject to the provisions of section 11.30 of this By-law.

#### 3.2.1C [Cultural and Recreational]

- Billiard Hall.
- Bowling Alley.
- Club.
- Community Centre or Neighbourhood House.
- Fitness Centre.
- Hall.
- Park or Playground.
- Rink.

- Swimming Pool.
  - Theatre.
  - Zoo or Botanical Garden.
- 3.2.1D • Deposition or extraction of material so as to alter the configuration of the land.
- 3.2.1I [Institutional]
- Ambulance Station.
  - Child Day Care Facility.
  - Church.
  - Detoxification Centre.
  - Public Authority Use.
  - School - Elementary or Secondary.
  - School - University or College.
  - Social Service Centre.
  - Community Care Facility - Class A.
  - Community Care Facility - Class B, subject to the provisions of section 11.17 of this By-law.
  - Group Residence, subject to the provisions of section 11.17 of this By-law.
- 3.2.1M [Manufacturing]
- Food or Beverage Products Manufacturing - Class A
  - Metal Products Manufacturing - Class B.
  - Textiles or Knit Goods Manufacturing.
  - Wood Products Manufacturing - Class B.
- 3.2.1O [Office]
- Health Enhancement Centre.
- 3.2.1P [Parking]
- Parking Area.
- 3.2.1R [Retail]
- Farmers' Market, subject to the provisions of Section 11.21 of this By-law. *Compatibility with nearby sites, parking, traffic, noise, hours of operation, size of facility, pedestrian amenity.*
  - Furniture and Appliance Store.
  - Gasoline Station - Full Serve, subject to the provisions of section 11.10 of this By-law.
  - Gasoline Station - Split Island, subject to the provisions of section 11.10 of this By-law.
  - Liquor Store.
  - Pawnshop.
  - Public Bike Share.
  - Secondhand Store.
  - Small-scale Pharmacy, subject to the provisions of section 11.22 of this By-law.
  - Vehicle Dealer.
- 3.2.1S [Service]
- Auction Hall.
  - Funeral Home.
  - Neighbourhood Public House.



3.2.1T [Transportation and Storage]

- Cold Storage Plant.
- Mini-storage Warehouse.
- Storage Warehouse.
- Taxicab or Limousine Station.
- Works Yard.

3.2.1U [Utility and Communication]

- Public Utility.
- Radiocommunication Station.
- Recycling Depot.

3.2.1W [Wholesale]

- Lumber and Building Materials Establishment.
- Wholesaling - Class A.
- Wholesaling - Class B.

3.2.1Z • Any other use which is not specifically listed and defined as a use in section 2 of this By-law but which the Development Permit Board considers comparable in nature to the uses listed in this Schedule, having regard to the intent of this District Schedule.

3.2.2 The uses listed in section 3.2.2 may be permitted only in the MC-1 District.

3.2.2.C [Cultural and Recreational]

- Artist Studio, Subject to section 11.18 of this by-law.
- *Artist Studio - Class A, but only in sub-area A as shown in Figure 1.*
- *Artist Studio - Class B, but only in sub-area A as shown in Figure 1.*

3.2.2DW [Dwelling]

- Dwelling Unit in conjunction with any of the uses listed in this District Schedule, except that there must be no use for residential purposes of any portion of the first storey of a building to a depth of 10.7 m from the front wall of the building and extending across its full width unless the use consists only of entrances to the residential portion of the building, and except that, before making a decision to permit a dwelling Unit, the Development Permit Board must consider the design and livability of the Dwelling Unit.
- Multiple Conversion Dwelling, resulting from the conversion of a building which was in existence prior to June 18, 1956, except that a Multiple Conversion Dwelling must not contain any Housekeeping Unit or Sleeping Unit, and except that, before making a decision to permit a Multiple Conversion Dwelling, the Development Permit Board must consider the quality and livability of the Multiple Conversion Dwelling, the suitability of the building for conversion in terms of age and size, and the effect of the conversion on adjacent properties and the character of the area.
- Multiple Dwelling, *but not in sub-area A as shown in shown in Figure 1.*
- Residential Unit associated with and forming an integral part of an Artist Studio, subject to section 11.19 of this By-law.

- Seniors Supportive or Assisted Housing, subject to section 11.17 of this By-law.

3.2.3 The uses listed in section 3.2.3 may be permitted only in the MC-2 District.

3.2.3 C [Cultural and Recreational]

- Artist Studio - Class B, subject to section 11.18 of this By-law, but only if the change of use applies to floor area existing as of February 26, 2013 and additions do not exceed a maximum of 10 percent of the existing floor area.

3.2.3 DW[Dwelling]

- Dwelling Unit for a caretaker or watchman or other person similarly employed, if such Dwelling Unit is essential to the operation of the business or establishment.
- Residential Unit associated with and forming an integral part of an Artist Studio - Class B, subject to section 11.19 of this By-law.

### 3.3 Conditions of Use

3.3.1 No use listed in section 3.2 of this Schedule shall involve the bulk storage of vegetable oil or fat; fish; fish oil or meal; animal oil or fat; grain; sugar; hops; scrap or waste materials; junk; lime; fertilizer; fungicides; herbicides; pesticides; explosives; matches; ammunition; fireworks; flares; wax; industrial chemicals; acids; paints; varnishes; rags; cotton waste; radioactive materials; or, except for a full serve or split island gasoline station, compressed gas, petroleum, coal tar products or derivatives.

3.3.2 No use listed in section 3.2 of this Schedule shall involve the storage, other than wholly within a completely enclosed building, of vegetable oil or fat; fish; fish oil or meal; animal oil or fat; scrap or waste material; paints; varnishes; oil shellac or turpentine; grain; sugar; hops; pesticides; fungicides; herbicides; or toxic or corrosive chemicals or acids.

3.3.3 All uses listed in this section shall be carried on wholly within a completely enclosed building, except for the following:

- (a) parking and loading facilities;
- (b) full serve and split island gasoline station, except that section 11.10.2 of this By-law continues to apply;
- (c) display of flowers, plants, fruits and vegetables;
- (d) neighbourhood public house;
- (e) vehicle dealer;
- (f) transportation and storage uses;
- (g) lumber and building materials establishment;
- (h) farmers' market;
- (i) public bike share; and
- (j) Urban Farm - Class B.

3.3.4 Where goods, materials, machinery, or refuse or garbage receptacles are stored or placed outside a building, they shall be:

- (a) enclosed by a suitable fence or wall restricting public access; and
- (b) adequately screened from view from any adjacent R district, or any R district across an adjacent street or lane, by evergreen planting, wall, or fence or related landscaping that is acceptable to the Director of Planning.

3.3.5 Where uses are carried on outside a building, pursuant to sections 3.3.3 and 3.3.4, appropriate measures shall be taken to the satisfaction of the Director of Planning to

minimize any noxious or otherwise objectionable impacts that could adversely affect the surrounding area.

4 Regulations

All uses approved under sections 2 and 3 of this District Schedule shall be subject to the following regulations.

4.1 Site Area -- Not Applicable.

4.2 Frontage -- Not Applicable.

4.3 Height

4.3.1 The maximum height of a building shall be 12.2 m.

4.3.2 The Director of Planning or the Development Permit Board, as the case may be, may permit an increase in the maximum height of a building to a height not exceeding 13.8 m, provided that *consideration is given to:*

- (a) the intent of this Schedule and all applicable policies and guidelines adopted by Council; and
- (b) the submission of any advisory group, property owner or tenant.

4.4 Front Yard and Setback

4.4.1 No front yard or front setback shall be permitted except that the Director of Planning may permit:

- (a) a front yard or front setback where a pedestrian or shopping courtyard or other features benefitting pedestrian character are provided;
- (b) a front setback to improve the livability of dwelling uses or community care facilities or group residences above grade;
- (c) *for sites in MC-1 to provide a transition to dwelling units fronting on Heatley Avenue or Atlantic Street, a front setback may be required from either of those streets;*

provided that in *all* cases *the Director of Planning* first considers:

- (i) the intent of this Schedule and all applicable policies and guidelines adopted by Council; and
- (ii) the submission of any advisory group, property owner or tenant.

4.4.2 A setback of 1.2 m from the front property line shall be required for any parking area.

4.5 Side Yards and Setback

4.5.1 No side yard shall be required.

4.5.2 Where a side yard is provided, it shall have a minimum width of 0.9 m.

4.5.3 In the case of a corner lot, a setback of 1.2 m from the side property line abutting the flanking street shall be required for any parking area.

4.6 Rear Yard and Setback

- 
- 4.6.1 A rear yard with a minimum depth of 3.1 m shall be provided, except that where the rear of the site abuts a lane this required minimum depth shall be decreased by the lane width between the rear property line and the ultimate centre line of the lane.
- 4.6.2 Any portion of a building containing residential uses, and any portion of a building above the first storey and below the fourth storey, except for open roof gardens at the second storey floor level, shall be set back a minimum of 7.6 m from the rear property line across the full width of the building, except that where the rear of the site abuts a lane, this required minimum setback shall be decreased by the lane width between the rear property line and the ultimate centre line of the lane.
- 4.6.3 All portions of a building at the fourth storey and above shall be set back 9.1 m from the rear property line across the full width of the site, except that where the rear of the site abuts a lane, this required minimum setback shall be decreased by the lane width between the rear property line and the ultimate centre line of the lane.
- 4.7 Floor Space Ratio**
- 4.7.1 The floor space ratio shall not exceed 0.75.
- 4.7.2 The following shall be included in the computation of floor space ratio:
- (a) all floors of all buildings including accessory buildings, both above and below ground level, to be measured to the extreme outer limits of the building.
- 4.7.3 The following shall be excluded in the computation of floor space ratio:
- (a) open ~~residential~~ balconies, and any other appurtenances which, in the opinion of the Director of Planning, are similar to the foregoing, provided that the total area of all exclusions does not exceed ~~eight~~ twelve percent of the ~~residential~~ floor area being provided;
  - (b) roof decks if the Director of Planning first considers:
    - (i) the design of landscape treatments;
    - (ii) the effect on privacy and overlook; and
    - (iii) all applicable Council policies and guidelines.
  - (c) where floors are used for off-street parking and loading, the taking on or discharging of passengers, bicycle storage, heating and mechanical equipment, or uses which in the opinion of the Director of Planning are similar to the foregoing, those floors or portions thereof so used, which:
    - (i) are at or below the base surface, provided that the maximum exclusion for a parking space shall not exceed 7.3 m in length; or
    - (ii) are above the base surface and where developed as off-street parking are located in an accessory building situated in the rear yard, provided that the maximum exclusion for a parking space shall not exceed 7.3 m in length;
  - (d) amenity areas, including child day care facilities, recreation facilities and meeting rooms accessory to a residential use, to a maximum total area of 10 percent of the total permitted floor area, provided that for child day care facilities the Director of Planning, on the advice of the Director of Social Planning, is satisfied that there is a need for a day care facility in the immediate neighbourhood; and
  - (e) all residential storage space above or below base surface, except that if the residential storage space above base surface exceeds 3.7 m<sup>2</sup> per dwelling unit, there will be no exclusion for any of the residential storage space above base surface for that unit.
- 4.7.4 The Director of Planning may permit the following to be excluded in the computation of floor space ratio:

- (a) enclosed residential balconies, provided that the Director of Planning first considers all applicable policies and guidelines adopted by council and approves the design of any balcony enclosure, subject to the following:
  - (i) the total area of all open and enclosed balcony or sundeck exclusions does not exceed eight percent of the residential floor area being provided; and
  - (ii) no more than fifty percent of the excluded balcony floor area may be enclosed.

#### **4.7.5 Floor Area and Density in Sub-area A, MC-1 District**

*4.7.5.1 Notwithstanding section 4.7.1 of this schedule, if the Director of Planning first considers the intent of this schedule and all applicable Council policies and guidelines, and the submissions of any advisory groups, neighbourhood property owners or tenants consulted by the Director of Planning, the Director of Planning may permit an increase in the permitted floor area in sub-area A as shown in Figure 1 up to a maximum of 2.50 subject to the following:*

- (a) *the following uses shall not exceed a floor space ratio of 1.50:*
  - (i) *cultural and recreational;*
  - (ii) *institutional;*
  - (iv) *manufacturing, transportation and storage, utility and communication, and wholesale, combined;*
  - (iv) *office;*
  - (v) *parking;*
  - (vi) *service; and*
  - (vii) *other uses pursuant to section 3.2.Z;*

*4.7.5.2 Notwithstanding section 4.7.1 of this schedule, if the Director of Planning first considers the intent of this schedule and all applicable Council policies and guidelines, and the submissions of any advisory groups, neighbourhood property owners or tenants consulted by the Director of Planning, the Director of Planning may permit an increase in the permitted floor area in sub-area A as shown in Figure1 as follows:*

- (a) *Dwelling Uses provided that either:*
  - (i) *all of the residential floor area is developed as social housing; or*
  - (ii) *all of the dwelling units are developed as secured market rental housing;*

*to a maximum additional floor space ratio of 1.8 provided that a minimum 0.7 FSR of any cultural and recreational, manufacturing, transportation and storage, utility and communication, and wholesale uses is provided.*

**4.8 Site Coverage -- Not Applicable**

**4.9 [Deleted -- See Parking By law]**

**4.10 Horizontal Angle of Daylight**

**4.10.1** Each habitable room must have at least one window on an exterior wall of a building.

**4.10.2** Each exterior window must be located so that a plane or planes extending from the window and formed by an angle of 50 degrees, or two angles with a sum of 70 degrees, will encounter no obstruction over a distance of 24.0 m.

**4.10.3** The plane or planes referred to in section 4.10.2 must be measured horizontally from the centre of the bottom of each window.

- 4.10.4 The Director of Planning or Development Permit Board may relax the horizontal angle of daylight requirement, if:
- (a) the Director of Planning or Development Permit Board first considers all the applicable policies and guidelines adopted by Council; and
  - (b) the minimum distance of unobstructed view is not less than 3.7 m.
- 4.10.5 An obstruction referred to in section 4.10.2 means:
- (a) any part of the same building including permitted projections; or
  - (b) the largest building permitted under the zoning on any adjoining site.
- 4.10.6 A habitable room referred to in section 4.10.1 does not mean:
- (a) a bathroom; or
  - (b) a kitchen whose floor area is the lesser of:
    - (i) 10% or less of the total floor area of the dwelling unit, or
    - (ii) 9.3 m<sup>2</sup>.

4.11-4.14 [Reserved]

4.15 Acoustics

- 4.15.1 A development permit application for dwelling uses shall require evidence in the form of a report and recommendations prepared by persons trained in acoustics and current techniques of noise measurement demonstrating that the noise levels in those portions of the dwelling units listed below shall not exceed the noise levels expressed in decibels set opposite such portions of the dwelling units. For the purposes of this section the noise level is the A-weighted 24-hour equivalent (Leq) sound level and will be defined simply as the noise level in decibels.

Portions of dwelling units	Noise levels (Decibels)
bedrooms	35
living, dining, recreation rooms	40
kitchen, bathrooms, hallways	45

5 Relaxation of Regulations

- 5.1 The Director of Planning may relax the maximum height, location regulations and floor area in section 2.2.A for accessory buildings and accessory uses except that, in any event, the relaxed height shall not exceed the maximum prescribed in section 4.3.1 and the relaxed floor space shall not exceed 33-⅓ percent of the gross floor area of the principal and accessory uses combined.
- 5.2 The Director of Planning may relax the use conditions of sections 2.3.1 and 3.3.1 to permit the outdoor display of retail goods, and may include such other conditions as ~~he~~ *the Director* deems ~~s~~-necessary, having regard to the type of merchandise, the area and location of the display with respect to adjoining sites, the hours of operation and the intent of this Schedule.
- 5.3 The Director of Planning may, provided that *the Director* first considers the intent of this Schedule and all applicable policies and guidelines adopted by Council and the submission of any advisory group, property owner or tenant, relax the provisions of section 4.7.1 *in the MC-1 District, excluding sub-area A as shown in Figure 1, and the MC-2 District*, to permit an increase in the total floor space ratio up to a maximum of 2.50, subject to the following:

- (a) none of the following uses shall, subject to clause (b), exceed a floor space ratio of 1.50:
  - (i) cultural and recreational;
  - (ii) In MC-1, dwelling and, for the purpose of this clause, an Artist Studio and its associated residential unit which shall together be considered as a dwelling use;
  - (iii) institutional;
  - (iv) manufacturing, transportation and storage, utility and communication, and wholesale, combined;
  - (v) office;
  - (vi) parking;
  - (vii) service; and
  - (viii) other uses pursuant to section 3.2.Z;
- (b) as part of the increased total floor space ratio permitted under clause (a), the Director of Planning may relax the maximum floor space ratio for dwelling uses to up to 1.80;
- (c) In MC-2, dwelling and, for the purposes of this clause, an Artist Studio - Class B and its associated residential unit which shall together be considered as a dwelling use, the maximum floor space ratio shall be 1.0; and;
- (d) the maximum floor area in retail use shall be 1 300 m<sup>2</sup>.

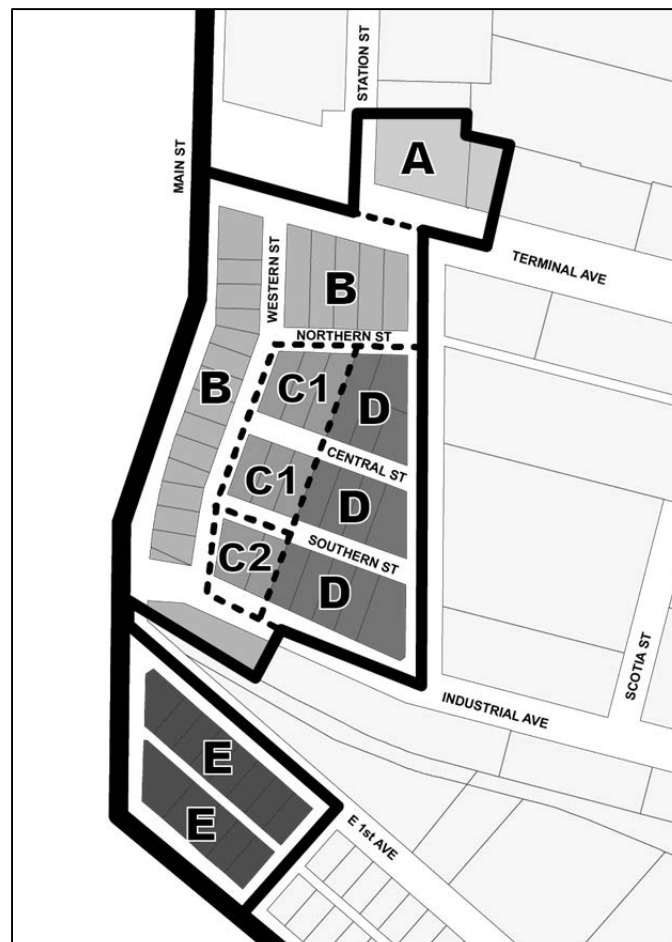
False Creek Flats Plan  
FC-2 DISTRICT SCHEDULE

Note: A By-law will be prepared generally in accordance with the provisions listed below, subject to change and refinement prior to posting.

FC-2 District Schedule  
(False Creek Flats Innovation District)

- 1 **Intent**
  - 1.1 The intent of this Schedule is to permit and encourage the development of a high-density mixed-use neighbourhood, including some residential and compatible industrial uses, together with job space to support a broad spectrum of economic users, representing the broader False Creek Flats economy, including the creative, cultural and food economy, industrial production, research and development, and employment intensification.
  - 1.3 The FC-2 District is to consist of six sub-areas as illustrated in Figure 1, solely for purpose of establishing permitted uses, floor area and height.

Figure 1





## 2 Outright Approval Uses

2.1 Subject to all other provisions of this By-law and to compliance with section 2.3 and the regulations of this Schedule, the uses listed in section 2.2 shall be permitted as specified in section 2.2 and shall be issued a permit.

### 2.2 Uses

2.2 The uses listed in section 2.2 shall be permitted in all sub-areas of the FC-2 District.

- 2.2.A
- Accessory Buildings customarily ancillary to any of the uses listed in this Schedule, except that:
    - (a) an accessory building must not exceed 4.6 m in height, and must not exceed 3.7 m in height measured to the highest point of the roof if a flat roof, to the deck line of a mansard roof, or to the mean height level between the eaves and ridge of a gable, hip, or gambrel roof;
    - (b) an accessory building must be situated in the rear yard no less than 3.1 m from the ultimate centre line of any rear or flanking lane; and
    - (c) an accessory building's total floor area, measured to the extreme outer limits of the building, must not exceed 10% of the total area of the site.
  - Accessory Uses customarily ancillary to any of the outright uses listed in this section, except that accessory retail use:
    - (a) may not be combined with wholesale use;
    - (b) is limited to the lesser of 33 1/3 percent or 500 m<sup>2</sup> of the gross floor area of the principal and accessory uses combined;
    - (c) must be separated by a wall from the floor area used for all other uses; and
    - (d) all uses other than accessory retail use must be inaccessible to the public.

### 2.2.C [Cultural and Recreational]

- Artist Studio.
- Arts and Culture Indoor Event.
- Theatre.

### 2.2.M [Manufacturing]

- Bakery Products Manufacturing.
- Clothing Manufacturing.
- Creative Products Manufacturing.
- Food or Beverage Products Manufacturing - Class B.
- Furniture or Fixtures Manufacturing.
- Information Communication Technology Manufacturing.
- Jewellery Manufacturing.
- Leather Products Manufacturing.
- Miscellaneous Products Manufacturing - Class B.
- Printing or Publishing.
- Shoes or Boots Manufacturing.
- Textiles or Knit Goods Manufacturing.
- Wood Products Manufacturing - Class B.

### 2.2.S [Service]

- Catering Establishment.
- Laboratory.
- Photofinishing or Photography Studio.
- Photofinishing or Photography Laboratory.
- Print Shop.
- Production or Rehearsal Studio.
- Repair Shop - Class A.
- Restaurant - Class 1, provided that the total floor area does not exceed 300 m<sup>2</sup>.
- School - Vocational or Trade.
- Sign Painting Shop.
- Work Shop.

2.2.U [Utility and Communication]

- Radiocommunication Station.

**2.3 Conditions of Use**

- 2.3.1 No use listed in section 2.2 of this Schedule, except for Cultural and Recreational uses, Production or Rehearsal Studio, and Restaurant, shall be carried on other than wholly within a completely enclosed building, except for off-street parking and loading, heating and mechanical equipment, or other facilities or equipment which in the opinion of the Director of Planning are similar to the foregoing.
- 2.3.2 No use listed in section 2.2 of this Schedule shall involve the bulk storage, pending ultimate distribution off site, of explosives, fireworks, ammunition, matches, or flares; radioactive material; coal tar products or derivatives; or compressed gas or petroleum.
- 2.3.3 No use listed in section 2.2 of this Schedule shall involve the storage, other than wholly within a completely enclosed building, of lime; fertilizer; toxic or corrosive chemicals or acids; flammable liquids or solids; scrap or junk; rags or cotton waste; fungicides, herbicides or pesticides; paint, varnish, oil shellac or turpentine; grain, hops, or sugar; fish, fish oil or meal, animal oil or fat, or vegetable oil.
- 2.3.4 No use listed in section 2.2 of this Schedule, except for a Laboratory, shall involve the keeping of live animals.

**3 Conditional Approval Uses**

- 3.1 Subject to all other provisions of this By-law, including section 3.3.3 and the additional regulations in section 11.3 of this By-law, and the provisions and regulations of this Schedule, the Development Permit Board may approve any of the uses listed in section 3.2, subject to the conditions of use in section 3.3, and including such other conditions as it may decide, provided that it first considers:
- (a) the intent of this Schedule and all applicable policies and guidelines adopted by Council; and
  - (b) the submission of any advisory group, property owner or tenant.

**3.2 Uses**

- 3.2.1 The uses listed in section 3.2.1 shall be permitted in all sub-areas of the FC-2 District.

- 3.2.1.A • Accessory Uses to any of the uses listed in this Schedule, other than as provided for in section 2.2.A of this Schedule.
- 3.2.1.AG [Agricultural]
- Urban Farm - Class B, subject to the provisions of section 11.30 of this By-law.
- 3.2.1.C [Cultural and Recreational]
- Club.
  - Community Centre or Neighbourhood House.
  - Fitness Centre.
  - Hall.
  - Park or Playground.
- 3.2.1.I [Institutional]
- Ambulance Station.
  - Child Day Care Facility.
  - Public Authority Use.
  - Social Service Centre.
- 3.2.1.M [Manufacturing]
- Batteries Manufacturing.
  - Brewing or Distilling.
  - Dairy Products Manufacturing.
  - Electrical Products or Appliances Manufacturing.
  - Food or Beverage Products Manufacturing - Class A.
  - Machinery or Equipment Manufacturing.
  - Metal Products Manufacturing - Class B.
  - Miscellaneous Products Manufacturing - Class A.
  - Motor Vehicle Parts Manufacturing.
  - Non-metallic Mineral Products Manufacturing - Class B.
  - Paper Products Manufacturing.
  - Plastic Products Manufacturing.
  - Rubber Products Manufacturing.
  - Transportation Equipment Manufacturing.
- 3.2.1.O [Office]
- General Office, including Digital Entertainment Information and Communication Technology, but not including the offices of accountants, lawyers and notary publics, nor the offices of real estate, advertising, insurance, travel and ticket agencies.
  - Financial Institution.
  - Health Care Office, but only in sub-area A as shown in Figure 1.
- 3.2.1.P [Parking]
- Parking Uses.
- 3.2.1.R [Retail]
- Farmers' Market, subject to the provisions of Section 11.21 of this By-law. *Compatibility with nearby sites, parking, traffic, noise, hours of operation, size of facility, pedestrian amenity.*
  - Public Bike Share.
  - Neighbourhood Grocery Store.

- Retail Store, but limited to:
  - Accessory Retail Use.
  - Retail Store, but limited to the sale of art and hand-crafted products.
  - Limited Service Food Establishment, which means the use of premises for the primary purpose of selling, or selling and serving, prepared food to the public during all hours of operation, where the premises include not more than 16 indoor or outdoor seats for customers consuming food purchased on the premises, but where customers may also purchase food for take-out, and where live entertainment is not available.

3.2.1.S [Service]

- Animal Clinic.
- Hotel
- Laundry or Cleaning Plant.
- Motor Vehicle Repair Shop.
- Neighbourhood Public House.
- Restaurant - Class 2, provided that the total floor area does not exceed 300 m<sup>2</sup>.
- Auction Hall.
- Repair Shop - Class B.

3.2.1.T [Transportation and Storage]

- Bulk Data Storage.
- Railway Station or Rail Yard.
- Taxicab or Limousine Station.
- Truck Terminal or Courier Depot.
- Cold Storage Plant.
- Packaging Plant.
- Storage Warehouse.

3.2.1.U [Utility and Communication]

- Public Utility.
- Recycling Depot.

3.2.1.W [Wholesale]

- Wholesaling - Class A.
- Wholesaling - Class B.

- 3.2.1.Z • Any other use which is not specifically listed and defined as a use in section 2 of this By-law but which the Development Permit Board considers comparable in nature to the uses listed in this Schedule, having regard to the intent of this District Schedule.
- A use which is listed in section 2 of this Schedule but does not comply with the conditions of use in section 2.3.

3.2.2 The uses listed in section 3.2.2 shall be permitted in sub-areas B, C and E of the FC-2 District.

3.2.2.DW [Dwelling]

- Dwelling Units in conjunction with any of the uses listed in this Schedule.
- Micro dwelling, subject to the provisions of section 11.27 of this By-law.

- Residential Unit associated with and forming an integral part of an artist studio, subject to the provisions of section 11.19 of this By-law.
- Temporary Modular Housing.

### 3.3 Conditions of Use

- 3.3.1 All commercial uses listed in this section shall be carried on wholly within a completely enclosed building, except for the following:
- (a) parking and loading facilities;
  - (c) neighbourhood grocery store;
  - (d) restaurant;
  - (e) retail store;
  - (f) farmers' market;
  - (g) public bike share;
  - (h) Urban Farm - Class B;
  - (i) park or playground;
  - (j) neighbourhood public house;
  - (k) Parking Uses; and
  - (l) Transportation and Storage Uses.
- 3.3.2 Despite section 3.3.1, the Director of Planning may permit a use listed in section 3.2 of this Schedule to be carried on outside of a completely enclosed building if appropriate measures are taken, to the satisfaction of the Director of Planning, to eliminate any dangerous, injurious, noxious or otherwise objectionable impact that could adversely affect the surrounding area and adjoining non-industrial districts.
- 3.3.3 No use listed in section 3.2 of this Schedule shall involve the bulk storage, pending ultimate distribution off site, of explosives, fireworks, ammunition, matches, or flares; radioactive material; coal tar products or derivatives; or compressed gas or petroleum.
- 3.3.4 No use listed in section 3.2 of this Schedule shall involve the storage, other than wholly within a completely enclosed building, of lime; fertilizer; toxic or corrosive chemicals or acids; flammable liquids or solids; rags or cotton waste; fungicides, herbicides or pesticides; paint, varnish, oil shellac or turpentine; grain, hops, or sugar; fish, fish oil or meal, animal oil or fat, or vegetable oil.
- 3.3.5 No use listed in section 3.2 of this Schedule, except for an animal clinic, shall involve the keeping of live animals.
- 3.3.6 No use listed in section 3.2 of this Schedule shall involve the storage of goods or materials other than wholly within a completely enclosed building unless the yard or portion of the yard containing the goods or materials is enclosed by a suitable fence or wall restricting public access.
- 3.3.7 A lounge use accessory to Brewing or Distilling use shall be carried on wholly within a completely enclosed building.
- 3.3.8 Except for entrances, Office uses are not permitted at street level.
- 3.3.9 Except for entrances, Bulk Data Storage use shall not be permitted at the ground floor.
- 3.3.10 Except for residential entrances, no dwelling uses are permitted at grade.

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**4 Regulations**

All uses approved under sections 2 and 3 of this Schedule shall be subject to the following regulations:

**4.1 Site Area - Not Applicable.**

**4.2 Frontage - Not Applicable.**

**4.3 Height**

**4.3.1** The maximum height of a building shall be

- (a) 22.9 m in sub-areas A and B;
- (b) 10.7 m in sub-area C1;
- (c) 18.3 m in sub-areas C2, D, and E.

and except for buildings existing as [date of enactment] the floor to floor height of the first floor of a building must measure a minimum of 6.0 m.

**4.3.2** Despite section 4.3.1, the Director of Planning may relax the requirement to provide a minimum 6.0 m floor to floor height of the first floor of a building, provided the Director of Planning first considers the intent of this Schedule and all applicable policies and guidelines adopted by Council.

**4.3.3** The Director of Planning or the Development Permit Board, as the case may be, may permit an increase in the maximum height of a building with respect to any development, provided that it first considers:

- (a) the intent of this Schedule, all applicable policies and guidelines adopted by Council and the relationship of the development with nearby residential areas;
- (b) the height, bulk, location and overall design of the building and its effect on the site, surrounding buildings and streets and existing views;
- (c) the amount of open space, including plazas, and the effects of overall design on the general amenity of the area;
- (d) the provision for pedestrian needs;
- (e) the preservation of the character and general amenity desired for the area; and
- (f) the submission of any advisory group, neighbouring property owner or tenant;

and the maximum height may not exceed:

- (a) 51.8 m in sub-areas A, B, C2, and D;
- (b) 18.3 m in sub-area C1; and
- (c) 42.7 m in sub-area E.

**4.4 Front Yard**

**4.4.1** A front yard with a minimum depth of 0.6 m shall be provided, except that the minimum front setback for any parking area shall be 1.2 m.

**4.4.2** Despite section 4.4.1, the Director of Planning may permit a reduced or increased front yard or front setback for portions of the building, provided the Director of

Planning first considers the intent of this Schedule and all applicable policies and guidelines adopted by Council.

#### **4.5 Side Yards and Setbacks**

- 4.5.1 No side yard shall be provided, except that on a corner site, the exterior side yard and side setback requirements shall be the same as the front yard and front setback requirements in section 4.4.1 and 4.4.2.
- 4.5.2 Despite section 4.5.1, the Director of Planning may permit a reduced or increased front yard or front setback for portions of the building, provided the Director of Planning first considers the intent of this Schedule and all applicable policies and guidelines adopted by Council.

#### **4.6 Rear Yard and Setback**

- 4.6.1 A rear yard with a minimum depth of 0.6 m shall be provided.
- 4.6.2 Despite section 4.6.1, the Director of Planning or the Development Permit Board may permit a reduced rear yard or rear setback provided the Director of Planning first considers the intent of this Schedule and all applicable policies and guidelines adopted by Council.

#### **4.7 Floor Area and Density**

##### **Floor Area and Density in Sub-Area A**

- 4.7.1 The floor space ratio shall not exceed 7.0 in sub-area A, subject to the following:
- (a) the maximum floor space ratio for retail or service uses except hotel shall be 1.0;
  - (b) the maximum floor space ratio for hotel use shall be 4.0;
  - (c) the maximum floor space ratio for all other uses permitted by sections 2.2 and 3.2 but not listed in (a) or (b) of this section 4.7.1 shall be 3.0; and
  - (d) the maximum floor space ratio for office use shall be 6.75,

provided that the Director of Planning or the Development Permit Board first considers:

- (i) the intent of this Schedule, all applicable policies and guidelines adopted by Council and the relationship of the development with nearby residential areas;
- (ii) the height, bulk, location and overall design of the building and its effect on the site, surrounding buildings and streets, and existing views;
- (iii) the amount of open space, including plazas, and the effects of overall design on the general amenity of the area;
- (iv) the effect of the development on traffic in the area; and
- (v) the provision for pedestrian needs.

##### **Floor Area and Density in Sub-Area B**

- 4.7.2 The floor space ratio shall not exceed 5.00 for non-residential uses, and not exceed 3.0 for dwelling uses in sub-area B. The Director of Planning or the Development Permit Board may permit an increase in this maximum floor space ratio to any figure

up to and including 6.50, which may include up to 5.00 of dwelling uses, provided that the Director of Planning or the Development Permit Board first considers:

- (a) the intent of this Schedule, all applicable policies and guidelines adopted by Council and the relationship of the development with nearby residential areas;
- (b) the height, bulk, location and overall design of the building and its effect on the site, surrounding buildings and streets, and existing views;
- (c) the amount of open space, including plazas, and the effects of overall design on the general amenity of the area;
- (d) the effect of the development on traffic in the area;
- (e) the provision for pedestrian needs; and
- (f) the design and livability of any dwelling uses.

#### **Floor Area and Density in Sub-Area C1**

- 4.7.3 The floor space ratio shall not exceed 1.00 for non-residential uses in sub-area C-1. The Director of Planning or the Development Permit Board may permit an increase in this maximum floor space ratio up to and including 2.50, limited to 1.50 of non-residential uses and which may include up to 1.00 of dwelling uses developed as social housing, provided that the Director of Planning or the Development Permit Board first considers:

- (a) the intent of this Schedule, all applicable policies and guidelines adopted by Council and the relationship of the development with nearby residential areas;
- (b) the height, bulk, location and overall design of the building and its effect on the site, surrounding buildings and streets, and existing views;
- (c) the amount of open space, including plazas, and the effects of overall design on the general amenity of the area;
- (d) the effect of the development on traffic in the area;
- (e) the provision for pedestrian needs; and
- (f) the design and livability of any dwelling uses.

#### **Floor Area and Density in Sub-Area C2**

- 4.7.4 The floor space ratio shall not exceed 4.00 in sub area C-2, with a maximum of 1.00 for non-residential uses and a maximum of 3.00 for dwelling uses developed as social housing. The Director of Planning or the Development Permit Board may permit an increase in this maximum floor space ratio up to and including 6.50, limited to 1.50 of non-residential uses, and which may include up to 5.00 of dwelling uses developed as social housing, provided that the Director of Planning or the Development permit Board first considers:

- (a) the intent of this Schedule, all applicable policies and guidelines adopted by Council and the relationship of the development with nearby residential areas;
- (b) the height, bulk, location and overall design of the building and its effect on the site, surrounding buildings and streets, and existing views;
- (c) the amount of open space, including plazas, and the effects of overall design on the general amenity of the area;
- (d) the effect of the development on traffic in the area;
- (e) the provision for pedestrian needs; and



- (f) the design and livability of any dwelling uses.

#### Floor Area and Density in Sub-Area D

- 4.7.5 The floor space ratio shall not exceed 3.00 in sub-area D. The Director of Planning or Development Permit Board may permit an increase in this maximum floor space ratio up to and including 7.50 except that:
- (a) the total floor area must include a minimum 1.00 FSR for any of the following uses combined:
    - (i) Cultural and Recreational, limited to Artist Studio - Class B;
    - (ii) Manufacturing, limited to Bakery Products Manufacturing, Brewing or Distilling, Chemicals or Chemical Products Manufacturing - Class B, Clothing Manufacturing, Dairy Products Manufacturing, Food or Beverage Products Manufacturing - Class B, Furniture or Fixtures Manufacturing, Jewellery Manufacturing, Leather Products Manufacturing, Metal Products Manufacturing - Class A or B, Miscellaneous Products Manufacturing - Class A, Miscellaneous Products Manufacturing - Class B, Non-metallic Mineral Products Manufacturing - Class B, Paper Products Manufacturing, Printing or Publishing, Plastic Products Manufacturing, Rubber Products Manufacturing, Shoes or Boots Manufacturing, Textiles or Knit Goods Manufacturing, and Wood Products Manufacturing - Class B; or
    - (iii) Service, limited to Catering Establishment, Motor Vehicle Repair Shop, Print Shop, Repair Shop - Class A, Repair Shop - Class B, and Sign Painting Shop, and

Provided the Director of Planning or Development Permit Board first considers:

- (i) the intent of this Schedule, all applicable policies and guidelines adopted by Council and the relationship of the development with nearby residential areas;
- (ii) the height, bulk, location and overall design of the building and its effect on the site, surrounding buildings and streets, and existing views;
- (iii) the amount of open space, including plazas, and the effects of overall design on the general amenity of the area;
- (iv) the effect of the development on traffic in the area;
- (v) the provision for pedestrian needs; and
- (vi) the design and livability of any dwelling uses.

#### Floor Area and Density in Sub-Area E

- 4.7.6 The floor space ratio shall not exceed 3.00, subject to the following:
- (a) the maximum floor space ratio shall be 3.00 for Artist Studio, Manufacturing Uses, Transportation and Storage Uses, Utility and Communication Uses, Wholesale Uses, Service Uses listed in section 2.2.S, and Parking Uses;
  - (b) the maximum floor space ratio shall be 1.00 for all other uses combined;
  - (c) the floor area for Retail Uses shall not exceed 1 000 m<sup>2</sup>, except that accessory retail shall not exceed 500 m<sup>2</sup>;
  - (d) the floor area for General Office or Health Care Office combined shall not exceed 33 percent of the total gross floor area of all principal and accessory uses combined, except that the Director of Planning may permit up to a maximum

floor space ratio of 2.00 for General Office if a minimum floor space ratio of 1.00 is provided for any of the following uses combined:

- (i) Cultural and Recreational, limited to Artist Studio - Class B;
- (ii) Manufacturing, limited to Bakery Products Manufacturing, Brewing or Distilling Clothing Manufacturing, Dairy Products Manufacturing, Food or Beverage Products Manufacturing - Class B, Jewellery Manufacturing, Leather Products Manufacturing, Metal Products Manufacturing - Class B, Miscellaneous Products Manufacturing - Class A, Miscellaneous Products Manufacturing - Class B, Non-metallic Mineral Products Manufacturing - Class B, Paper Products Manufacturing, Printing or Publishing, Shoes or Boots Manufacturing, Textiles or Knit Goods Manufacturing, Wood Products Manufacturing - Class B;
- (iii) Service, limited to Catering Establishment, Motor Vehicle Repair Shop, Print Shop, and Repair Shop - Class B; and
- (e) the floor area for a lounge use accessory to a Brewing or Distilling use must not exceed 80 m<sup>2</sup>.

4.7.7 Notwithstanding section 4.7.6 of this schedule, if the Director of Planning first considers the intent of this schedule and all applicable Council policies and guidelines, and the submissions of any advisory groups, neighbourhood property owners or tenants consulted by the Director of Planning, the Director of Planning may permit an increase in the permitted floor area for the following uses:

- (a) Dwelling Uses, provided that at least 50% of the residential floor area is comprised of social housing,

to a maximum additional floor space ratio of 3.50 in addition to the maximum permitted floor space ratio of 3.00 of non-residential uses, including the provision of a minimum floor space ratio for 1.00 combined of any uses listed in sub-sections 4.7.6 (d) (i), (ii) and (iii).

4.7.8 Notwithstanding section 4.7.6 of this schedule, if the Director of Planning first considers the intent of this schedule and all applicable Council policies and guidelines, and the submissions of any advisory groups neighbourhood property owners or tenants consulted by the Director of Planning, the Director of Planning may permit an increase in the permitted floor area of one m<sup>2</sup> per amenity share, provided to the City at no cost to the City, for the following uses:

- (a) Dwelling Uses developed as secured market rental housing,

to a maximum additional floor space ratio of 3.5 in addition to the maximum permitted floor space ratio of 3.0 of non-residential uses, including the provision of a minimum floor space ratio of 1.0 combined for any uses listed in sub-sections 4.7.6 (d) (i), (ii) and (iii).

4.7.9 Notwithstanding section 4.7.8, the maximum floor space ratio achievable as a result of the provision of amenity shares must otherwise comply in all respects with this district schedule and this by-law.

4.7.10 For the purposes of section 4.7.8, amenity share means an amenity share as set out in Schedule F of this by-law.

4.7.11 For the purposes of this district schedule, amenity means the following:

- (a) Community Centre or Neighbourhood House.

4.7.12 Computation of floor area shall include:

- (a) All floors of all buildings, both above and below ground level, to be measured to the extreme outer limits of the buildings.

4.7.13 Computation of floor area shall exclude:

- (a) open balconies and any other appurtenances which, in the opinion of the Director of Planning, are similar to the foregoing, provided that the total area of all exclusions does not exceed 12% of the floor area being provided;
- (b) patios, roof decks and roof gardens, provided that the Director of Planning first considers:
  - (i) the design of landscape treatments;
  - (ii) the effect on privacy and overlook; and
  - (iii) all applicable Council policies and guidelines.
- (c) where floors are used for off-street parking and loading, the taking on or discharging of passengers, bicycle storage, heating and mechanical equipment, or uses which in the opinion of the Director of Planning are similar to the foregoing, those floors or portions thereof so used, which are at or below the base surface provided that the off-street parking spaces do not have a length of more than 7.3 m;
- (d) all residential storage space above or below base surface, except that if the residential storage space above base surface exceeds 3.7 m<sup>2</sup> per dwelling unit, there will be no exclusion for any of the residential storage space above base surface for that unit; and
- (d) storage space associated with an Artist Studio - Class B where the space is provided below the base surface and subject to a maximum exclusion of 20 m<sup>2</sup> for each Artist Studio - Class B.

4.7.14 Computation of floor area may exclude:

- (a) interior public space, including atria and other similar spaces, provided that:
  - (i) the excluded area shall not exceed the lesser of 10 % of the permitted floor area or 600 m<sup>2</sup>;
  - (ii) the excluded area shall be secured by covenant and right-of-way in favour of the City which sets out public access and use; and
  - (iii) the Director of Planning first considers all applicable policies and guidelines adopted by Council.
- (b) amenity areas, including day care facilities and non-profit recreation facilities, to a maximum floor area of the lessor of 20 % of the permitted floor area or 1 000 m<sup>2</sup>, provided, in the case of day care facilities, the Director of Planning, on the advice of the Director of Social Planning, is satisfied that there is a need for a day care facility in the immediate neighbourhood.

4.8 Site Coverage -- Not Applicable.

4.9 [Deleted -- see Parking By-law.]

4.10 Horizontal Angle of Daylight

4.10.1 Each habitable room must have at least one window on an exterior wall of a building.

4.10.2 Each exterior window must be located so that a plane or planes extending from the window and formed by an angle of 50 degrees, or two angles with a sum of 70 degrees, will encounter no obstruction over a distance of 24.0 m.

- 4.10.3 The plane or planes referred to in section 4.10.2 must be measured horizontally from the centre of the bottom of each window.
- 4.10.4 The Director of Planning or Development Permit Board may relax the horizontal angle of daylight requirement, if:
- (a) the Director of Planning or Development Permit Board first considers all the applicable policies and guidelines adopted by Council; and
  - (b) the minimum distance of unobstructed view is not less than 3.7 m.
- 4.10.5 An obstruction referred to in section 4.10.2 means:
- (a) any part of the same building including permitted projections; or
  - (b) the largest building permitted under the zoning on any adjoining site.
- 4.10.6 A habitable room referred to in section 4.10.1 does not mean:
- (a) a bathroom; or
  - (b) a kitchen whose floor area is the lesser of:
    - (i) 10% or less of the total floor area of the dwelling unit, or
    - (ii) 9.3 m<sup>2</sup>.

4.11 - (Reserved)

4.14

#### 4.15 Acoustics

- 4.15.1 A development permit application for dwelling uses shall require evidence in the form of a report and recommendations prepared by persons trained in acoustics and current techniques of noise measurement demonstrating that the noise levels in those portions of the dwelling units listed below shall not exceed the noise levels expressed in decibels set opposite such portions of the dwelling units. For the purposes of this section the noise level is the A-weighted 24-hour equivalent (Leq) sound level and will be defined simply as the noise level in decibels.

Portions of dwelling units	Noise levels (Decibels)
Bedrooms	35
Living, dining, recreation rooms	40
Kitchen, bathrooms, hallways	45

DRAFT CONSEQUENTIAL AMENDMENTS  
Sign By-law No. 6510  
False Creek Flats Plan

Note: A By-law will be prepared generally in accordance with the provisions listed below, subject to change and refinement prior to posting.

Note: Deleted provisions ~~struck-out~~, and new inserted provisions are in ***bold italics***.

- This by-law amends the indicated provisions of Sign By-law No. 6510.
- In Section 9.2, Council amends the text as follows:

"Commercial and Industrial Areas - SCHEDULE B

C-1, C-2, C-2B, C-2C, C-2C1, C-3A, C-5, C-6, C-7, C-8, DD, FC-1, ***FC-2***, FM-1 (commercial use portion), HA-3, MC-1 and MC-2, IC-1, IC-2, IC-3 and CWD Districts (collectively referred to as "Commercial Areas")."

\* \* \* \* \*

Noise Control By-law No. 6555  
False Creek Flats Plan

Note: A By-law will be prepared generally in accordance with the provisions listed below, subject to change and refinement prior to posting.

- This by-law amends the indicated provisions of Noise Control By-law No. 6555.
- In Schedule B (Intermediate Zone), in the appropriate alphabetical order, Council adds "FC-2".

\* \* \* \* \*

Subdivision By-law No. 5208  
False Creek Flats Plan

Note: A By-law will be prepared generally in accordance with the provisions listed below, subject to change and refinement prior to posting.

- This by-law amends the indicated provisions of Subdivision By-law No. 5208.
- Council amends Table 1 of Schedule A of the Subdivision By-law by inserting, in the appropriate alphabetical and numerical order, standards for FC-2 as follows:

	District	Minimum Parcel Width	Minimum Parcel Area
FC-2	Commercial	40ft [ 12.192 m]	4800 sq. ft. [ 445.935 m <sup>2</sup> ]

- Council amends Table 2 of Schedule A of the Subdivision By-law by inserting, in the appropriate alphabetical and numerical order, standards for FC-2 as follows:

	District	Minimum Parcel Width	Minimum Parcel Area
FC-2	Commercial	25ft [ 7.620 m]	3000 sq. ft. [ 278.709 m <sup>2</sup> ]

\* \* \* \* \*

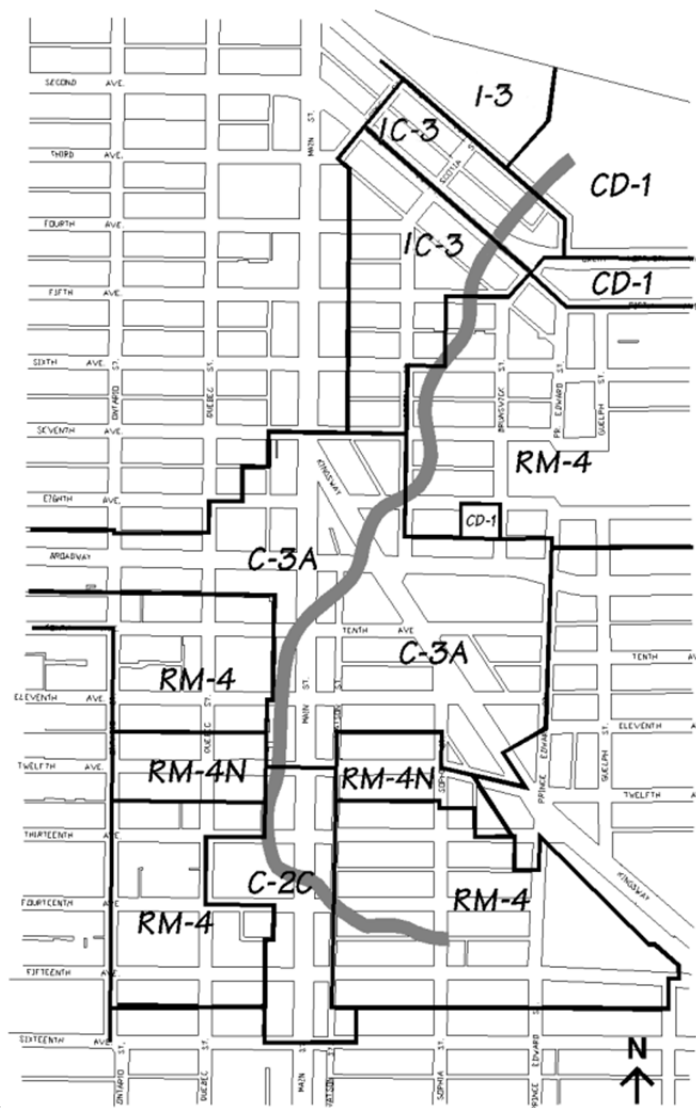


## Proposed Brewery Creek IC-3, C-3A, C-2C and RM-4/4N Guidelines Amendments

As a result of the new *False Creek Flats Local Area Plan* directions, a series of amendments to the *Brewery Creek IC-3, C-3A, C-2C and RM-4/4N Guidelines* are needed to ensure alignment with the new plan.

Amend the *Brewery Creek IC-3, C-3A, C-2C and RM-4/4N Guidelines* as follows:

1. In the "Application and Intent" section add "I-3," in the correct alphabetical order; and
2. Replace "Figure 1: Brewery Creek Water Course" with the following updated map, to include the new IC-3A District Schedule:





## Proposed Micro Dwelling Policies and Guidelines Amendments

As a result of the new *False Creek Flats Local Area Plan* directions, a series of amendments to the *Micro Dwelling Policies and Guidelines* are needed to ensure alignment with the new plan. Additions are shown in bold italics.

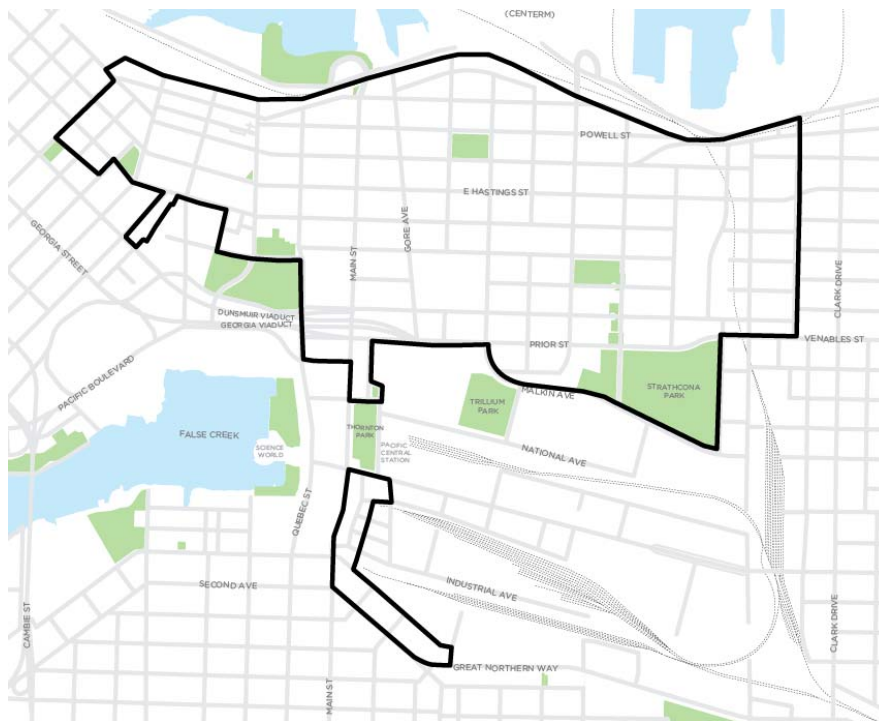
Amend the *Micro Dwelling Policies and Guidelines* as follows:

1. Amend Section 1, "Intent" as follows:

### Intent

The intent of these guidelines is to encourage the creation of new livable, affordable micro dwelling rental units in the Downtown Eastside **and the False Creek Flats areas**. Micro dwellings will preferably be located in buildings with a variety of unit sizes and located in close proximity to open green space, commercial, and community and recreational facilities. The aim of these policies and guidelines are to provide flexibility to achieve the City's affordable housing objectives for replacement housing for low-income singles and affordable housing for moderate income renters in the Downtown Eastside, **and for low-income singles and moderate income renters as outlined in the False Creek Flats Plan**.

2. In Section 2, "Application", in the first sentence add "IC-3" and "FC-2", " in alphabetical order; and
3. Replace the map on page 1 with the following updated map, to include the False Creek Flats area:



Appendix G

MC-1 AND MC-2 GUIDELINES FOR CEDAR  
COTTAGE, HUDSON STREET, EAST  
HASTINGS (CLARK TO SEMLIN) AND  
FALSE CREEK FLATS (MALKIN-ATLANTIC -  
PRIOR) AREAS

*Adopted by City Council on March 24, 1998  
Amended April 23, 2002, July 22, 2003 and \_\_\_\_\_, 2017*

**Note:** These guidelines are organized under standard headings. As a consequence, there are gaps in the numbering sequence where no guidelines apply.

## 1 Application and Intent

These guidelines are to be used in conjunction with the MC-1, MC-1 Subarea A and MC-2 Districts Schedule of the Zoning and Development By-law in the MC-1 areas of Cedar Cottage, Hudson Street, the MC-1 and MC-2 areas of East Hastings (Clark to Semlin) and the MC-1 Subarea A area for False Creek Flats Malkin-Atlantic-Prior Subarea.

With respect to Cedar Cottage, these guidelines follow the policy directions of the 1996 MC-1/Welwyn Planning Policies developed for the Cedar Cottage MC-1. The 1996 MC-1/Welwyn Policies also outline proposals for some streetscape improvements along Commercial Street and at key intersections which are to be implemented separately.

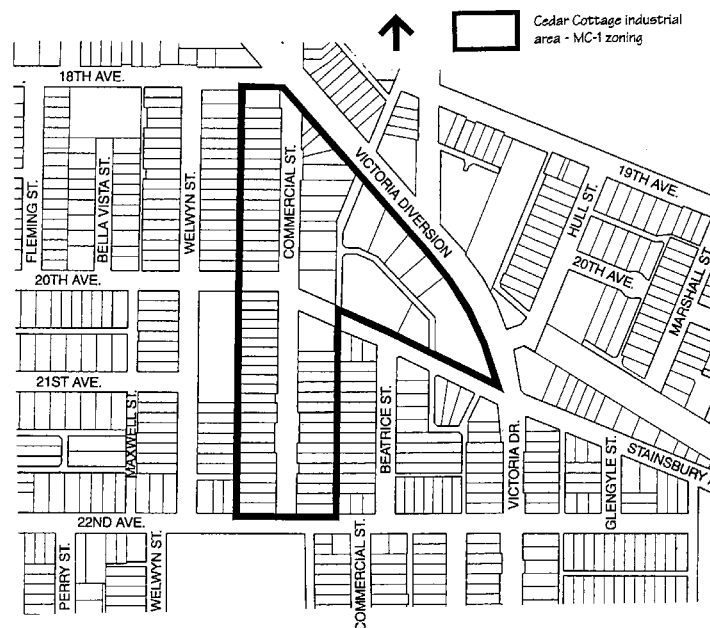
With respect to the Hudson Street and East Hastings (Clark to Semlin) Areas, Council approved their rezoning from industrial to MC-1 and MC-2 mixed use on April 23, 2002.

With respect to The MC-1 Subarea A for False Creek Flats (Malkin-Atlantic-Prior), these guidelines follow the policy directions of the False Creek Flats Area Plan and Policies adopted by Council on \_\_\_May 17th\_, 2017

These guidelines should be consulted in seeking approval for conditional uses or discretionary variations in regulations in the MC-1 and MC-2 areas. As well as assisting the applicant, these guidelines will be used by City staff in the evaluation of projects.

The intent of the guidelines is to:

- (a) Achieve compatibility among residential, commercial, and industrial uses in these mixed use areas; and
- (b) Guide building massing and design for neighbourliness, appropriate scale and pedestrian interest.

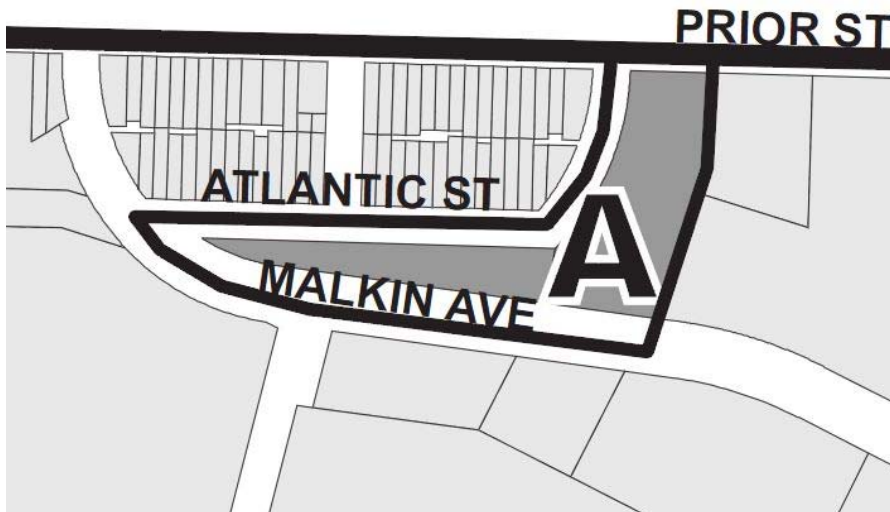


**Hudson Street Area  
- MC-1 zoning**



**East Hastings (Clark to Semlin)  
- MC-1 and MC-2 zoning**





## 2 General Design Considerations

### 2.1/2.2 Neighbourhood/Streetscape Character

#### Existing Character

##### The Cedar Cottage Area

The Cedar Cottage Area has a mix of small and large industrial, service, office and residential uses, with a small amount of retail. The buildings are generally two to four storeys, continuous, and located right at the front property line. The mixture of old and new, the modest scale, the variety of design and use, the urban feel of the street, and the mature street trees contribute to a valued idiosyncratic character.

#### *Typical Early 1900s Building*



*Mature Linden trees: a key asset*



### **Hudson Street Area**

The Hudson Street Area has a mix of industrial, service and cultural and recreational uses with a small amount of office and retail uses within its 2.3 ha area. Most buildings are one to two storeys, continuous, and located at the front property line. An existing residential development is located on the north portion of Hudson Street and abuts Hudson Street Area developments which also front Hudson Street.

*Typical Hudson Street Area Building*



*Hudson Street Area Streetscape*



**East Hastings (Clark to Semlin) Area**

The East Hastings (Clark to Semlin) Area has a mix of industrial and non-industrial uses. Manufacturing and wholesaling uses are varied and include garment, metal products, kitchen, mattress and food. Retail and Service uses include several auto dealerships and repair, Canadian Tire and Value Village outlets, the Waldorf Hotel and the Memorial Gardens Funeral Home. Along Hastings Street, development is discontinuous with changing character along its length and no clear pattern of similarity in form, scale and massing. Several large sites are extensively paved or vacant, while some segments are more intensely developed where buildings are continuous, two to three storeys, and built to the front property line.

*Typical Hastings Street (Clark to Semlin) Area Building*



*Hastings Street (Clark to Semlin) Area Streetscape*



**MC-1 Subarea A for False Creek Flats (Malkin-Atlantic-Prior)**

The MC-1 Subarea A - False Creek Flats (Malkin-Atlantic-Prior) Subarea is situated between I-2 zone on the south, RT-3 Strathcona neighbourhoods to the north, and the Strathcona community Garden and Chinese Free Masons Manor on the east. The pre-date residences along Atlantic Street, Heatley Avenue and Prior Street have a fine-grained scale and ground-oriented residential character ranging from one and a half to three storeys. These streets are lined with front gardens and a regular street tree pattern. Malkin Street on the other hand is takes on more of an industrial urban fabric.

*Pennyway House - Atlantic Street*



*View to West on Atlantic St.*





### **Character Objectives**

The existing pattern of development in the four areas varies, and future development may also have a wide range of uses. In all four areas, these guidelines aim to ensure livability, neighbourliness, compatibility of uses and building massing, quality design and materials, and an attractive street-level treatment.

There are also differences among the areas. In Cedar Cottage, the traditional older buildings with bay windows are the inspiration for guidelines on massing and streetscape treatment. In Hudson Street, the buildings have no traditional character but there is a typical frontage scale and street wall. The guidelines aim to continue the frontage scale and streetwall where possible, while recognizing that all-residential buildings may occur, and will have setbacks. In both these areas, it is anticipated that most new development will be multi-storey, full lot development.

The existing character of Hastings Street is different from the other two areas, and much more diverse. With larger lot assemblies, and a major arterial location, a much wider range of development may occur, from low intensity auto sales and service, to fully developed mixed use. A variety of building scales and placements may occur. The guidelines aim to ensure as much compatibility of siting and massing between neighbouring developments as is reasonable, given their possibly diverse nature; as well as to ensure attractive, quality building design, materials and landscaping.

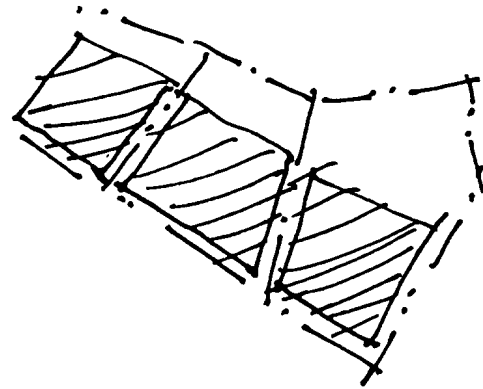
The MC-1 Subarea A for False Creek Flats (Malkin-Atlantic-Prior) transitions from larger scale industrial uses to finer grain early 20<sup>th</sup> century residences and is situated adjacent to the Strathcona Community Garden Park. The intent of these guidelines is for development, in this subarea, to respond sympathetically to the heritage character while acknowledging the impacts of adjacent industry. Frontages along residential streets should complement and enhance the existing scale, proportions, yards and streetwall. Facades fronting Malkin Street should, in general be more compatible with adjacent industrial uses and functions.

### **2.3 Orientation**

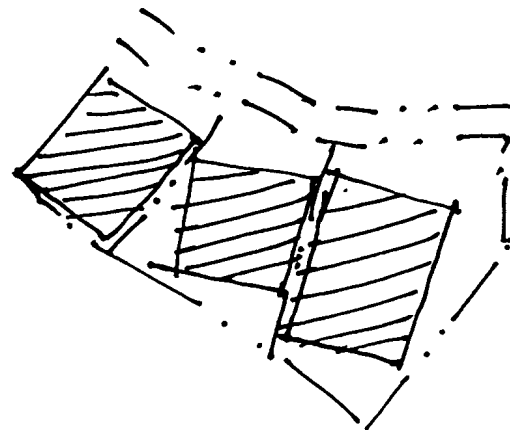
The Cedar Cottage Area has an established pattern of building faces aligning with streets, which are unusual in layout—orthogonal, curved and angled. The Hudson Street and East Hastings (Clark to Semlin) Areas have an established orthogonal alignment of building face to the street grid.

- (a) Building faces should be aligned to respect the established street orientations;
- (b) On corner sites, both street-facing facades should be fully developed as front elevations; and
- (c) In the Cedar Cottage Area, development at the southeast corner of Commercial Street and Victoria Diversion should respond to this key intersection with some form of landmark or focal element to “announce” the presence of the area to passers-by.

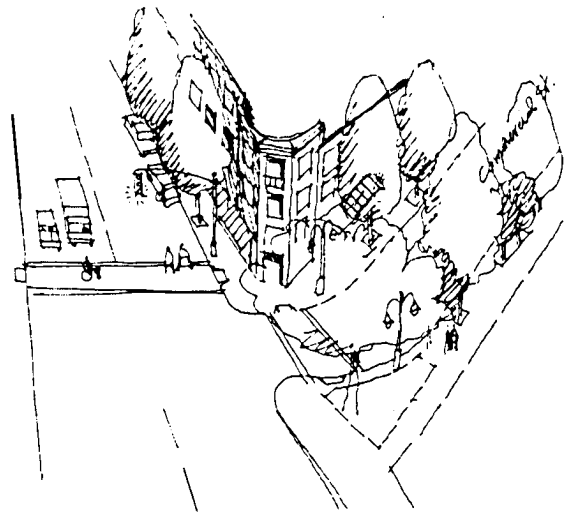
*This.....*



*Not this.....*



*Landmark opportunity  
at Commercial and  
Victoria*



## **2.4 Views**

- (a) Existing views enjoyed by adjacent developments should not be unduly compromised by incompatible siting, massing or orientation; and
- (b) Opportunities for near views of gardens and landscaped areas should be provided for residents.

## **2.6 Light and Ventilation**

Provision of sufficient daylight access to individual units and open spaces is one of the most challenging aspects in the design of residential units in low rise housing. The horizontal angle of

daylight regulations in section 4.10 of the Districts Schedule should be supplemented with the following considerations:

- (a) Living rooms should not face into courtyards;
- (b) Below grade residential units often have inadequate daylight, and are generally discouraged;
- (c) In double-fronting units (i.e., street/courtyard or lane/courtyard), a minimum clear courtyard dimension of 6.0 m (measured to any obstruction including exterior corridors) and a courtyard height/width ratio of 1.5 to 1.0 may be acceptable provided no primary (living rooms) or secondary living spaces (bedrooms, dining rooms) face onto the courtyard. Secondary living spaces, however, may face the courtyard on the highest floor only;
- (d) Secondary living spaces (bedrooms, dining rooms) may face into the courtyard on lower floors provided that the minimum courtyard width is 9.2 m;
- (e) Courtyard configuration and building massing should maximize sun access to the courtyard level including terracing of upper levels on the south side of courtyards;
- (f) Mechanical ventilation of commercial space should be exhausted at a location having the least impact on residential livability; and
- (g) Development should locate residential units and open spaces away from areas of noxious odours and fumes related to nearby traffic or land uses.

## **2.7 Weather**

- (a) Weather protection should be provided for common entrances, and for grade level or upper level individual residential entrances; and retail frontages. Weather protection need not be provided for service, office or industrial uses, but building design should anticipate future uses and provide a location for weather protection to be added at a later date.

## **2.8 Noise**

The Cedar Cottage, Hudson Street, East Hastings (Clark to Semlin) and False Creek Flats, (Malkin-Atlantic-Prior) Areas contain industrial and commercial uses. Noise producing activities such as loading, manufacturing processes, exhaust fans, arterial traffic and transit will continue both in and around the areas.

The restrictions on uses noted in section 3 of the guidelines will ensure a level of compatibility for uses within buildings, on adjacent sites, and in neighbouring areas. In addition, section 4.15 of the District's Schedule sets out acoustic standards and the requirement for an acoustic report to be provided for developments containing residential uses.

- (a) Some of the methods which may be used to buffer residential units from external noise include:
  - (i) orienting bedrooms and outdoor areas away from noise sources;
  - (ii) providing mechanical ventilation (to allow the choice of keeping the windows closed);
  - (iii) enclosing balconies or using sound absorptive materials and sound barriers; and
  - (iv) using sound-deadening construction materials (e.g., concrete, acoustically rated glazing or glass block walls) and other techniques.
- (b) Local noise generated by the development itself, such as parking and loading activities, exhaust fans, and restaurant entertainment, should be mitigated by location and design; and
- (c) The City has regulations governing the noise levels that may be produced in various areas. The MC-1, MC-1 Subarea A, and MC-2 zones are in the "active" industrial category of the Noise By-law, which may affect some residential uses proposed. The Health Department should be contacted for details.

## 2.9 Privacy

Privacy in relation to other units, passersby, and adjacent development is a crucial aspect of residential livability and neighbourliness.

- (a) Unit orientation, window placement and screening should be used to enhance privacy;
- (b) Balconies and patios should be oriented, screened or landscaped to reduce direct overlook of adjacent residential uses or other units in the project;
- (c) Habitable rooms within the developments should be oriented away from pedestrian circulation routes;
- (d) Residential units located at street level should ensure privacy through setbacks, level changes, and/or screening; and
- (e) In developments with courtyards, stacked units are encouraged to reduce privacy conflicts due to access corridors.



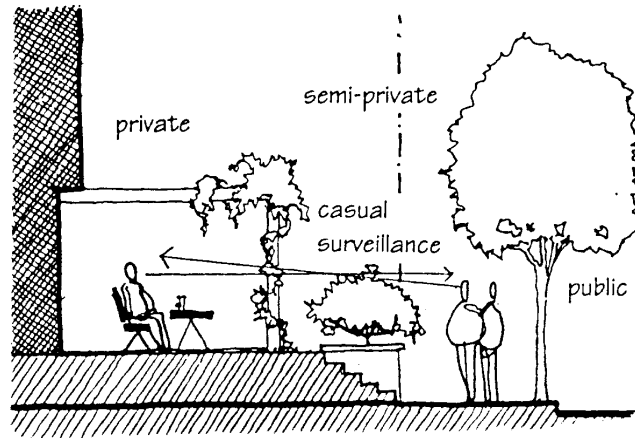
## 2.10 Safety and Security

Safety and a sense of security are key components of livability. New development, both residential and non-residential, must provide a secure environment. The principles of “crime prevention through environmental design” (CPTED) should be incorporated in all new development.

- (a) Public, private and semi-private territories should be clearly defined. Public and semi-private spaces should be configured to maximize surveillance. Spaces which are neither clearly public or private tend to be unsupervised and unkempt areas, and should be avoided;
- (b) Separate lobbies and circulation (including elevators) should be provided for non-residential and residential uses. Lobbies should be visible from the street and main entrances to buildings should front the street;
- (c) Personal safety and security should be integral to the design of parking facilities. Underground residential parking, including pedestrian access routes from parking into the building, should be secure and separate from commercial parking. When open parking occurs, the area should be secured from public access in non-business hours (see Section 4.9 Off-street Parking and Loading).
- (d) Both residential and non-residential uses should maximize opportunities for surveillance of sidewalks, entries, circulation routes, semi-private areas, children’s play areas and parking entrances. Blind corners and recessed entries should be avoided. Visibility into stairwells and halls is desirable. Laundry facilities, amenity rooms, and storage rooms should be grouped together and visible for surveillance;

- (e) Residential lighting should ensure good visibility of access routes and landscaped areas, without excessive lighting levels, glare or overspill to neighbours;
- (f) Landscaping and screening design should not provide opportunities for intruders to hide; and
- (g) Access routes from the building to residential garbage facilities should be separate and secure from those to non-residential garbage facilities.

*Territory Definition*



## 2.11 Access and Circulation

### 2.11.1 Pedestrian Access

- (a) Primary pedestrian access to all uses should be from the street at street level;
- (b) Residential entries should be separate and distinct from non-residential entries and lobbies;
- (c) Internal public circulation systems such as shopping malls, are discouraged;
- (d) Elevators should be provided on sites with frontage exceeding 15.0 m, where the vertical distance from parking to the highest unit entry exceeds three storeys; and
- (e) Corridors should be adequately sized for moving furniture and should not be overly long (no more than 23.0 m in any one direction) or circuitous.

### 2.11.2 Vehicular Access

To ensure an active pedestrian environment, vehicular and service functions should not conflict with street frontage and pedestrian activity.

- (a) Vehicular access to underground parking, loading and service areas should be provided from the lane rather than the street. In the Cedar Cottage Area, the exception is Porter Street, which is the equivalent of a lane for some sites fronting on Commercial Street;
- (b) Negative impacts of vehicular entrance parking ramps and service areas should be minimized through proper treatment such as enclosure, screening, high quality finishes, sensitive lighting, and landscaping; and
- (c) Where street access is considered, as noted in (a), vehicular entrances should be designed integrally with the building. Any vehicular entrance from the street should minimize interruption to pedestrian movement and building frontage on the street. In particular, large or long access ramps located directly off the street should be avoided.

## 3 Uses

### 3.1 Residential Use (Dwelling)

- (a) In the Cedar Cottage, Hudson Street Areas, residential use is appropriate on any site; and

- (b) In the MC-1 zoned part of East Hastings (Clark to Semlin) Area, residential use is appropriate on any site. (Residential uses are inappropriate on the north side of East Hastings Street because it is adjacent to a long term heavy impact industrial area. Therefore, residential use is not included in the MC-2 zoning.)
- (c) In MC-1 Subarea A for False Creek Flats (Malkin-Atlantic-Prior) residential use is appropriate on any site.

Notwithstanding the above, residential uses are discouraged where incompatible with other uses in the same project or uses nearby. (It should be noted that combining residential with some industrial uses is not permitted by the Building By-law or requires special code equivalencies. Early discussion with the Chief Building Official is advised.)

### **3.2 All Residential Buildings (Multiple Dwelling)**

Section 3.2 of the District Schedule requires non-residential uses at grade. However, buildings with residential uses at grade may be considered in the following locations in the Cedar Cottage, Hudson Street, East Hastings (Clark to Semlin) MC-1 and MC-1 Subarea A for False Creek Flats (Malkin-Atlantic-Prior) Areas.

- (a) In the Cedar Cottage Area, buildings with residential uses at grade may be considered along the north side of Stainsbury Avenue between Porter Street and the Victoria Diversion, and on Commercial Street between East 18th Avenue and East 22nd Avenue;
- (b) In the Hudson Street Area, buildings with residential uses at grade may be considered throughout the area; and
- (c) In the East Hastings (Clark to Semlin) MC-1 District Area, residential uses at grade may be considered along the Pender Street frontage.
- (d) In MC-1 Subarea A for False Creek Flats (Malkin-Atlantic-Prior), buildings with residential uses may be considered fronting Atlantic Street, Heatley Avenue, and Prior Street.

### **3.3 Uses at Grade**

Where non-residential uses are required at grade, they may be retail uses, as well as service, office and industrial uses, as long as pedestrian interest is provided (as suggested in section 5 Architectural Components).

### **3.4 All Other Conditional Uses**

Generally, all other conditional uses may be considered anywhere in the Cedar Cottage, Hudson Street and East Hastings (Clark to Semlin) MC-1 and MC-2 Areas subject to the guidelines in other Sections of this document, however:

- (a) Some uses may be discouraged either in the same building or on an adjacent site when they are incompatible with residential uses; and
- (b) Institutional uses, including churches, may be considered as long as parking, circulation and access issues can be satisfactorily addressed.

## **4 Guidelines Pertaining to the Regulations of the Zoning and Development By-law and the Parking By-law**

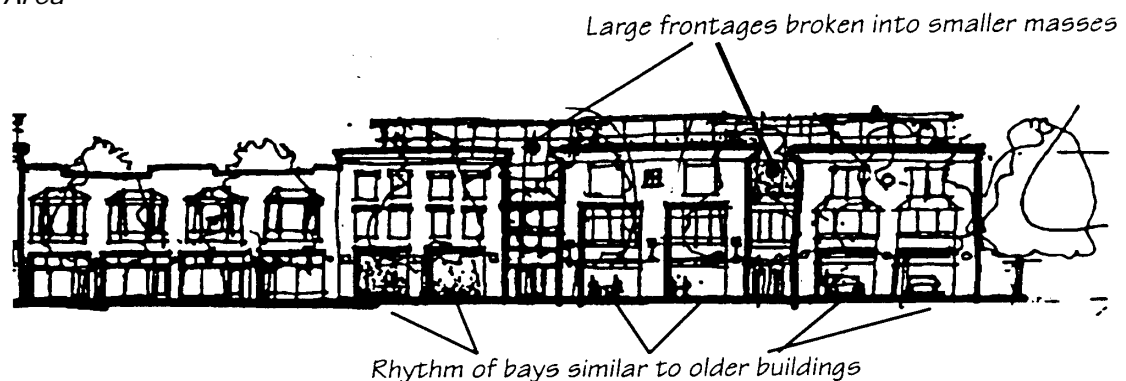
### **4.2 Frontage**

There is no maximum or minimum frontage for a development. However, in the Cedar Cottage Area, the design of development should maintain the traditional small scale and rhythm of Commercial Street, and extend it to the Victoria Diversion and Stainsbury Avenue. Similarly, in the Hudson Street Area and MC-1 Subarea A for False Creek Flats (Malkin-Atlantic-Prior) the scale of development should maintain the pattern that currently exists with adjacent development. In the East Hastings (Clark to Semlin) Area, current ownership patterns and the scale of

development are such that development on larger lot assemblies will be more common. In addition, this area may see the continuation of relatively low scale, low density development. The design of development should consider the following principles in establishing and maintaining pedestrian scale and interest along the street.

- (a) In the Cedar Cottage Area and MC-1 Subarea A for False Creek Flats (Malkin-Atlantic-Prior), buildings should be designed with a rhythm of bays that relate to the traditional scale of buildings (e.g., a typical 20.1 m wide building has 4 bays). At ground level, the bays should be designed so that they can be infilled with different treatments, depending on the use; and
- (b) In both the Cedar Cottage and Hudson Street Areas, on sites with larger frontages (e.g., more than 30.2 m), the development should be expressed as a number of smaller buildings. This should be done through a significant break in the massing.
- (c) In the East Hastings (Clark to Semlin) Area, larger assemblies and the arterial location make larger, longer building design acceptable. However, facades should be designed to avoid monotony through variety the use of articulation, windows, vertical elements, textured surfaces, architectural detailing, graphics or colours.

*Cedar Cottage and Hudson Street  
Area*



*East Hastings (Clark to Semlin): On larger sites, architectural treatment can avoid monotony.*



#### 4.3 Height

- (a) The maximum height of 12.2 m may be increased up to 13.8 m to allow for:
  - (i) non-combustible construction of the residential component; or
  - (ii) provision of roof design features beneficial to the character of the area; or

- (iii) response to topography, where the slope is more than 1.5 m across the site; or
- (iv) provision of raised residential entries, if desired.

#### **4.4 Front Yard and Setback**

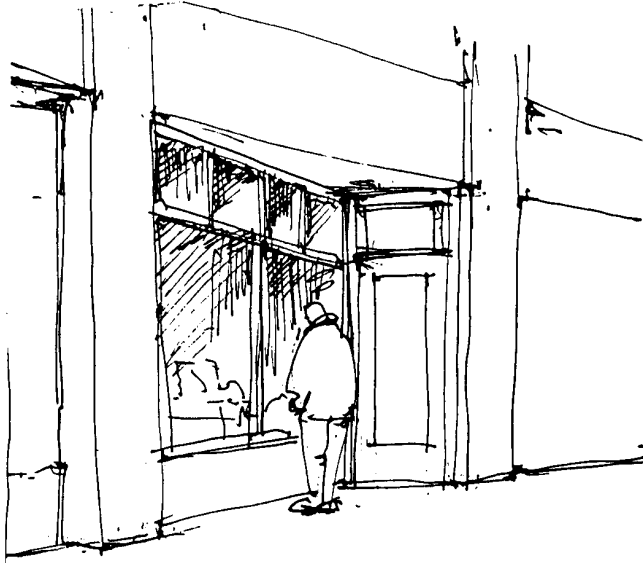
The current pattern in the Cedar Cottage, Hudson Street Area and the Pender Street frontage within the East Hastings (Clark to Semlin) Area is for buildings to be built to the property line, without setbacks. In the MC-1 Subarea A for False Creek Flats (Malkin-Atlantic-Prior), setbacks range, on average from 3.0 meters to 7.0 meters. Regulations generally call for new buildings to be placed at the front property line. However:

- (a) In the Cedar Cottage Area, Hudson Street Area and on the Pender Street frontage, modest front setbacks may be considered where:
  - (i) it is desirable to inset store frontages, doors, etc.;
  - (ii) a pedestrian courtyard or other features benefiting pedestrian character are provided;
  - (iii) bay windows are to be located on upper storeys (to avoid street encroachment);
  - (iv) residential use is located at grade and space for steps or patio is desired; or
  - (v) needed to help new residential development adapt to existing industrial uses.
- (b) In the False Creek Flats (Malkin-Atlantic-Prior) Area, front setbacks on the residential streets of Heatley Avenue and Atlantic Street should be considered to create a transitional yard and landscaping for the adjacent residentially scaled streets.
- (c) Setbacks should be configured and sized to achieve transition to neighbouring building faces.

Along Hastings Street, more diverse building forms on larger lots, with surface parking in some areas, is expected to continue. Buildings may be set back to mitigate the location along a major truck route and arterial. However, efforts should be made to site the buildings so as to define the street, anchor corners, and relate to neighbouring buildings.

- (a) On larger sites with surface parking, buildings should be sited with the longest face of the building oriented towards the street.
- (b) Building setbacks should provide a transition to those on the adjoining site. Encourage continuity between neighbouring development either by locating new buildings to join with existing buildings, or by locating buildings with one side at zero setback to allow a building on an adjoining site to abut the proposed building.
- (c) On corner sites, buildings should be located at the corner.
- (d) Open parking lots should have a landscaping strip along the street edges.





#### 4.5 Side Yards and Setbacks

On corner sites, the building should be built to the property line of the flanking street or avenue, but with the same provisos as noted in Section 4.4 for the front yard and setback applying.

#### 4.7 Floor Space Ratio

- (a) Not all projects and sites will be able to achieve the maximum discretionary 2.5 FSR. (For example, while 1.5 FSR residential is easily accommodated on three levels above grade, the ground floor level is unlikely to accommodate a full 1.0 FSR of other use due to requirements for parking, loading and so forth.) Factors influencing the achievable density and use mix include:
  - (i) proportion of non-residential and residential use;
  - (ii) corner or mid-block site location;
  - (iii) site frontage;
  - (iv) mix of dwelling unit sizes;
  - (v) response to guidelines on height and front setbacks; and
  - (vi) ability to provide required parking.
- (b) Section 5.2 of the District's Schedule permits a relaxation of the residential FSR from 1.5 to 1.8. The 0.3 FSR should be used for additional residential space at grade, in the rear, provided the additional space is non-market and/or guaranteed rental housing.

#### 4.9 Off-Street Parking and Loading

Parking and loading are essential service functions. However, they can seriously detract from residential livability unless careful design is used to screen them from residential uses in and near the development. The type of parking provided, whether surface or underground, may be dependent on the use and intensity of the development. Lower intensity development on larger sites or developments such as auto-oriented sales or service generally has surface parking. More intensive development such as mixed use residential generally provides parking underground. Both types of parking may occur, particularly in the Hastings Street (Clark to Semlin) Area.

- (a) For most types of development, parking should generally be located underground; exceptions may be considered for small sites, or where a limited number of at-grade stalls are provided for visitor parking;

- (b) Where it is not reasonable to place all parking underground, given the type of development, any at-grade stalls should be located at the rear of the site and not within the front setback, or side setback on a flanking street. Roof top parking will not be considered in the Cedar Cottage, Hudson Street and False Creek Flats (Malkin-Atlantic-Prior) Areas. However, where topography permits, it may be considered in the Hastings (Clark to Semlin) Area as long as impacts can be mitigated. Where an open parking lot occurs, the area should be secured from public access in non-business hours [see section 2.10 (c)];
- (c) For slabs over parking/loading areas, under-slab height at the point of parking access should be limited to 3.7 m maximum. Where structural or mechanical elements project below a slab over parking/loading area, requiring an increase in the 3.7 m maximum height at the lane, these elements should be screened from view;
- (d) Parking at or above grade should be screened effectively from view of pedestrians and neighbours. Depending on the specific site, this should include solid roofs to avoid noise and visual impacts to dwelling units above, appropriate lighting, architecturally treated surfaces, screen walls, doors, and landscaping along the lane to reduce impacts on adjacent dwelling units;
- (e) Parking for non-residential uses and residential visitors should be separate from residential parking, which should be secured by garage doors; and
- (f) Convenient loading of furniture to residential units should be facilitated by the design of loading areas and access routes.

#### **4.10 Horizontal Angle of Daylight**

- (a) Where the horizontal angle of daylight is proposed to be decreased as permitted in section 5.3 of the MC-1, MC-1 Subarea A and MC-2 District Schedule, the distance of unobstructed view should not normally be less than 12.0 m for living rooms and 6.0 m for bedrooms and dens; and
- (b) In situations where the horizontal angle of daylight is decreased to the minimum of 3.7 m, additional overshadowing of windows by overhead balconies or other projections should be avoided.

### **5 Architectural Components**

#### **5.1 Roofs**

- (a) Where the prevailing scale of the street is consistent, and less than four storeys, the fourth floor should be designed to visually recede from the street. Examples of how to achieve this are:
  - (i) emphasis on third floor cornice;
  - (ii) change to lighter, more transparent material or expression; and/or
  - (iii) setback of fourth floor facade from main facade plane.
- (b) Roofs should be designed to be attractive as seen from above through landscaping, elements such as gazebos and trellises, and choice of materials and colour. Elements such as roof gardens and roof decks should be provided to increase usability of roofs whenever issues of overview and privacy can be adequately addressed; and
- (c) Elevator penthouses, mechanical rooms, equipment and vents should be integrated with the architectural treatment of the roof.



## 5.2 Windows and Skylights

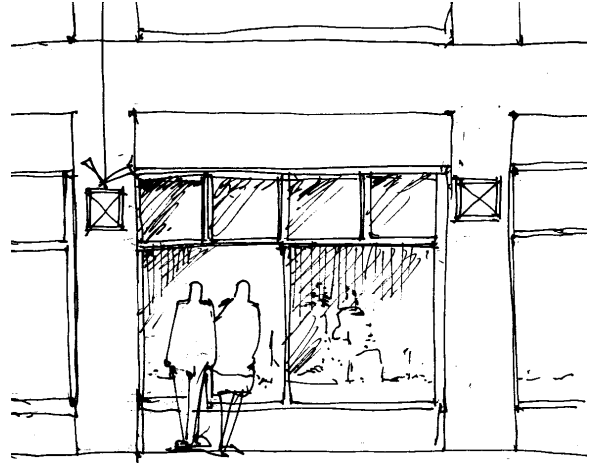
Windows at grade are important to enhance pedestrian interest, particularly since retail uses are not required at grade in this area.

- (a) For retail, service or office use:
  - (i) maximize transparency through use of high transom, low sill window designs, as well as openable windows where appropriate. For service and office uses, design should allow for retail use in the future.
- (b) For industrial use:
  - (i) provide windows for viewing to industrial processes where possible; and
  - (ii) where windows cannot be used, use other means to add visual interest such as expressed vertical elements, vines, murals, and detailing. Avoid long stretches of blank wall.
- (c) For residential use, where located at grade:
  - (i) design windows to contribute to pedestrian interest and street surveillance, as well as needed privacy and territorial definition.

*Details add interest where transparency cannot*



*Maximize transparency for pedestrian interest*



### 5.3 Entrances, Stairs and Porches

- (a) When residential uses are located at grade, individual unit entrances at grade are an option but not a requirement. If provided, they can help achieve unit identity and pedestrian interest, but also need to be designed for privacy and territorial identity; and
- (b) Shared residential entrances to buildings should also be designed as attractive, visible features.

### 5.4 Balconies

- (a) Balconies should be designed to maximize light into the unit.

### 5.5 Exterior Walls and Finishing

- (a) The lower levels of development should be carefully designed to be related to pedestrian scale, and enhance the close-up view of the pedestrian. The use of high quality materials and more intensive detailing that contribute to pedestrian interest is encouraged;
- (b) Vines or other landscaping should be used to soften blank building walls throughout the area;
- (c) When party walls are likely to remain exposed for the foreseeable future, as a result of adjacent low-scale development, they should be carefully designed emphasizing quality materials, textures, articulation, colour and/or landscaped with climbing or hanging plants; and
- (d) Walls abutting the lane should be carefully designed to be attractive to neighbouring developments and passersby through articulation, the use of quality materials, and landscaping.

*Vine planting adds interest*



## 5.6 Awnings and Canopies

Section 2.7 describes where weather protection should be located. In terms of appearance, using a uniform canopy or awning design across the entire building is inappropriate to the diversity to be maintained.

- (a) Design architecturally integrated, high quality awnings and canopies, but ensure some variety in form, and/or the ability for tenants to vary them to suit themselves.
- (b) Ensure that awnings and canopies are deep enough and close enough to the ground to provide shelter.

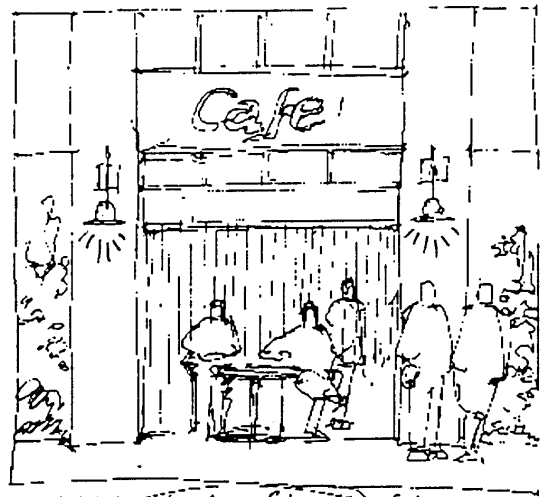
*Architecturally integrated, high quality awnings and canopies*





## 5.7 Lights

- (a) Individual projects should contribute to improved lighting levels for pedestrians by providing low intensity lighting on the building face; and
- (b) Buildings, open spaces and parking areas should have lighting located and designed to ensure that all areas are well lit. However, site lighting should be sensitive to the residential uses in the building and neighbouring area. Visible, glaring light sources can be avoided through using down-lights mounted on lower walls or on landscaped elements, or free-standing pole lights with shaded fixtures.



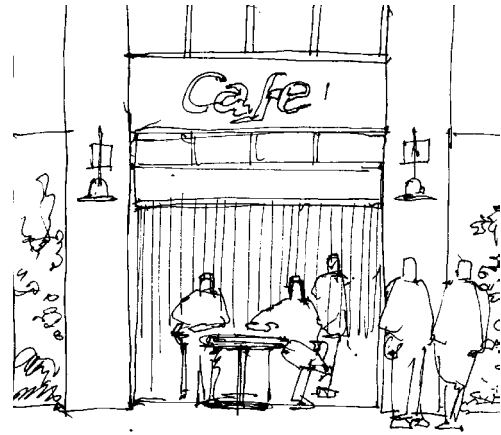
## 7 Open Space

### 7.1 Public Open Space

- (a) In the Cedar Cottage Area, small public mini-parks are anticipated as part of intersection improvements for the corners of Commercial Street at 18th, 20th and 22nd Avenues. In the Hudson Street Area, properties on the northern portion of Selkirk and Osler Street and fronting 72nd Street have been acquired by the Vancouver Park Board and will be developed as a future park. In False Creek Flats (Malkin-Atlantic-Prior), Strathcona Community Garden abuts a portion of the eastern most lot. Developments abutting these

locations should respond through locating windows and/or doors to advantage, provision of outdoor seating, etc.

*Cafes on the park, parkettes and elsewhere*



## 7.2 Semi-Private Open Space

- (a) “Active” or “social” semi-private open space is desirable, and should be provided for residents wherever possible. It could be located above the commercial level or on the rooftop but should maximize sun exposure, and be protected from noise and overlook from neighbouring buildings. Privacy of adjacent units and properties, view blockage and noise impact on units and properties below should be addressed;
- (b) In courtyard projects, courtyards typically serve a combination of functions, such as circulation, as a buffer between units, and as a source of daylight and air to courtyard-facing rooms. Owing to their often forced linearity and requirements of protecting privacy while providing access, this type of courtyard is rarely suitable as social semi-private open space; and
- (c) Large development parcels may have site area that could be publicly used as open space, on a voluntary basis. Where this occurs, consideration should be given to design for usability, attractiveness, security/safety, and maintenance.

## 7.3 Private Open Space

- (a) Private open space should be provided for each unit in the form of balconies, decks or patios with a minimum single horizontal dimension of 1.8 m and a minimum area of 4.5 m<sup>2</sup>;
- (b) Private open space should be designed to capture sun and views where possible, as well as to avoid noise and to take account of visual privacy and security. Balcony enclosure to reduce noise may be appropriate in some cases; and
- (c) To help create defined and usable private space at grade, a front garden or low, raised porch should be considered.

# 8 Landscaping

## 8.1 Streetscape

A streetscape concept plan for the MC-1, MC-1 Sub area A and MC-2 areas may be adopted in the future. In the meantime, street trees should be provided on all streets not currently having them, or where their spacing is inconsistent. Park Board and Engineering staff will specify species, spacing, and location.

## 8.2 Site Landscape

- (a) Existing trees and significant landscape features should be retained where possible;
- (b) Landscaping close to the street should be used to soften the built form, and contribute to pedestrian interest. Layering of plant material, including vines on vertical surfaces, can have a rich appearance in minimal space;
- (c) Landscaping should be provided on amenity roof decks and for screening to provide privacy where required;
- (d) Landscaping should be considered adjacent to rear lanes, provided that branches are kept clear of the lane right-of-way, and provided that security is not unduly compromised;
- (e) Landscaping should be used to help mitigate impacts between residential and industrial uses;
- (f) Landscape design on other parts of the site should relate to anticipated activities; and
- (g) Along Hastings Street where development with surface parking may occur, surface parking lots should be landscaped to reduce the visual impact. Consider introducing distinct paving surfaces, geometric patterns, trees, landscaped planters and trellises to improve the image of the parking area.

*Planting on roof deck and over underground garage entrance*



## 9 Utilities, Sanitation, and Public Services

### 9.2 Underground Wiring

In order to improve the visual environment for residents, developments on larger sites (45.0 m frontage or wider) should investigate with the City Engineer the feasibility of using underground wiring for electric, telephone and cable services, including the removal or partial removal or existing overhead plant.

### 9.3 Garbage and Recycling

Garbage and recycling are essential services. They can seriously detract from residential livability unless careful design is used to screen them from residential uses in and near the development.

- (a) Garbage and recycling facilities should be located adjacent to the lane. They should be fully enclosed by a roof and sides, and screened from the lane.

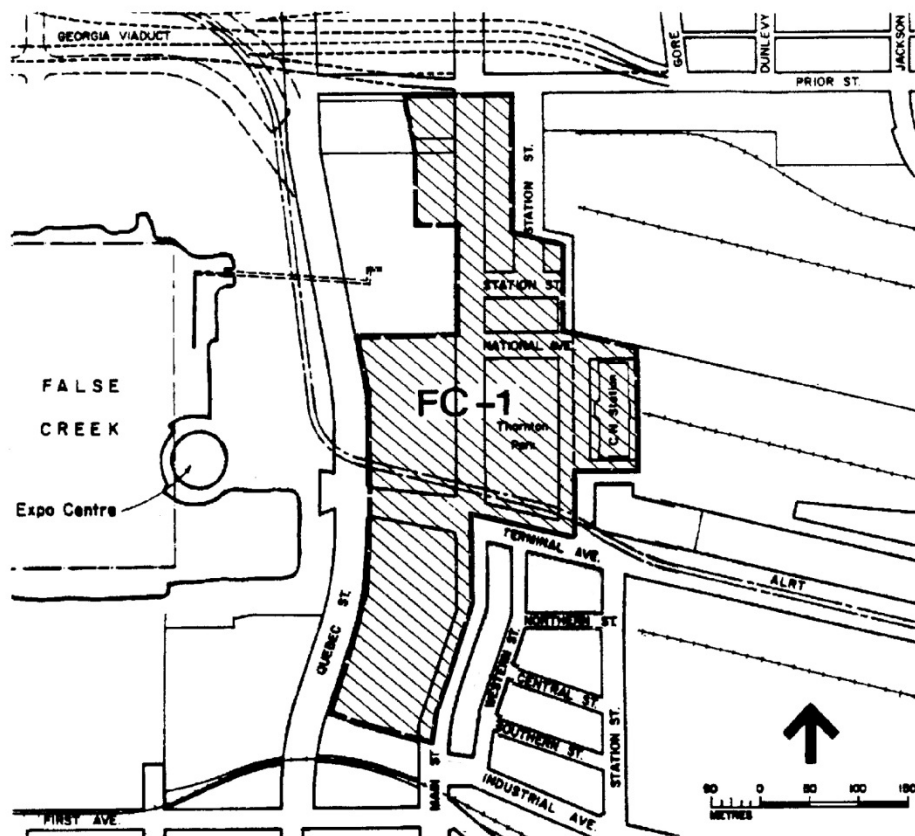


## Proposed Amendments to the East False Creek FC-1 Guidelines

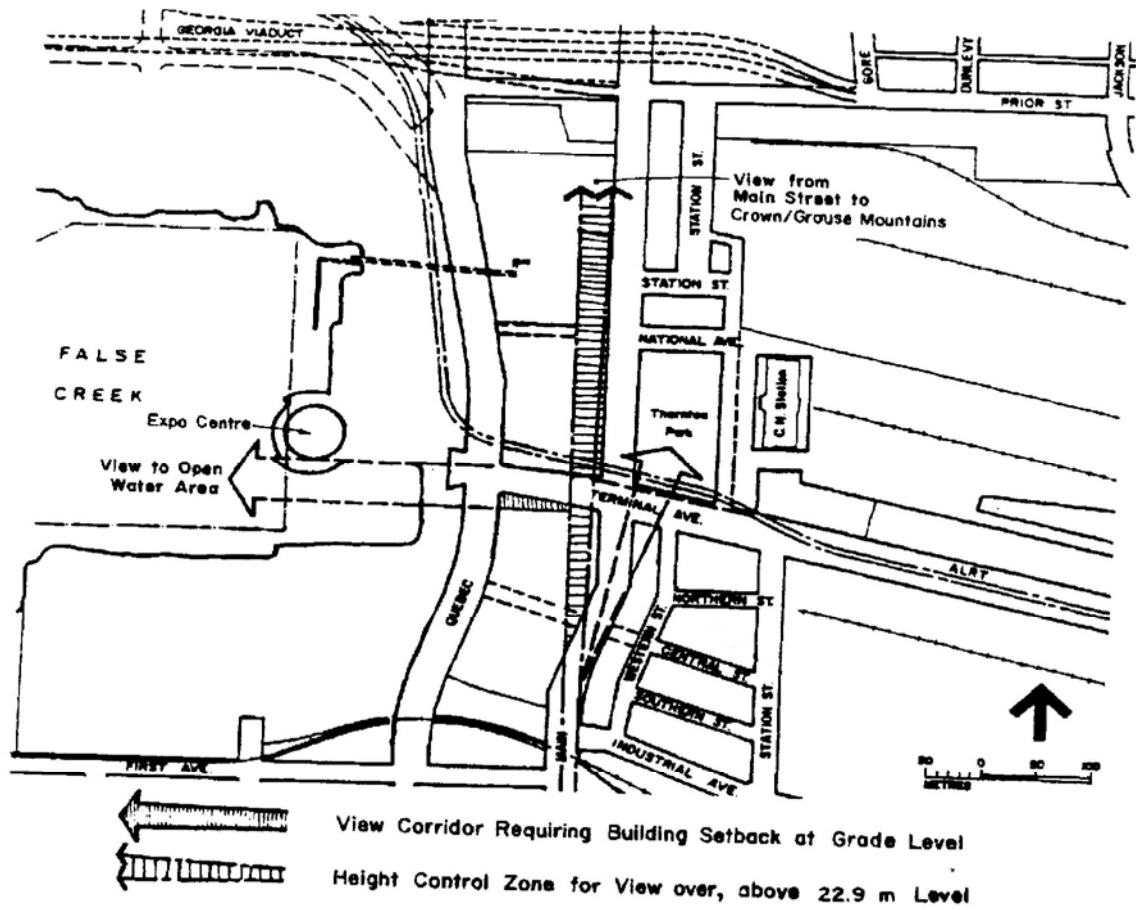
As a result of the new *False Creek Flats Local Area Plan* directions, a series of amendments to the *East False Creek FC-1 Guidelines* are needed to ensure alignment with the new plan.

Amend the *East False Creek FC-1 Guidelines* as follows:

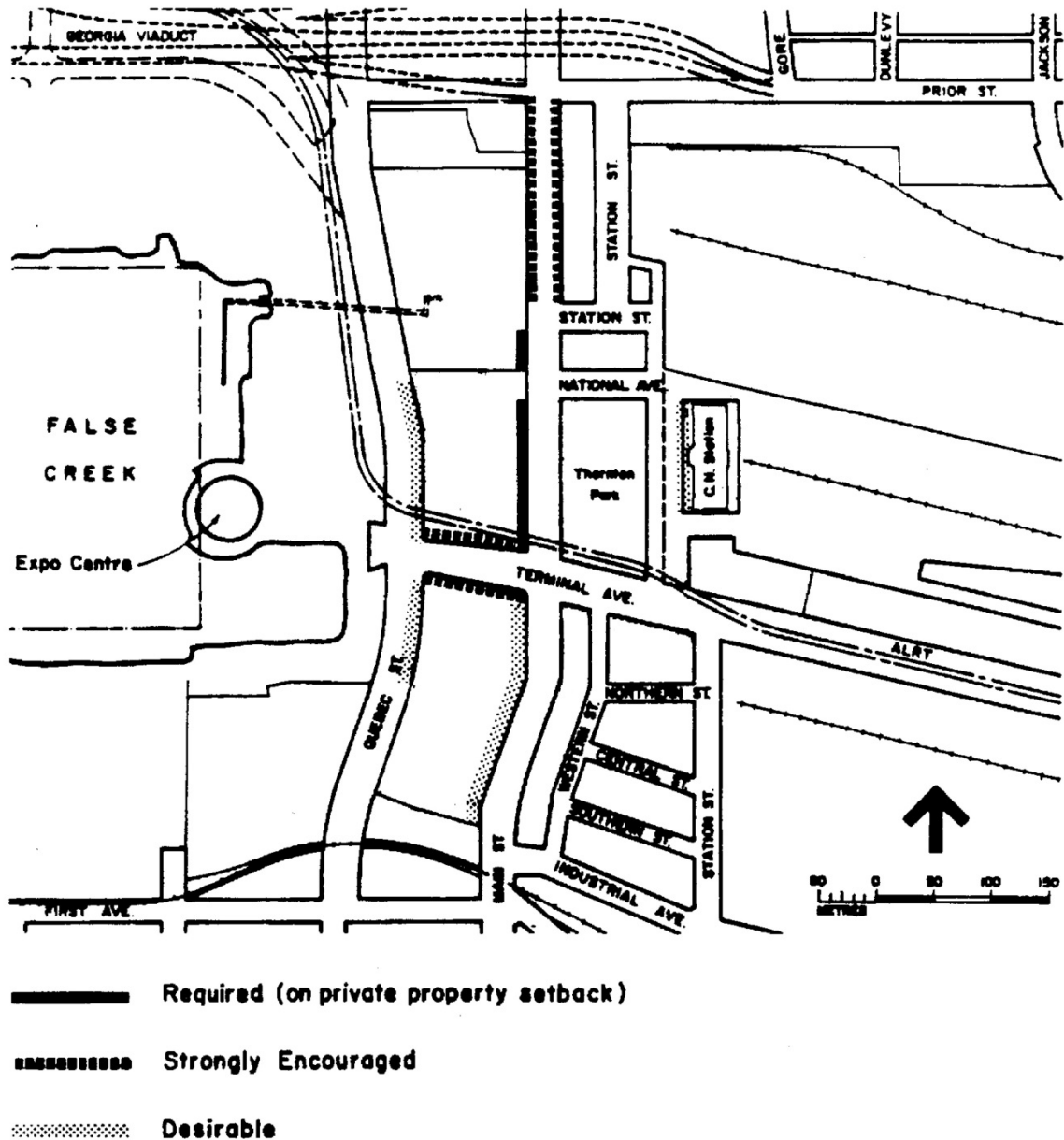
1. Replace Figure 1 “East False Creek FC-1 Zoning District” with the following:



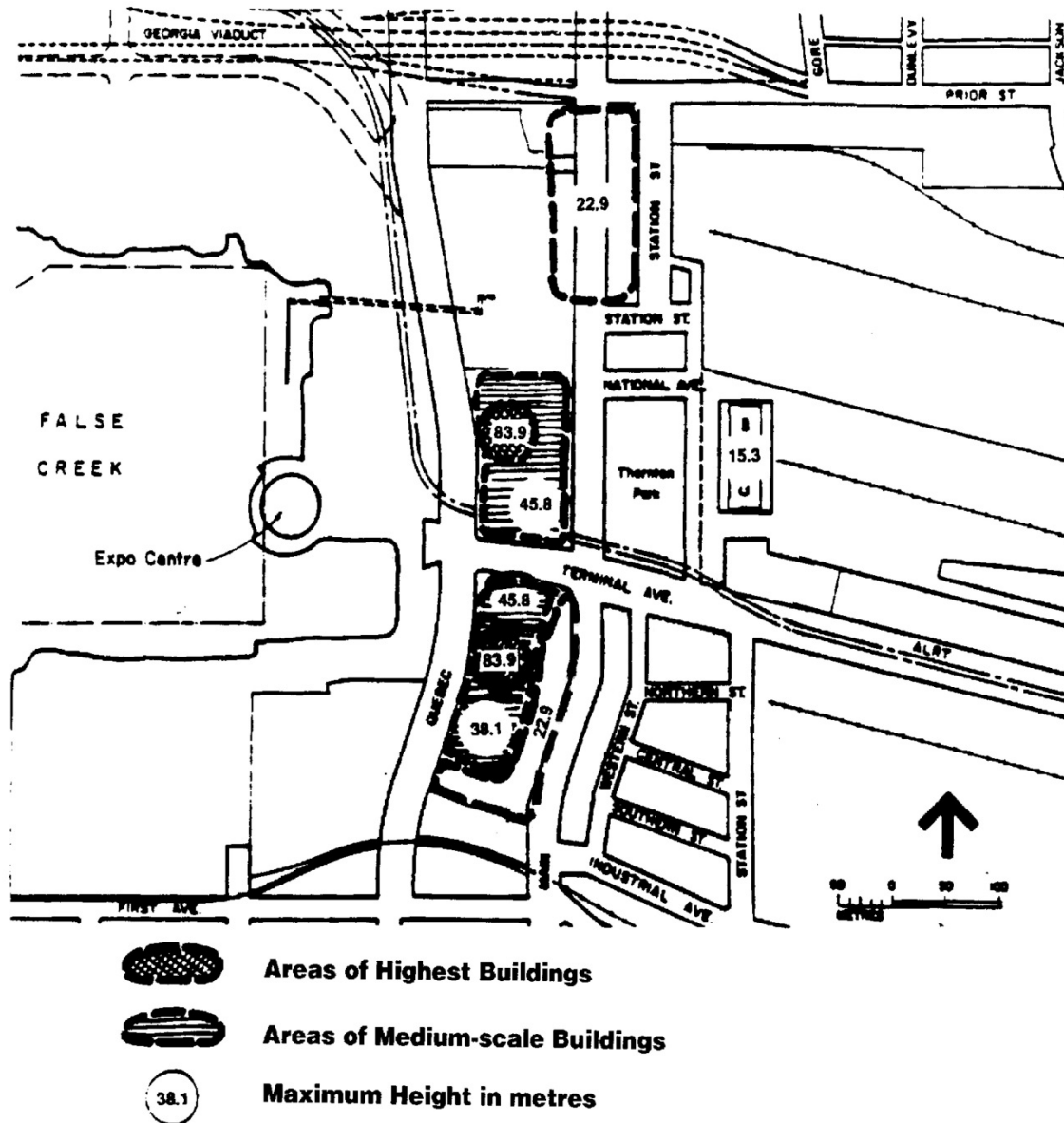
2. Replace Figure 3 "View Protection Corridors" with the following:



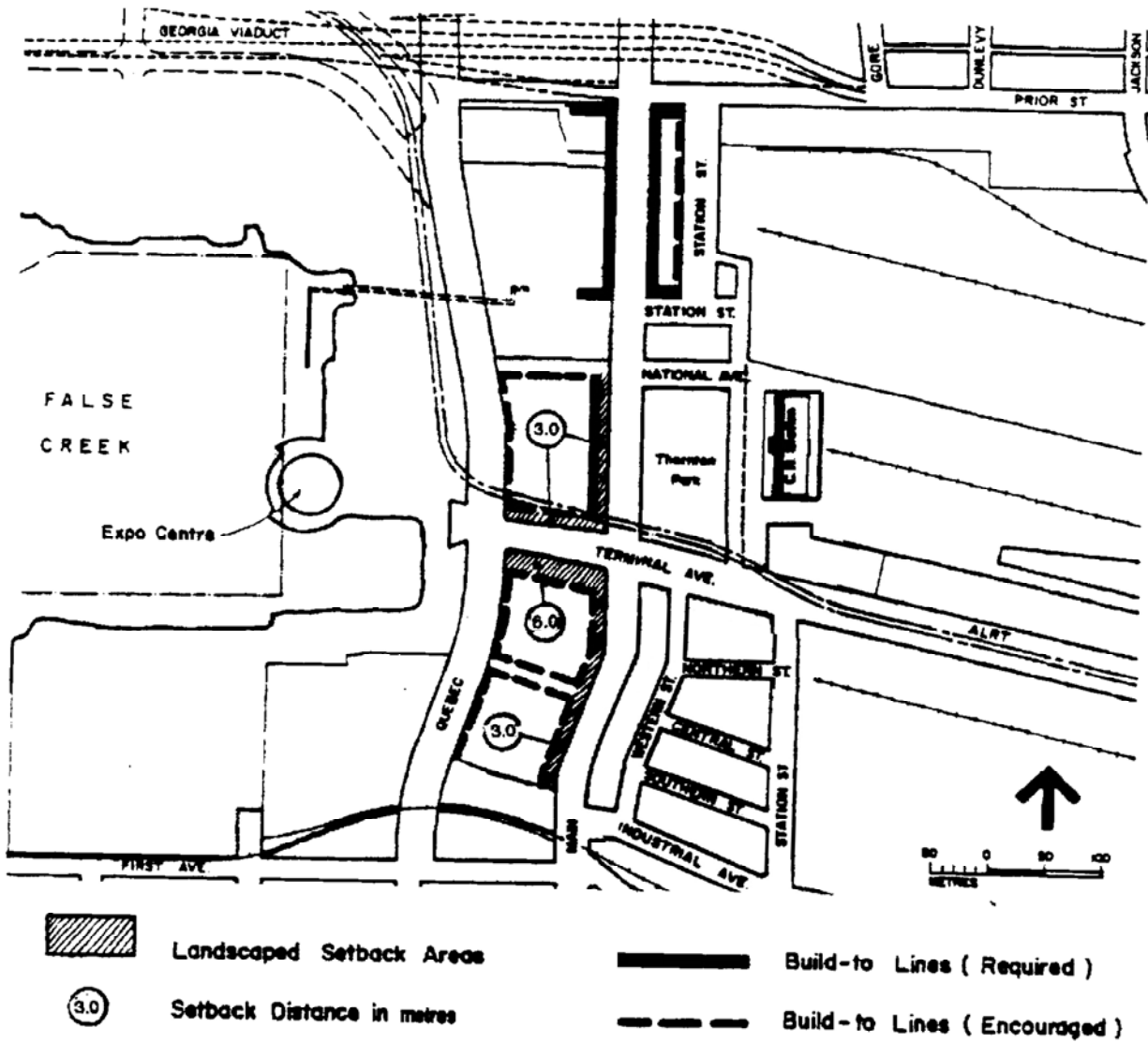
3. Replace Figure 4 "Streets Where Pedestrian Weather Protection is Encouraged" with the following:

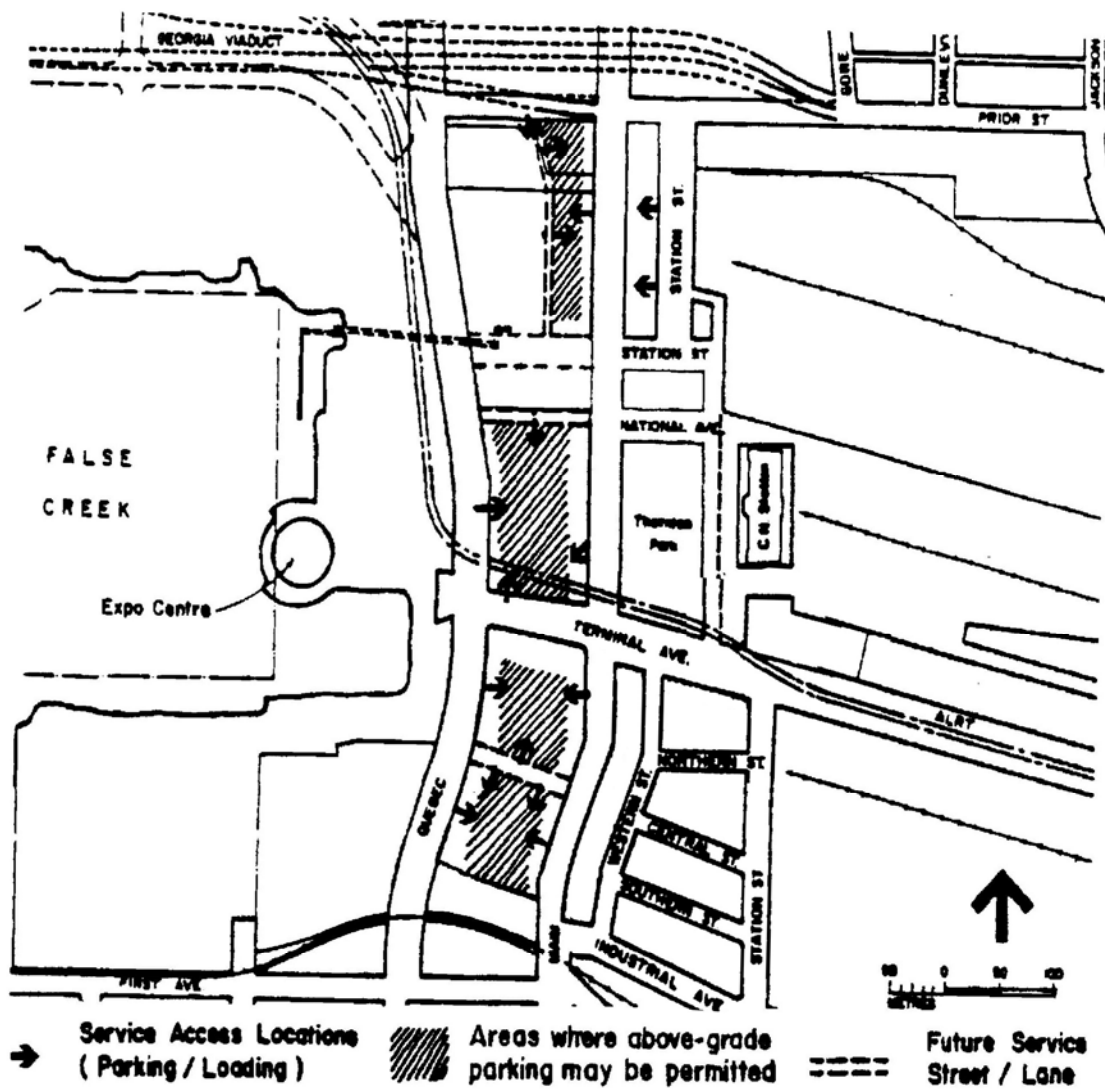


4. Replace Figure 7 "Building Height Limits" with the following:



5. Replace Figure 9 "Build-to Lines and Setbacks" with the following:





Appendix I

# FALSE CREEK FLATS URBAN DESIGN POLICIES AND GUIDELINES FOR I-2 AND I-3

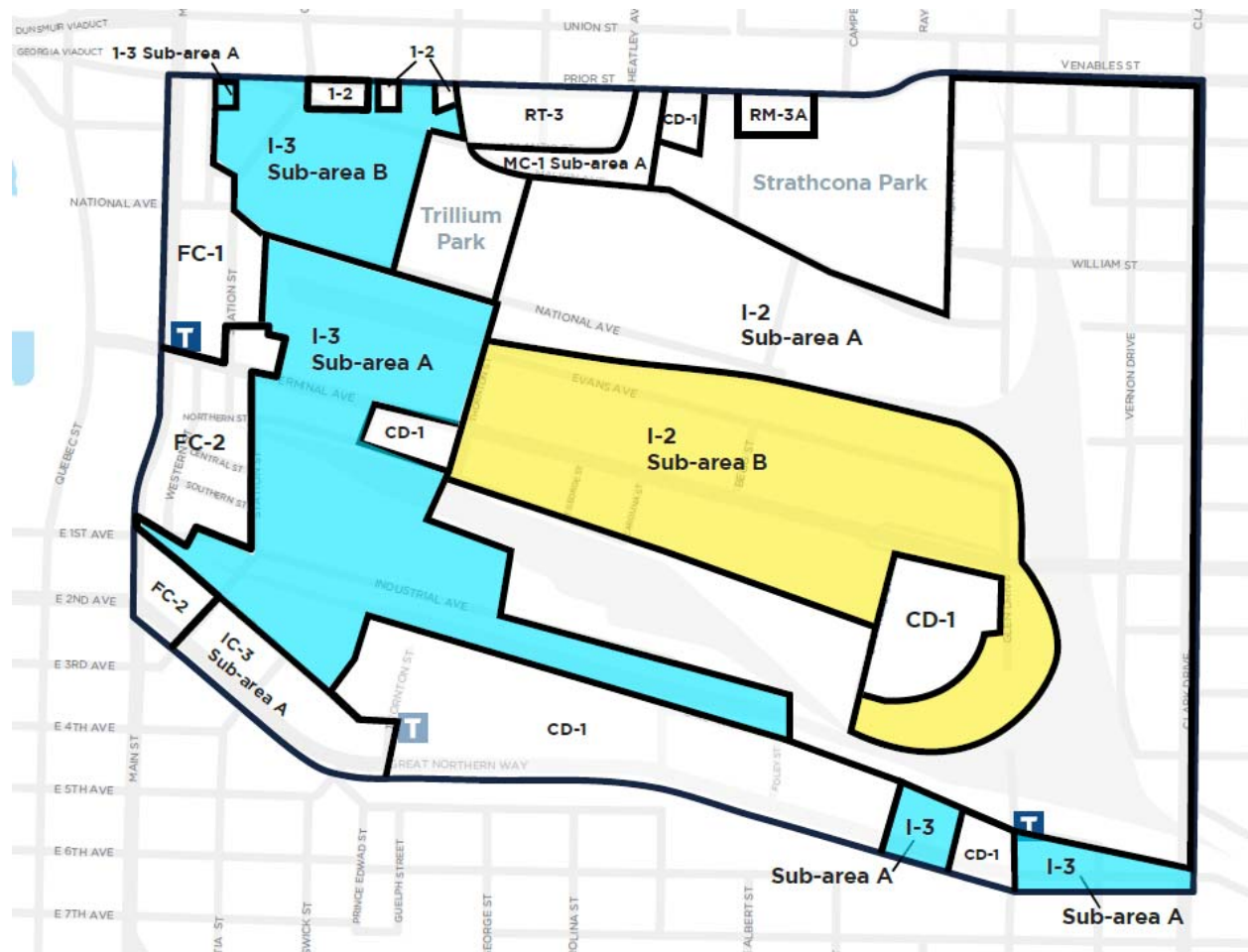
Adopted by City Council on (date TBD)



*False Creek Flats*



**Note:** These policies and guidelines are organized under standard headings. As a consequence, there are gaps in the numbering sequence where no guidelines apply.



*Map 1 – False Creek Flats Zone District Map for I-2 Sub-area B and I-3 Sub-Areas A and B*



# 1 Application and Intent

## 1.1 Plan Principles

These policies and guidelines apply to I-2 Sub-area B and I-3 Sub-area A and are to be used in conjunction with the I-2 and I-3 District Schedules for the Terminal Spine, Creative Campus and Health Hub Sub-Areas of the False Creek Flats and should be consulted in seeking approval for conditional uses or discretionary variations in regulations. These policies and guidelines do not apply to the I-2 Sub-Area A Back-of-House sub-area. As well as assisting the applicant, these policies and guidelines will be used to evaluate conditional or discretionary relaxations.

The intent of these policies and guidelines are to:

- (a) **Intensify Employment Opportunities:** Increase job space around existing and future transit sites that reflect the industrial character and nature of the area. Explore opportunities for higher use of existing buildings for more intensified job space.
- (b) **Maximize Flexibility:** Ensure that new buildings can adapt and evolve to accommodate future changes in economic production.
- (c) **Encourage Vertical Stacking of Industry and Production Spaces:** There is increasingly an opportunity to stack many industrial/production businesses in the same building. With the goal of increasing employment and the productive output of the area, the plan supports a return of vertically stacked industrial uses in the Flats.
- (d) **Take Advantage of Unique Opportunities:** A thriving economy requires space for all scales of businesses from start-ups to headquarters. Large lot sizes create flexibility and scale not available elsewhere in the inner city. Plan for flexible outdoor spaces that can host a variety of uses over 24 hours.
- (e) **Create Buildings that Respect & Respond to the Public Realm:** Design buildings at the scale of the pedestrian by incorporating elements at the ground floor that help to create attractive, well- functioning and welcoming spaces.
- (f) **Reference Industrial & Institutional Urban Fabric:** Consider a campus approach to the design and siting of developments on large sites. Accommodate industrial and institutional scales within a finer grained urban setting to facilitate organic growth and phasing over time.
- (g) **Create healthy and productive workspaces:** Design the public realm to maximize sunlight on public spaces and daylight in work environments.
- (h) **Encourage Working Rooftops:** Expand economic functions to the roof tops of buildings.
- (i) **Create Thoughtful Transitions Respectful of Surrounding Residential Neighbourhoods:** Require transitions between working industrial lands and adjacent residential.
- (j) **Showcase Functional Workspaces in the Public Realm:** Create links between the

public realm and industrial function to showcase the industrial character of the Flats.

- (k) **Create Buildings and Neighbourhoods that Respond to Sea Level Rise:** Low topographic elevations and anticipated sea level rise presents a major challenge for development in False Creek Flats. Provide adaptive, flood resilient building design solutions.
- (l) **Re-purpose Vehicle Parking:** Minimize surface parking and design for parking areas to transition to work space over time as other modes of transportation improve.

## 1.2 Structure Plan

The structure plan provides a quick reference for the overall physical framework and context for the False Creek Flats Area Plan, District Schedules and these Policies and Guidelines.



Map 2- Structure Plan

## 2 General Design Considerations

Development should provide opportunities for flexible and diverse building typologies and light industrial uses at grade. Buildings are encouraged to have more active and engaging ground floors that showcase functional workspace. New and improved connections through the area for walking and cycling are anticipated and will improve transportation.

Proposals will be evaluated by staff based the urban design performance objectives including setbacks, massing, building articulation, access to daylight and views, provision of on-site public open space, transition to surround communities, improved building articulation and animated streetscapes. There is a need to seek ways to create a more comfortable pedestrian experience by greening the streets with tree planting, continuous sidewalks and by encouraging active street frontages for businesses. Site layout and building design should reinforce the urban industrial scale and street network.

### 2.1 Neighbourhood Character

#### I-2 - Terminal Spine Sub-Area

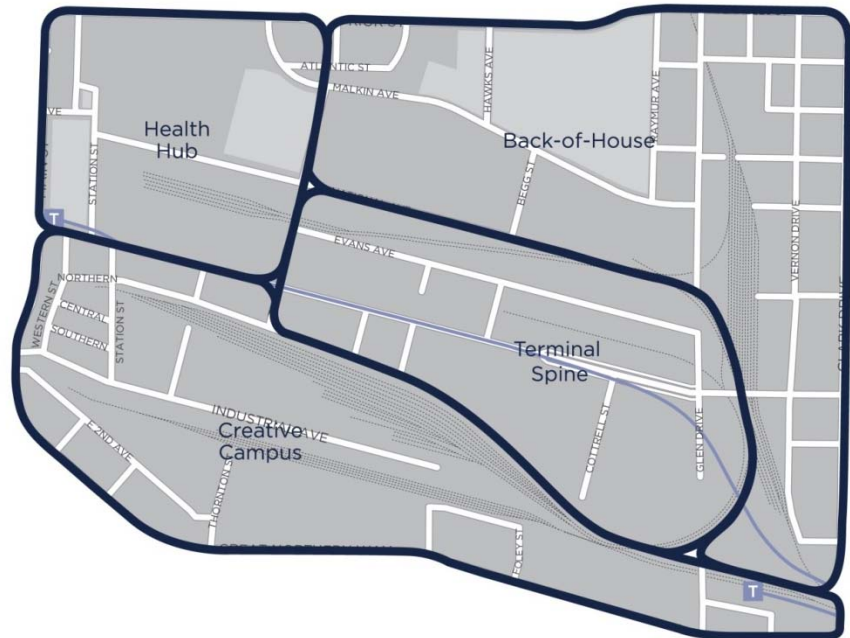
The intent for the Terminal Spine Sub-area is to become an intensified industrial area emphasizing the quality of the public realm and serve as a transition from the higher density I-3 zone district to the I-2 Back-of-House sub-area.

#### I-3 - Health Hub and Creative Campus Sub-Areas

The intent for the Health Hub and Creative Campus sub-areas is to enable intensification opportunities for flexible industrial and light industrial workspace, office space and other employment opportunities while enhancing public life and creating pedestrian interest.

The Health Hub includes the anticipated new St. Paul's Hospital and health campus on a 7.5 hectare (18.5 acre) site in the north-west corner of the False Creek Flats. It will significantly intensify employment, deliver disaster-resilient infrastructure and create a well-connected public realm that integrates the new hospital and health campus into the city and adjacent neighbourhoods. In addition, the sub-area contains Thornton and Trillium Parks, Pacific Central Station and related railyards.

The Creative Campus sub-area is located in the west and southern sector. With a distinct street grid and unique mix of industrial, office, IT, and creative industries, this transit rich sub-area will become the 'public face' of the False Creek Flats and provide a point of convergence where new connections link amenity and public spaces in this intensified employment node.

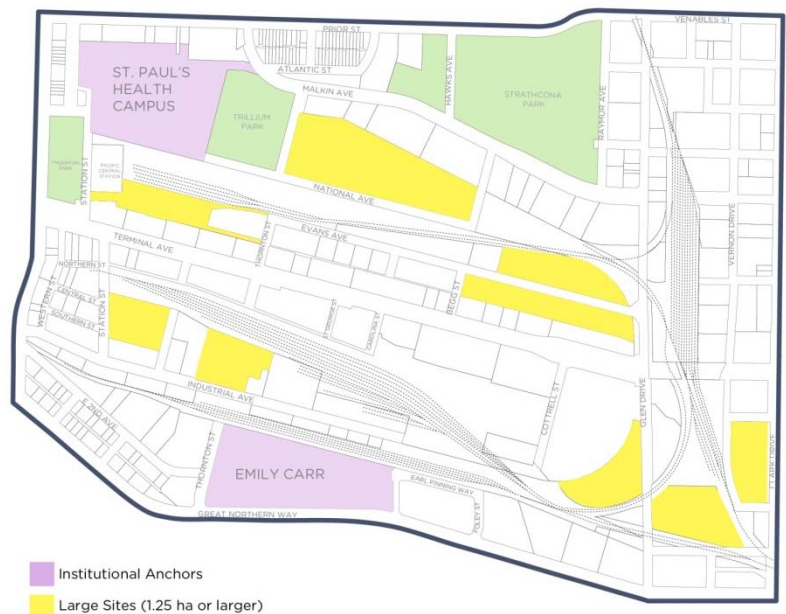


Map 3 - False Creek Flats Character Areas.

## Large Sites

Large sites in the Flats are generally defined by being **1.25 ha** (12,500sm) or larger and having frontages longer than the average neighbourhood block of approximately 61 meters. Additional large sites may be created through the consolidation of smaller lots.

The character and intent for large site should be considered with respect to its sub-area and be based on its own unique qualities. Large site design lends itself to a campus approach meaning prioritizing grouped building arrangements that create community outdoor open spaces and internalized vehicular access. New drives and vehicular access should integrate with the existing roads network and public open space network as well as limit the number of sidewalk crossings.



Map 4 – Existing Large Sites in the Flats

## 2.2 Unique Spaces and Places

The diverse combination of uses and forms of development in False Creek Flats provides for opportunities to create unique and varied places. Creation of opportunities for public engagement in a variety of distinct places is highly encouraged.



## 2.3 Orientation

Building design, where possible, should seek to reinforce established street orientations emphasizing street level entrances and storefronts. The following strategies are highly encouraged:

- (a) Building faces that align with respective street orientations and established street wall heights.
- (b) Building faces built out to front yard setbacks.
- (c) On corner sites, both street facing facades should be developed as front elevations.
- (d) Reinforce irregular, curved or angled sites resulting in non-orthogonal building geometries.
- (e) Tower elements may be re-oriented with respect to daylight and solar performance, views, and architectural expression.

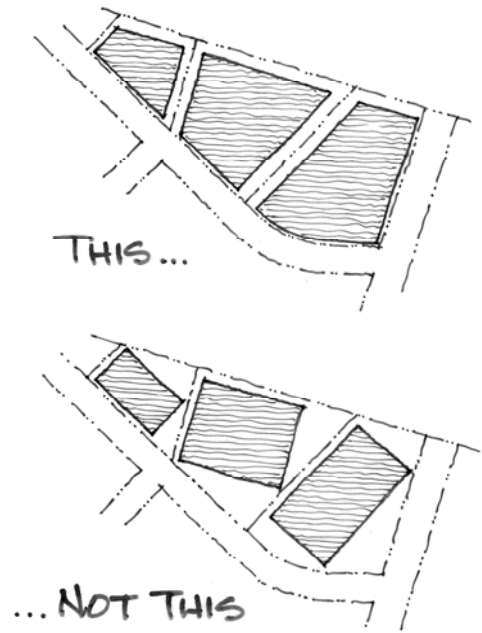
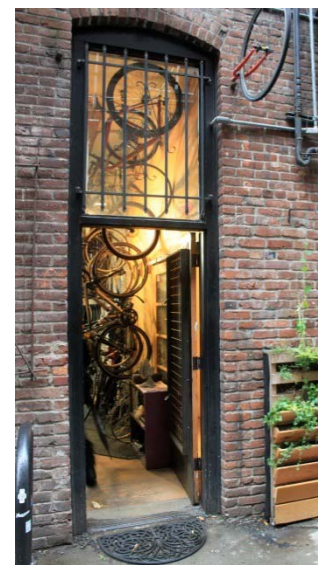


Figure 1- Orientation

## 2.4 Views

New development should be considerate of the impact on existing distant views. However as development progresses, the industrial and institutional scales and densities anticipated in False Creek Flats will have an impact on the ability to preserve these existing views. Development should therefore place a higher emphasis on the following strategies:

- (a) Provide an attractive near view. This can include a finer grained urban fabric and building modules, high-quality materials and detailing, visually permeable facades, programming for active outdoor uses and landscape elements.
- (b) Visually linking of open space. This can serve to expand the depth of views and may be achieved with building separations and setbacks.
- (c) The form and shape of tower elements should be informed by view studies.





## 2.5 Topography: Floodplain

False Creek Flats has low topographic elevations and may be at risk of flooding during large storms by the end of the century if projected sea level rise occurs. The *Flood Plain Standards and Requirements* as adopted by Vancouver City Council sets the designated flood plain at 4.6m from GVRD datum. As a consequence, existing grades including street right of ways, are often one to two meters below the anticipated ground floor elevations. A plan to raise street elevations may be considered in the future. Therefore, new development should be designed to be adaptive when incorporating flood resilient construction methods and to accommodate public realm objectives for both the current and potential future at grade conditions. Solutions should be accommodated within the property, be visually interesting, and relate to the pedestrian scale. Examples include increased building setbacks, internalized stairs and ramping as well as adaptable entries, loading and parking.

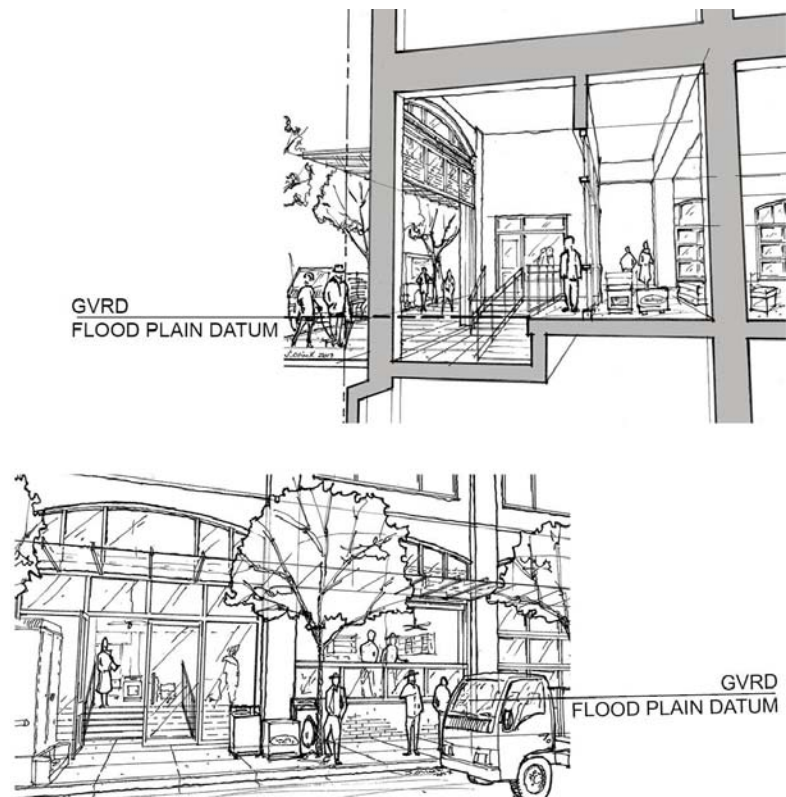


Figure 2 - Floodplain Strategies

## 2.6 Light and Ventilation

Daylight and ventilation in work environments can improve energy usage as well as promoting health and productivity. Considerations include:

- (a) solar shading devices, light shelves and glazing performance;
- (b) building orientation and massing;
- (c) increased floor and ceiling heights; and
- (d) operable windows.

## 2.7 Weather

In all cases, weather protection should be provided at common building entries and individual entries. Continuous weather protection should be provided along all street frontages, except that, it may not be provided continuously where it can be shown the provision would interfere with well-functioning industrial uses or where pedestrian traffic is not anticipated. Explore opportunities for weather protection that can encourage use as functional outdoor workspace.



## 2.10 Safety and Security

New development must provide a secure environment. The principles of “crime prevention through environmental design” (CPTED) should be incorporated in all new development. Some strategies include:

- (a) Maximize opportunities for natural surveillance;
- (b) Provide unobstructed and transparent sightlines to exits and destinations;
- (c) Foster territoriality and a sense of ownership;
- (d) No hiding places;
- (e) Lighting of public spaces;
- (f) Lobbies visible from the street and main entrances to buildings fronting the street;
- (g) Personal safety and security should be integral to the design of parking facilities and comply with the Off-street Parking and Loading By-law.

## 2.11 Access and Circulation

### 2.11.1 Pedestrian Access

- (a) Primary pedestrian access to all uses should be from the street at street level;
- (b) Internal public circulation systems such as shopping malls, are highly discouraged;
- (c) Corridors and elevators should be adequately sized for their intended use such as transporting goods or moving furniture and should not be overly long (no more than 23.0 m in any one direction) or circuitous.

### 2.11.2 Bicycle Access

- (a) Design buildings to accommodate and encourage cycling. Strategies include easy access to secure bicycle storage, access separate from vehicles, wider aisles, automatic door openers, weather protected exterior bicycle racks, maintenance stations, and enhanced end-of-trip facilities.
- (b) Provide direct routes between bike routes and building entrances, public bike share stations, bike parking, and other end-of-trip facilities.

### 2.11.3 Vehicular Access

To ensure a safe and active pedestrian environment, vehicular and service functions should not conflict with street frontage and pedestrian activity when possible.

- (a) Vehicular access, loading and service areas should be provided from the lane rather than the street where lanes are provided;
- (b) Where street access is considered, vehicular entrances should be designed integrally with the building or via side yard setbacks.
- (c) Explore opportunities for shared access drives in side yards with adjacent properties.
- (d) Where loading and vehicular access is required from the street, openings should be limited or functional integrated with the adjacent public realm. Consideration should be given to limiting bay openings to one structural bay at an approximate 7.6m (25ft) module.

## 2.12 Heritage

Heritage buildings located in the Flats, contribute to its character and architectural diversity. The Vancouver Heritage Register should be consulted when evaluating existing structures. Provide options that demonstrate a significant retention strategy when re-developing a site with a heritage building. Other older character buildings, although not listed in the Register, should also be considered for retention. In general, reuse of existing structures can contribute to sustainable solutions that are enriched by the historic narrative of a site. Review of developments with potential heritage resources with city staff is encouraged early in pre-application meetings.

## 3 Use

### 3.2 Vertical Stacking of Uses

As a means of intensifying industry and production spaces, exploration of vertically stacked uses is encouraged. Objectives for mezzanines and accessories uses include:

- (a) continuity with the adjacent primary use or space;
- (b) locate mezzanines away from front or flanking facades;
- (c) a minimum floor to floor height for mezzanines of 3.1 meters (10ft); and
- (d) convenient access to loading, garbage and elevators for all floors and mezzanines.

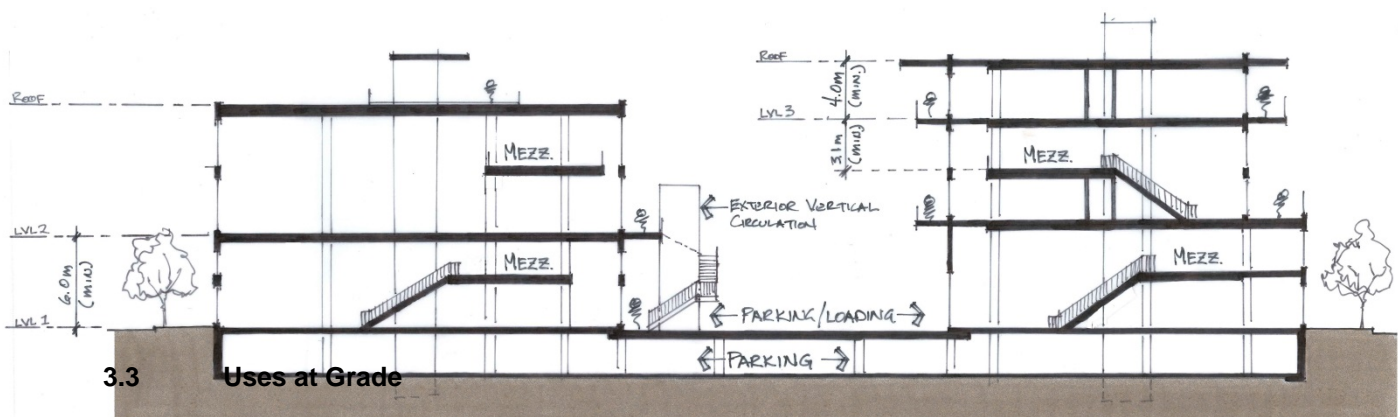


Figure 3 – Vertical Stacking of Industrial Spaces



Provide active and engaging uses at grade. Emphasize attractive, well-functioning and welcoming frontages that showcase workspace. Strategies including visually permeable frontages, operable window walls, setbacks and weather protection to accommodate outdoor workspaces are encouraged. The Director of Planning may consider relaxations to 2.3 and 3.3 – Conditions of Use in the District Schedules to encourage outdoor workspace and activities on-site based on the compatibility with the surrounding area and adjoining non-industrial districts.

Other than entrances and lobbies, Office uses should be located above the ground floor level. Where accessory retail or service uses are permitted these spaces should be designed to function in concert with the primary use and have their own entrances and street presence.



#### 4 Policies and Guidelines Pertaining to the Regulations of the Zoning and Development By-law and the Parking By-law

##### 4.3 Height

The intent for increasing maximum achievable building heights in the False Creek Flats includes for intensified employment opportunities, well-functioning and flexible job space, vertical stacking of industrial uses, working and green roof tops and response to sea level rise. New development should create an active and engaging public realm within a unique, vibrant, attractive, interesting and amenity rich environment. The Director of Planning may increase the maximum achievable building height based on the objectives of all applicable policies and guidelines including the evaluation of:

- (a) Impact of height, bulk, massing, location and overall design of the building on the site, surrounding buildings and streets. In addition to the general design considerations listed in Sections 2 and 5 describe the intents and objectives relating to general building expression and architectural components.
- (b) The provision of on-site open space, landscape, and the effects of overall design on the general amenity of the area. In particular Sections 7 and 8 describe open space and landscape objectives for the Public Places and Spaces, Network of Public Spaces, On-Site Public Open Space, streetscapes and landscape.
- (c) The effect on traffic in the area. See 2.11 for Access and Circulation, 4.5 for Side Yards and 4.9 for Off-Street Parking and Loading describing objectives for pedestrian, bicycle and vehicular access and circulation.
- (d) Provision for pedestrian needs including continuous sidewalks, weather protection, safety, and active and engaging frontages that respect and respond to the public realm.

##### 4.4 Front Yard and Setback

The intent for front yard setbacks is to provide opportunities for building articulation, to step inward as building heights increase and to establish a consistent street wall and building shoulder. The Director of Planning may consider relaxations to regulations controlling front yard setbacks based on the objectives of these policies and guidelines and the following:

- (a) Minor projections into the 0.6m front setback with the intent of improved building performance and articulation. Examples include solar shading devices or cornices.
- (b) Above 18.3 meters (approximately 4 storeys) reductions to setbacks should be balanced by commensurate and equal increases along the same building face. See Figure 7.
- (c) On corner lots the flanking street's façade will be evaluated using the same urban design objectives as the front façade.

#### **4.5 Side Yards and Setbacks**

The intent for side yard setbacks is to provide visual and physical breaks along long street frontages and generally step inwards as building height increases. Separations are intended to result in approximately 15.3m (50ft) building separations or greater and be located to generally align with the existing or historic street network. Explore opportunities for the Network of Public Spaces and other public space and landscape objectives as well as for vehicular and loading access where lanes may not exist. Adjacent developments should explore opportunities for shared access drives. For small lots, irregularly shaped lots or where a need is otherwise demonstrated, the Director of Planning may consider relaxations to regulations controlling side yard setbacks based on the objectives of these policies and guidelines and the following:

- (a) fit within the street network, neighbourhood patterns and urban fabric;
- (b) provision of a commensurate amount of open space;
- (c) impact on existing and future development;
- (d) building and tower separations; and
- (e) vehicular access, parking and loading provisions.

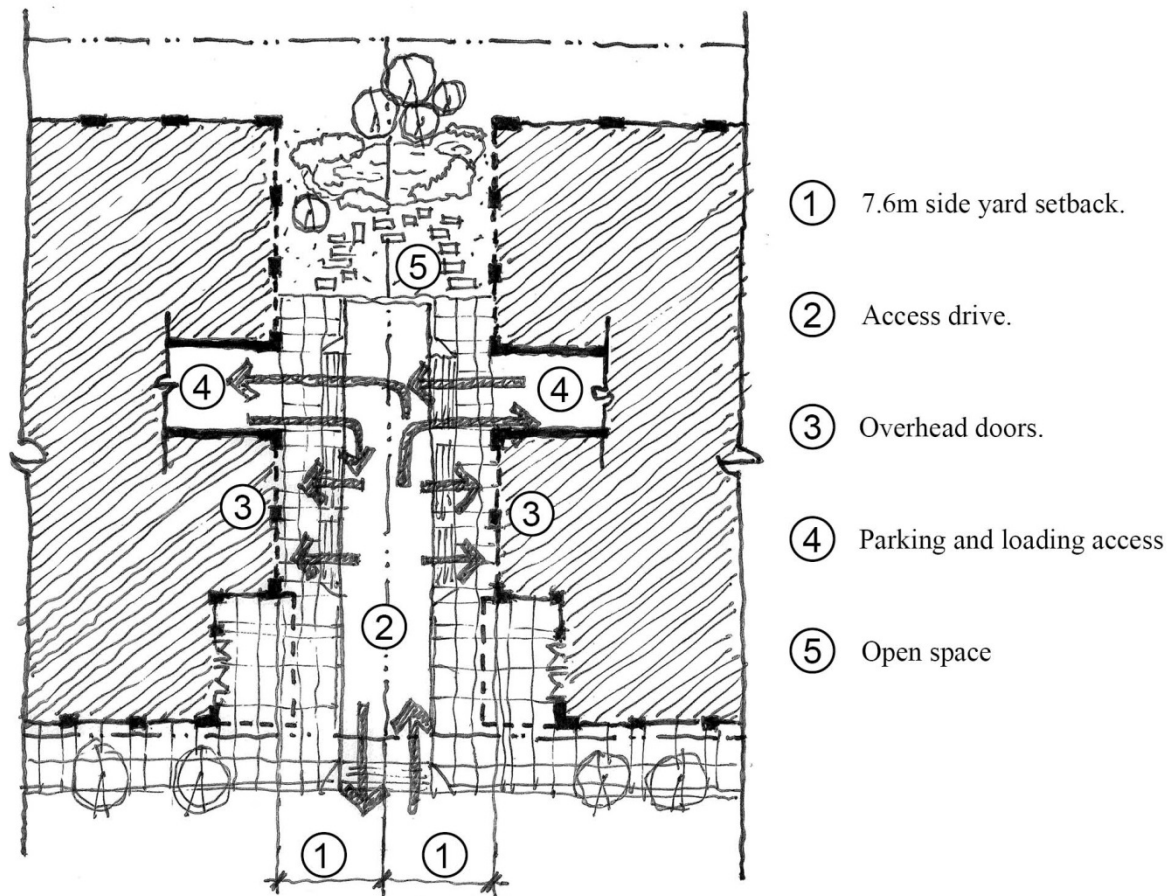


Figure 4 - Side Yard Setback Diagram

#### 4.6 Rear Yard and Setbacks

Where rear yard setbacks are regulated by the district schedules, space abutting the lane or rear property line should be considered with respect to adjacent use. Residential uses and buildings taller than 22 meters (72 ft) are also subject to greater setbacks. In addition, rear setbacks may be required for transition to surrounding neighbourhoods, for sun shadow impacts on public open space or by proximity to rail.

#### 4.7 Floor Space Ratio (FSR)

The intent for increasing the maximum achievable floor area is to provide opportunities for intensified employment and well-functioning and flexible job space. At the same time, new development should create an active and engaging public realm within a unique, vibrant, attractive, interesting and amenity rich environment. Not all sites will be able to achieve the maximum floor area. The Director of Planning consider increases to the maximum achievable floor area based on the objectives of all applicable policies and guidelines and including evaluation of:

- (a) Impact of height, bulk, massing, location and overall design of the building on the site, surrounding buildings and streets. In addition to the general design considerations listed in

Sections 2 and 5 describe the intents and objectives relating to general building expression and architectural components.

- (b) The provision of on-site open space, landscape, and the effects of overall design on the general amenity of the area. In particular Sections 7 and 8 describe open space and landscape objectives for the Public Places and Spaces, Network of Public Spaces, On-Site Public Open Space, streetscapes and landscape.
- (c) The effect on traffic in the area. See 2.11 for Access and Circulation, 4.5 for Side Yards and 4.9 for Off-Street Parking and Loading describing objectives for pedestrian, bicycle and vehicular access and circulation.
- (d) Provision for pedestrian needs including continuous sidewalks, weather protection, safety, and active and engaging frontages that respect and respond to the public realm.

#### 4.9 Off-Street Parking and Loading

Parking and loading are essential services to the function of industrial, manufacturing and production spaces. However, they can detract from other objectives of the False Creek Flats by creating a physical and visual break between the building and its connection to the public realm. In addition parking and loading access and layout should minimize surface parking as well as consider opportunities for it to transition to work space, over time, as other modes of transportation improve.

- (a) Locate parking accesses and passenger loading/unloading in locations that support efficient vehicular movements and minimize circulation on the street network.
  - (i) Parking should be located underground or within the building envelope. Exceptions may be considered for small sites.
  - (ii) Where it is not reasonable to place all parking and loading within the building envelope, at-grade stalls should be located at the rear of the site and not within the front yard or on a flanking street.
  - (iii) Above-ground parking structures are discouraged, but not prohibited. They will not be exempted from density calculations and may require analysis on the impacts to urban design and the public realm at the time of development permit approval. Explore adaptable solutions where parking can transition into employment space in the future.
- (b) Limit impact on sidewalks and the public realm by minimizing the number and size of access drives and internalize manoeuvring as much as is feasible. Explore opportunities for shared access drives in side yards.
- (c) Consider adaptability of loading bays such as having a secondary function as workspace.
- (d) Accommodate loading, deliveries, servicing and maneuvering on-site.

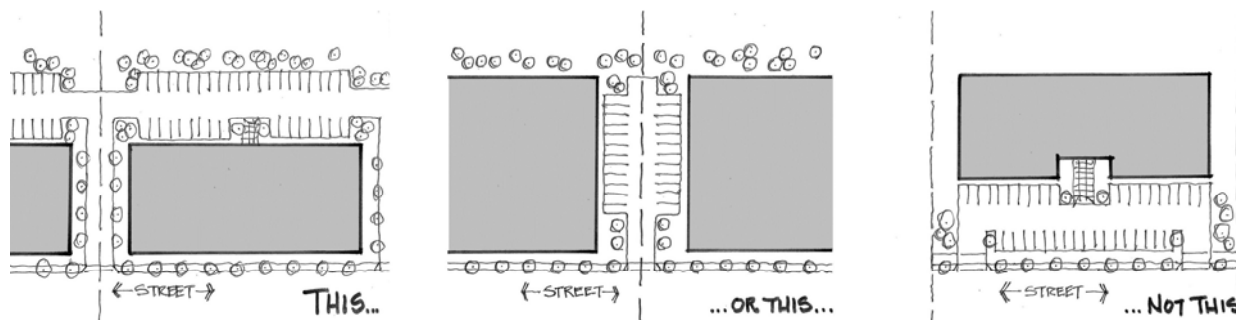


Figure 5 - Parking Strategies

#### 4.16 Building Depth and Building Width

The district schedules regulate that neither the width nor depth of an individual building should exceed 61.0 m (200 ft) without a building separation of a minimum 15.25m (50ft). The intent for limiting building width and depth is to create building separations at approximately every 76 meters (250ft). See 4.5 - Side Yards for design intent. The building separations can be treated as side yard spaces creating opportunities for vehicular access, open space, views and to reinforce the existing street network. The Director of Planning may consider relaxations to regulations controlling building depth and building width based on the objectives of these policies and guidelines including:

- (a) fit within the street network, neighbourhood patterns and urban fabric;
- (b) provision of a commensurate amount of open space;
- (c) impact on existing and future development;
- (d) building and tower separations; and
- (e) vehicular access, parking and loading provisions.

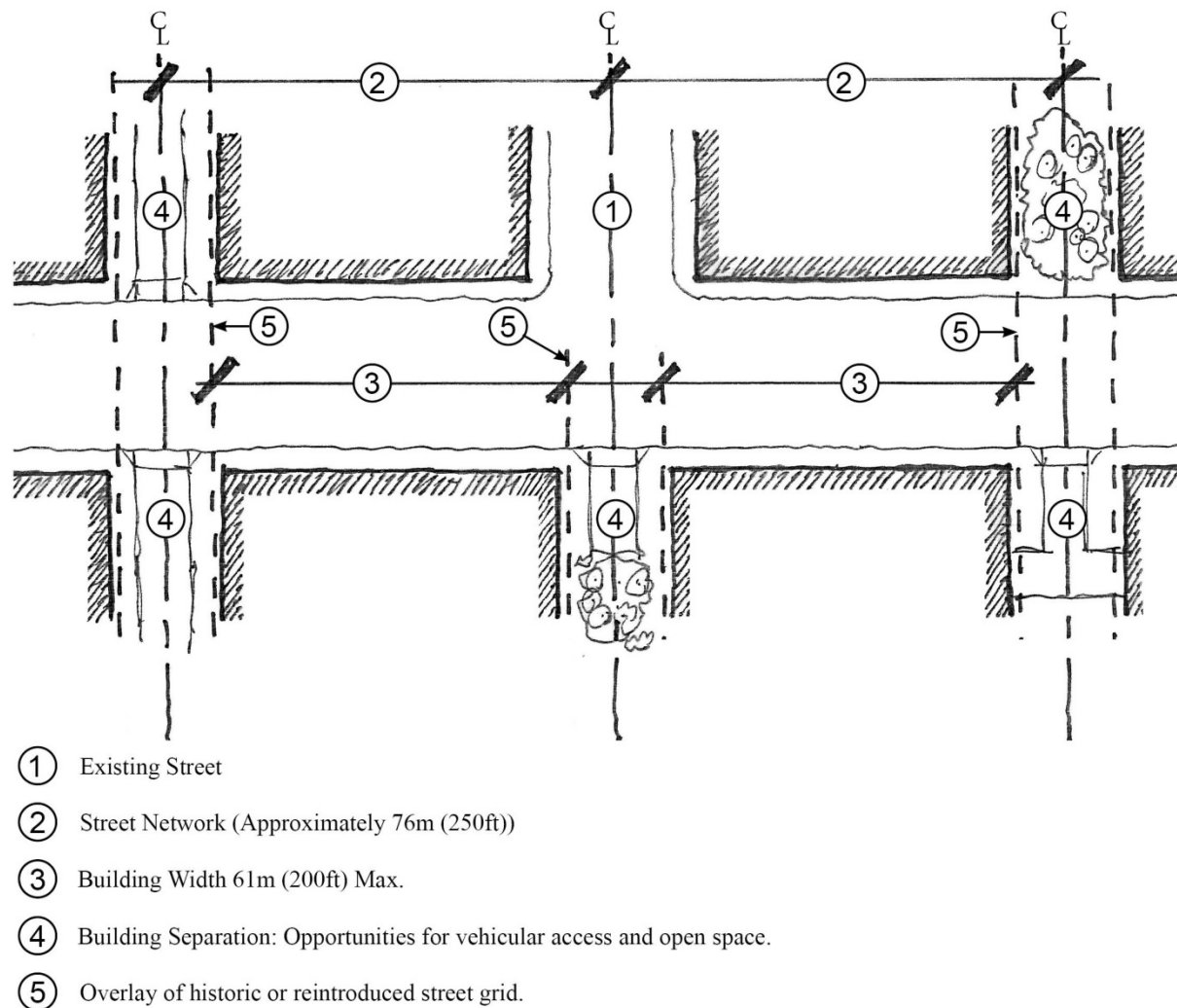


Figure 6 – Building Separation

#### 4.17 Building Massing

Objectives in the False Creek Flats for intensified employment opportunities and well-functioning workspaces are anticipated to result in a form of development with greater densities, building heights, and floor plates. Form and massing should therefore be carefully considered with respect to the objectives of these policies and guidelines including access to daylight on the public realm, creating engaging public spaces, building articulation, an attractive near view, and finer grained urban settings.

- (a) **Stepped Massing:** The intent for the stepping of building setbacks is to reduce apparent bulk and massing as height increases to improve access to daylight and views on the adjacent public realm and developments.

To encourage a more varied architectural expression, the Director of Planning will consider relaxations to the front, side and rear setbacks based on the evaluation of sun shading analysis and the contextual relationship to existing and anticipated future development. Projections (+) into setbacks should be balanced by a commensurate recesses (-) from the setbacks.

Application drawings should include sun shading diagrams and context analysis for evaluation of these objectives.

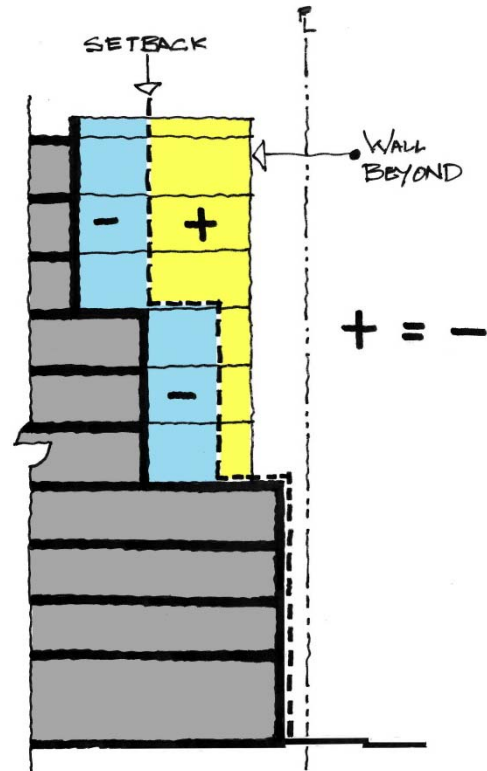
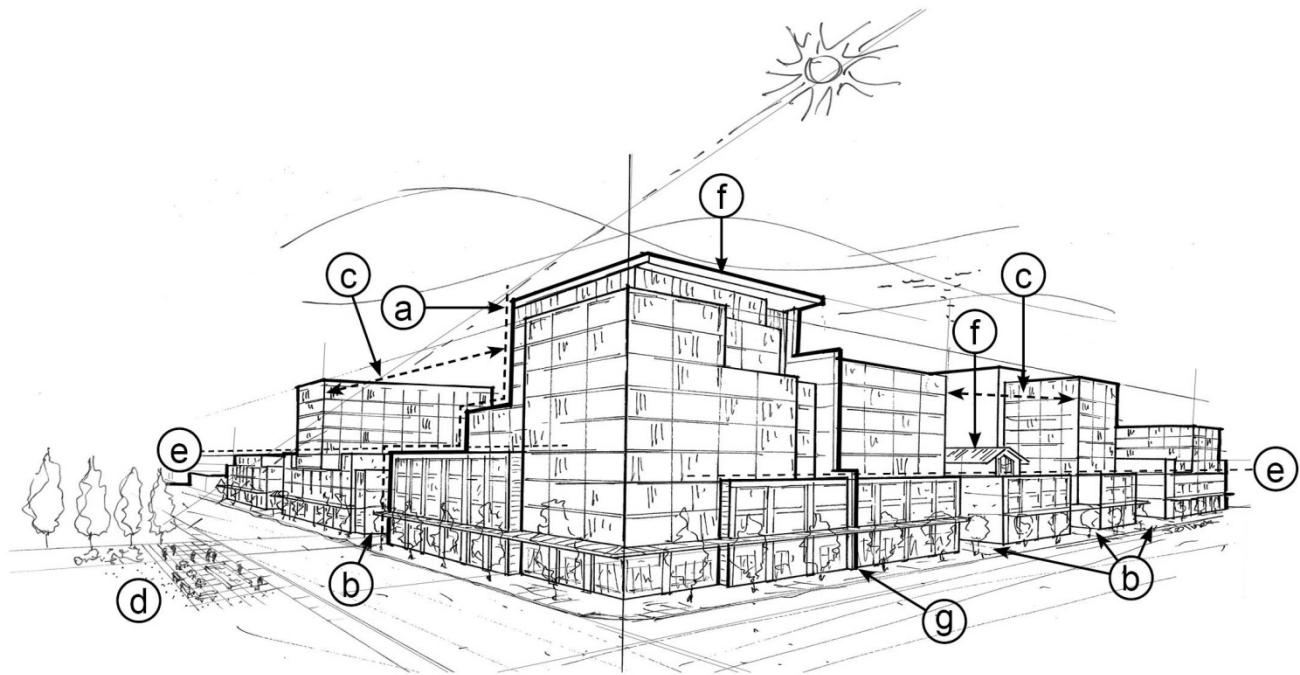


Figure 7 - Stepped Massing Section Diagram

- (b) **Longer Buildings:** Where the need for longer or wider buildings can be demonstrated, relaxations to regulations controlling building width and depth and building separation may be considered based on design merit and the provision of a commensurate amount of quality open space and pedestrian interest. Consideration should also be given to significant facade articulation and on-site connections by transparent bridges and walkways on the upper floors. Break up long frontages and expanses of wall planes with substantial recesses, setbacks or building separations.
- (c) **Tower Elements:** Tower elements (considered to be any portion of a building over 22.0 m (72 ft.) in height) should:
- (i) be separated from other commercial tower elements by 15.2 m (50ft)
  - (ii) be separated from residential tower elements by 24.0 m (80ft).
- Where adjacent sites are not fully developed, the proposed tower should maintain a distance of 7.6m (25ft) from the interior side and rear property lines unless residential uses are permitted on the adjacent lots in which case the setbacks should increase to 12.5 m (41 ft.).
- (d) **The Network of Public Space:** Building massing should respect the importance of sunlight on the Network of Public Space. Development along Walk-the-Line and the Network of

Public Space should seek to minimize shadowing on the opposite sidewalks, mini-parks, urban plazas and other public places.

- (e) **Street Wall and Shoulder:** The intent is for development to be built out to the 0.6m front yard setback and create a consistent 4 storey, 18.3 meter shoulder.
- (f) **Roof:** The profile and silhouette of roofs should be considered as part of the skyline. Elevator penthouses, mechanical rooms, equipment, vents and other appurtenances should be integrated with the architectural treatment of the roof and screened from view.



*Figure 8 – Building Massing Diagram*

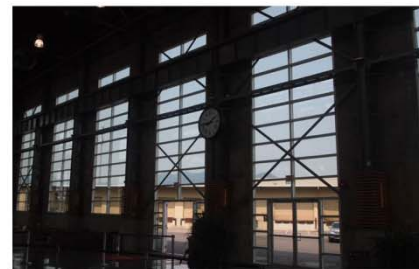
- (a) Stepped Massing
- (b) Building Separation
- (c) Tower Separation
- (d) Network of Public Spaces
- (e) Consistent Street Wall and Shoulder
- (f) Roof: Architecturally integrated and visually interesting.
- (g) Side Yard Setback Relaxation



## 5 Architectural Components

The intent for architectural components and materials is to recognize the area's unique industrial heritage as well as the following objectives:

- (a) Reinforce the near view with high-quality materials, detailing and active storefronts.
- (b) Express a finer grain urban fabric by articulating smaller structural bays and modules.
- (c) Generic “big box” building designs that exhibit little facade interest and transparency to the street should be avoided.
- (d) Storefronts should be transparent at grade and are encouraged not to contain long blank walls.
- (e) High clearance warehouse-type spaces should have clerestory windows at the upper storey of the facade.
- (f) Building interface at the public realm should emphasize details and proportions at the scale of the pedestrian with particular consideration to the objectives of animated streetscapes and showcasing functional outdoor workspaces.
- (g) Reference the “heavy duty” context with details and expression.





## **5.1 Roofs**

- (a) Encourage working rooftops to expand economic functions to the roofs of buildings.
- (b) Roof tops should be designed to be attractive where seen from above through use of landscaping, green roof technologies, choice of materials and colour.
- (c) Elements such as gazebos and trellises may be considered, height and floor area permitting.

## **5.2 Windows**

Windows at grade are important to enhance pedestrian interest, particularly where retail uses are not required at grade.

- (a) For retail, service or office uses:
  - (i) maximize transparency through use of high transom, low sill window designs, as well as openable windows where appropriate. For service and office uses, design should allow for adaptation to retail use in the future.
- (b) For industrial uses:
  - (i) provide windows for viewing to industrial processes where possible; and
  - (ii) where windows cannot be used, use other means to add visual interest such as expressed vertical elements, vines, murals, and detailing. Avoid long stretches of blank wall.
- (c) Uses and functions which do not lend themselves to enhancing pedestrian interest should be located away from ground floor windows.
- (d) Use of mirrored or highly reflective glazing, window decals or other vision obscured treatments are discouraged, and may not be permitted, especially at grade.

## **5.3 Entrances**

The intent is to create buildings and spaces that relate to and respect the public realm as well as to showcase functional workspace. Characteristics of these buildings include:

- (a) Main building entries should be clearly identifiable, transparent and accessible from the street.
- (b) Locate secondary entrances and individual small tenant entries with frequency along adjoining sidewalks. Separate uses or accessory retail spaces should have separate and distinct entries.
- (c) Reinforce visually and physically, the connection of interior spaces to the public realm. Strategies, such as operable folding storefronts and roll-up doors, are encouraged to introduce opportunities for outdoor workspace.
- (d) Provide pedestrian interest and comfort at entries provided through specifically designed seating, signage, lighting and features that indicate the building's use and function,

## **5.4 Building Articulation**

- (a) Express an approximately 7.6 meters (25ft) structural bay spacing on street facing facades, especially at the four lower floors or podium.
- (b) Building articulation can be achieved with materiality, shadow lines and exposed structural components.

- (c) Feature banding to break up perceived wall height may be used to assist in achieving horizontal articulation.
- (d) Highly visible circulation and building systems are encouraged.
- (e) Vertical service elements, such as stair and elevator shafts, may be used to assist in articulation, as well as being expressive of their function.

## 5.5 Exterior Walls and Finishing

- (a) Exterior building design should reflect the industrial and institutional urban fabric of the sub-area by using appropriate, durable, and high-quality materials.
- (b) Exterior materials that are encouraged include:
  - (i) contemporary metal cladding systems;
  - (ii) heavy timber structural elements;
  - (iii) glass and steel;
  - (iv) masonry, architectural concrete or brick.
- (c) Stucco and vinyl are discouraged as primary exterior materials and may not be permitted by the Building By-law.

## 5.6 Awnings and Canopies

- (a) In terms of appearance, a uniform canopy or awning across the entire building façade may be inappropriate to the diverse and varied character of the Flats. Design architecturally integrated, high quality awnings and canopies, but ensure some variety in form, and/or the ability for tenants to vary them.
- (b) Ensure that awnings and canopies are deep enough and close enough to the ground to provide shelter. The recommended minimum depth to height ratio is approximately 7:10.
- (c) Transparent or translucent glazed canopies that permit the passage of light are encouraged.
- (d) Section 2.7 describes where weather protection should be provided.

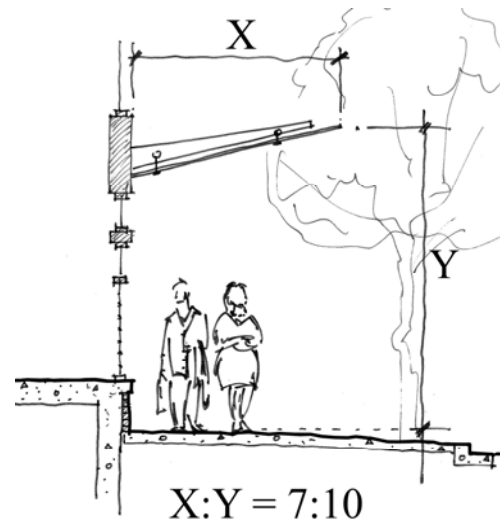


Figure 10 – Weather Protection

## 5.7 Lighting

- (a) Building, entry path and parking lighting should be integrated into the site and building design.
- (b) For exterior lighting, incandescent and other white light sources are encouraged, while sodium vapour light sources are discouraged. Better performing, more efficient light sources such as LED's are highly encouraged.
- (c) Exterior lights should be oriented away from adjacent residential properties, with cut-off shields to minimize light.
- (d) For larger developments or campuses or where proximity to adjacent development is a concern, a site lighting plan indicating light levels and light fixture types should be provided.
- (e) Review opportunities to utilize lighting design standards and guidelines that reduce negative impacts to birds and other wildlife.

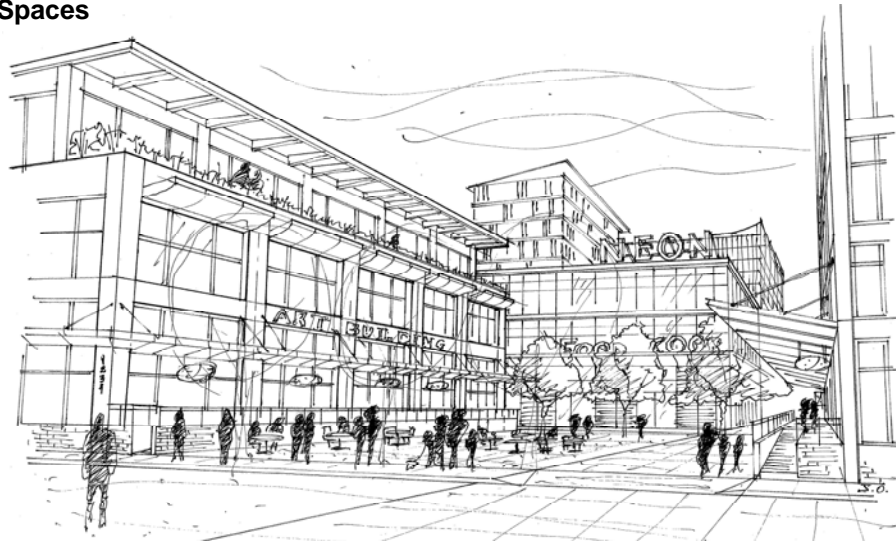
## 5.8 Signs

- (a) Corporate signage should be subordinate to the design of the building and architecturally integrated with the development.
- (b) Internally illuminated or back light sign boxes are discouraged.
- (c) Signage that compliments the industrial urban fabric and character established in the Flats is encouraged. Examples include neon, signage painted on walls, signs with individual letters placed directly on the building or signs incorporating materials that reinforce the character specific sub-areas such as steel, glass and heavy timber.
- (d) One freestanding, ground oriented pylon sign is appropriate at each entrance to a large campus site, complimented by wayfinding signage at key decision points along internal drives or paths.
- (e) At grade uses are encouraged to have minimal, clear, pedestrian oriented signage located at premises entries.



7 Open Space

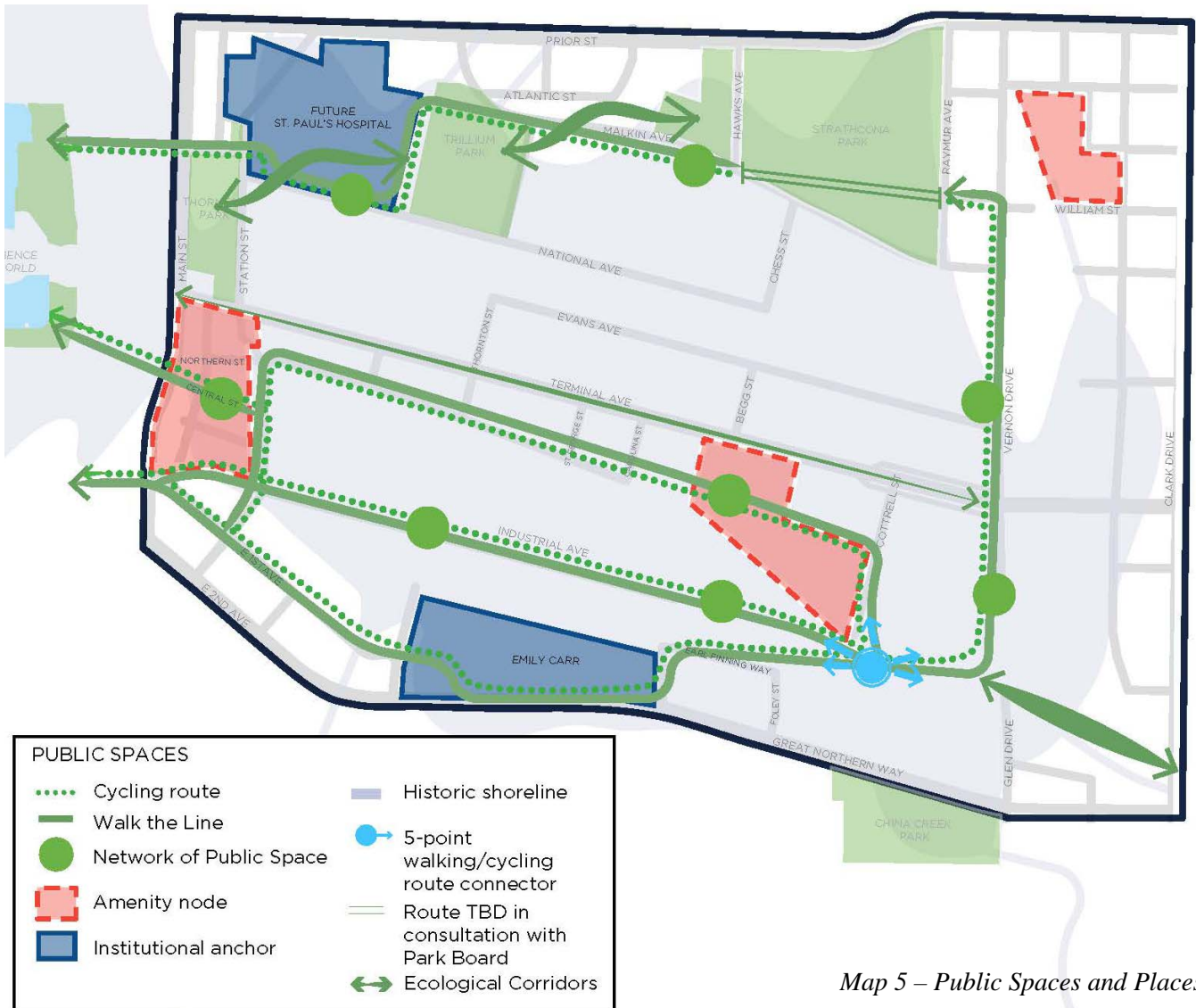
7.1 Public Places and Spaces



Create unique, vibrant, attractive, interesting and amenity rich environments that appeal to the increasingly mobile employees of the twenty-first century. It is hoped these interesting and inviting places will support innovation by providing venues that support the spillover of new ideas and breakthroughs within the local economy.

Objectives and character descriptions of the key public pathways and connections envisioned for False Creek Flats include:

- (a) **Innovation Corridor – Railtown to Mount Pleasant:** A new off-Main complete street will connect Gore to Station to Lorne, and will serve as a primary north-south link for all transportation modes and tie the innovation nodes together along this corridor.
- (b) **Arts Walk:** The lane between First Avenue and Second Avenue has a unique character and the potential to contribute to the public space network. While maintaining its primary function for servicing, it provides an opportunity to animate a walking link between the Innovation Hub and Emily Carr. This link is envisioned to be lined with commercial galleries, or an “arts walk.” The future lane treatment could include lighting, seating and other public realm improvements.
- (c) **Central Spine:** A key connection to the Creative Campus is a prominent public linkage along Central Street, through the Innovation Hub to the Seawall that will provide the southwestern starting point of Walk-the-Line. Development should explore opportunities for shared programming as a means to showcase adjacent workspace.
- (d) **The Five Points:** The meeting point of the CN and BNSF yards has the potential to link five key desire lines for the flats public space network. Opportunities for public spaces on an elevated structure would provide key vantage points over the rail with views to downtown and the mountains.
- (e) **Walk-the-Line:** Walk-the-Line is envisioned as a multipurpose route that connects the various sub-areas into a cohesive whole. The general concept is to roughly trace the old shore line of False Creek, extending the Seawall through the Flats on an approximately 4.5km loop.
- (f) **Central Valley Greenway:** Maintain this important cycling route along East 1<sup>st</sup> Avenue until such a time as a future Industrial Avenue linkage is realized.



Map 5 – Public Spaces and Places

Development should respect the importance of sunlight between 10:00am and 2:00 pm between the March and September equinoxes on the Network of Public Spaces and Walk-the-Line route as listed below and shown below on Map 5.

- (i) Central Street from Main Street to Station Street;
- (ii) Industrial Avenue from Main Street to Cottrell Street;
- (iii) Cottrell Street from Industrial Avenue to the future Northern Street extension;
- (iv) Station Street from Northern to East First Avenue;
- (v) East First Avenue from Main Street to Thornton Street;
- (vi) Thornton Street from East First Avenue to Great Northern Way;
- (vii) Great Northern Way from Thornton Street to Fraser Street;
- (viii) Fraser Street from Great Northern Way to Earle Finning Way;
- (ix) the Railyards between Foley Street and Glen Drive;
- (x) East Fifth Avenue from Glen Drive to Clark Drive;
- (xi) Glen Drive from East Fifth Avenue to William Street;
- (xii) William Street from Glen Drive to Raymur Street;
- (xiii) Malkin Avenue from Chess Street to Atlantic Street;

- (xiv) National Avenue from Thornton Street to Quebec Street; and
- (xv) the public open space nodes at the intersections of Hawks Avenue and Malkin Avenue, Thornton Street and National Avenue, Evans Avenue and Glen Drive, the eastern terminus of Industrial Avenue and the 1700 Block of Glen Drive.

## **7.2 Semi-Private Open Space**

Social semi-private open space is desirable for both employees, visitors and residents and should be provided to accommodate the intended users wherever possible. It could be located at grade or on the rooftop as part of a landscaped rooftop garden and should maximize sun exposure.

## **7.4 On-Site Public Open Space**

The following should guide design and location of open spaces on private land.

- (a) Consider opportunities to compliment public open space design including:
  - (i) Create inviting and comfortable places for people;
  - (ii) Reintroduce water and natural systems;
  - (iii) Encourage lively building edges and more welcoming street experience;
  - (iv) Respect existing public views and explore creating new views of prominent features such significant landmarks;
  - (v) Support the display of local art, craft or industry;
  - (vi) Explore opportunities for unconventional open spaces;
  - (vii) Improve wayfinding and legibility;
  - (viii) Encourage 24/7 activity and public life; and
  - (ix) Consider ways to ensure a safe, clean, clutter free environments.
- (b) Large sites, greater than 1.25 hectares, should incorporate green spaces for employees and the public as part of site landscape design.
- (c) Open space on privately owned land should be considered with the same objectives to reinforce the network of public spaces. Enhanced front and side yard setbacks can provide opportunities that help link open spaces.
- (d) Where practical, the public open space and greenways will be constructed on City owned land or City Right of Way (R.O.W.). In some circumstances, an additional R.O.W. may be requested from development to provide a more useable trail width.
- (f) Landscaping elements and public art, including temporary projects, are encouraged.
- (g) Reflect the industrial history of the area as well as contemporary life, innovation and experimentation.

## **Public Art**

Public art should be considered based on the following process and objectives:

- (a) Consideration for 24/7 access and use of the site;
- (b) Opportunities for rotating installations and diversity of scale and material;
- (c) Opportunities for art to be embedded in public spaces and infrastructure;
- (d) Consider opportunities to create diversity throughout the site and in unexpected places; and
- (e) Create public spaces built upon people being together in innovative ways.



## 8 Landscaping

### 8.1 Streetscape



The following design objectives apply to public open space:

- (a) Provide continuous sidewalks for the site's full frontage to encourage pedestrian use.
  - (b) Landscape design should provide for views into buildings for pedestrian interest, as well as special features such as opportunities to sit, view or take part in walking or active recreation.
  - (c) Explore opportunities for integrated rain water management.
  - (d) Provide a high quality public realm with street trees, landscaping, lighting, street furniture, signage and wayfinding, and green infrastructure where possible.
- (i) Street trees should be provided on all streets not currently having them, or where their spacing is inconsistent. Through the enquiry and approval process, the Parks Board and Engineering staff may specify species, spacing, and location.

### 8.2 Site Landscape

- (a) Existing trees and significant landscape features should be evaluated for retention where possible;
- (b) Landscaping should be used to help mitigate impacts between residential and industrial uses as well as rail;
- (c) Landscape design on other parts of the site should relate to anticipated activities;
- (d) A layered landscape treatment should be provided to screen surface parking and loading areas while providing strategic visual access to entries and access areas.
- (e) Strengthen urban forest connectivity;
- (f) Consider planted roof tops;
- (g) Enhance habitat for birds, pollinators and other flora and fauna and following the *Bird Friendly Design Guidelines*; and
- (h) Limit extent of underground parking layout and design to accommodate retention of existing trees and for the provision of new ones.

## 9 Utilities, Sanitation, and Public Services

### 9.1 Water and Sewer Services

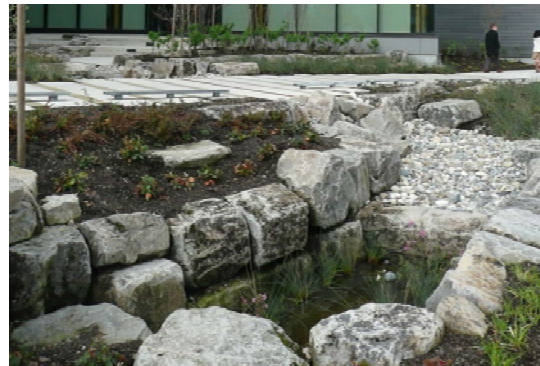
Upgrades to water and sewer services throughout the False Creek Flats may be required by future development proposals.

- (a) Some water mains may need to be upgraded or replaced to support future development in the False Creek Flats including along National Avenue, Thornton Street, and in the North East corner of the False Creek Flats.

- (b) The City of Vancouver is committed to increasing outdoor public access to drinking water through the Access to Water program. Throughout the Area, the City's waterworks branch will look for opportunities to install water fountains through redevelopment prioritizing locations along bike routes, near parks, public plazas, and other areas with a high demand for water.
- (c) The sewer system in False Creek Flats was initially constructed in the early 1900s through to the 1950's and largely rebuilt and separated in the 1970's. However, certain sewer mains are nearly 100 years old, and will likely require rehabilitation in the near term outside of the City's sewer separation program.

## 9.2 Integrated Rainwater Management

The Flats area is the outfall for the Terminal and China Creek drainage areas. As a result of this large catchment, a large diameter storm main exists under Terminal Avenue which discharges directly to False Creek making the entire drainage area a good candidate for integrated rainwater management techniques to improve water quality. Where possible, employ engineered systems (rain gardens, pervious paving and cisterns) and roof-top systems (including green roofs) to capture, treat and convey rainwater into the City's storm water system.



## 9.3 Garbage and Recycling

Garbage and recycling are essential services that can detract from the pedestrian experience and nearby development unless careful design is used to screen them.

- (a) Garbage and recycling facilities should be located adjacent to the lane, fully enclosed by a roof and sides or within the building envelope, and screened from the lane and street where possible.
- (b) A location for onsite queuing and pick-up is highly encouraged.

## 9.4 Neighbourhood Energy System

Where the General Manager of Engineering Services deems a connection to the NES is available and appropriate, buildings within any development will be required to connect to the NES prior to occupancy, or post-occupancy through a deferred services agreement, or otherwise, at such time that a system becomes available. Buildings shall be subject to the *Neighbourhood Energy Connectivity Standards – Design Guidelines*.

## 9.5 Underground Wiring

In order to improve the visual environment for residents, developments on larger sites (45.0 m frontage or wider) should investigate with the City Engineer the feasibility of using underground wiring for electric, telephone and cable services, including the removal or partial removal of existing overhead plant.

## 10 Environmental Considerations



## 10.1 Soils: Retention, Cleansing and Replacement

Provide soil remediation on all sites as required by the *Environmental Management Act, the Vancouver Charter* and all city policies with respect to the remediation of city streets. Additional considerations include:

- (a) Limit excavation thereby reducing soils remediation;
- (b) Reintroduce water and natural systems such as urban forests, wetlands and pollinator meadows;
- (c) Topsoil should be retained and soil quality improved where necessary;
- (d) Contaminated soils should be replaced with quality soils to enhance plant growth and ground water quality; and
- (e) Employ soil remediation techniques such as piling and ground densification to ensure buildings are seismically stable and not subject to liquefaction.

## 10.2 Green Buildings



Development should explore opportunities for:

- (a) Green building technologies to help advance the criteria for healthy productive workspaces;
- (b) Green roof tops, including potential business opportunities such as a permanent home for urban agriculture or other rooftop businesses or uses;
- (c) Passive design features and technologies including complimenting the burgeoning green building economic sector;
- (d) Support innovation with respect to green building and renewable energy system design, operation and placemaking;
- (e) Green fleet programming and electric vehicle charging infrastructure; and
- (f) Passive strategies to building heating, ventilation and cooling including solar orientation and operable windows.

## 10.5 Energy: Conservation and Efficiency

- (a) Building materials, systems and construction methods should be considered to conserve energy and reduce long-term operating costs.

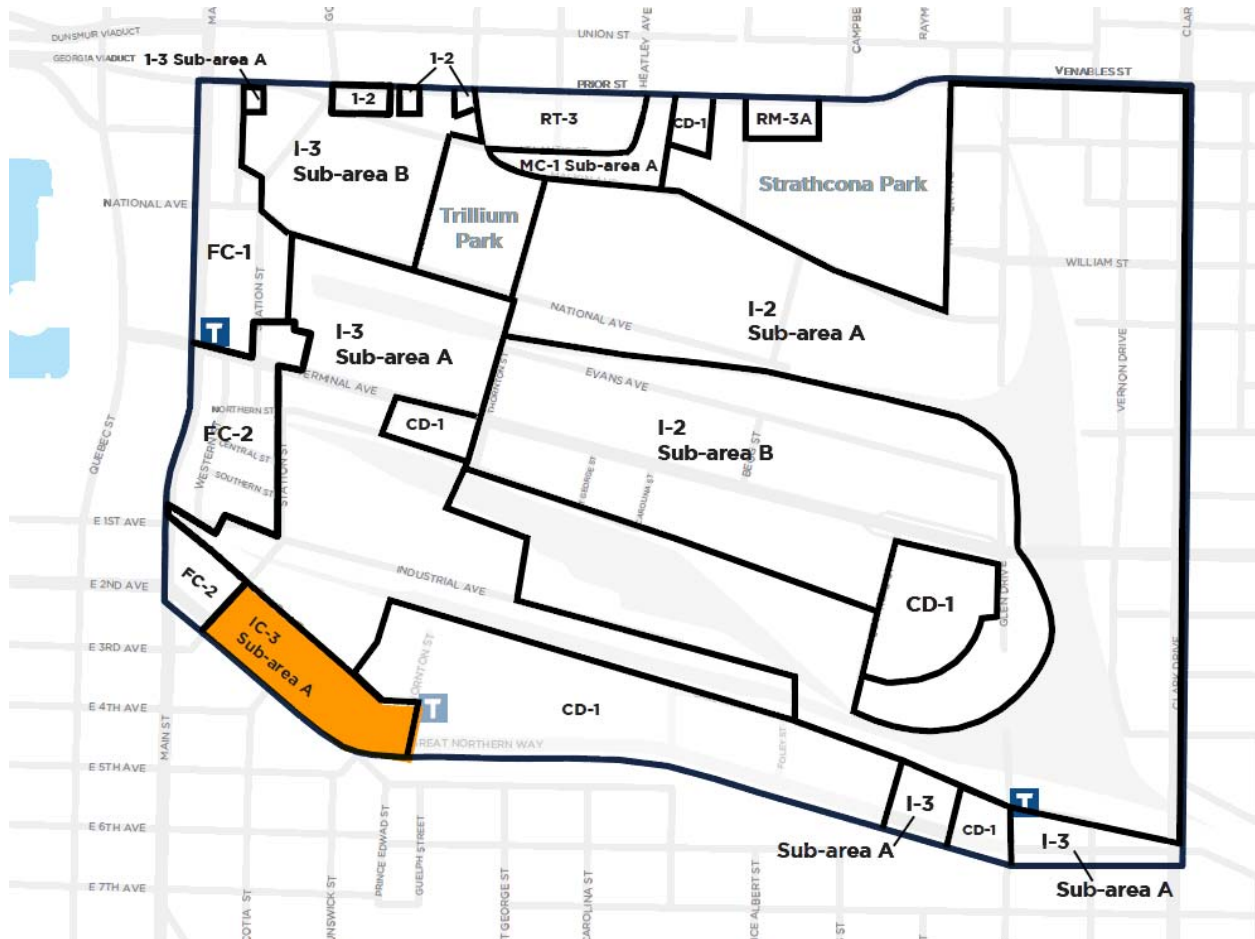
Appendix J

# FALSE CREEK FLATS URBAN DESIGN POLICIES AND GUIDELINES FOR IC-3

Adopted by City Council on (date TBD)



*False Creek Flats – IC-3*



*Map 1 – False Creek Flats Zone District Map for IC-3A*

## 1 Application and Intent

### 1.1 Plan Principles

These policies and guidelines are to be used in conjunction with the IC-3 District Schedules in the Creative Campus Subarea of False Creek Flats and should be consulted in seeking approval for conditional or discretionary relaxations to regulations. As well as assisting the applicant, these policies and guidelines will be used by City staff in the evaluation of projects.

The intent of the policies and guidelines is to:

- (a) **Intensify Employment Opportunities:** Increase job space around existing and future transit sites that reflect the industrial character and nature of the area. Explore opportunities for higher use of existing buildings for more intensified job space.
- (b) **Maximize Flexibility:** Ensure that new buildings can adapt and evolve to accommodate future changes in economic production.
- (c) **Encourage Vertical Stacking of Industry and Production Spaces:** There is increasingly an opportunity to stack many industrial/production businesses in the same building. With the goal of increasing employment and the productive output of the area, the plan supports a return of vertically stacked industrial uses in the Flats.
- (d) **Take Advantage of Unique Opportunities:** A thriving economy requires space for all scales of businesses from start-ups to headquarters. Large lot sizes create flexibility and scale not available elsewhere in the inner city. Plan for flexible outdoor spaces that can host a variety of uses over 24 hours.
- (e) **Create Buildings that Respect & Respond to the Public Realm:** Design buildings at the scale of the pedestrian by incorporating elements at the ground floor that help to create attractive, well- functioning and welcoming spaces.
- (f) **Reference Industrial & Institutional Urban Fabric:** Consider a campus approach to the design and siting of developments on large sites. Accommodate industrial and institutional scales within a finer grained urban setting to facilitate organic growth and phasing over time.
- (g) **Create healthy and productive workspaces:** Design the public realm to maximize sunlight on public spaces and daylight in work environments.
- (h) **Encourage Working Rooftops:** Expand economic functions to the roof tops of buildings.
- (i) **Create Thoughtful Transitions Respectful of Surrounding Residential Neighbourhoods:** Require transitions between working industrial lands and adjacent residential.
- (j) **Showcase Functional Workspaces in the Public Realm:** Create links between the public realm and industrial function to showcase the industrial character of the Flats.
- (k) **Create Buildings and Neighbourhoods that Respond to Sea Level Rise:** Low topographic elevations and anticipated sea level rise presents a major challenge for





## 2.4 Views

New development should be considerate of the impact on existing distant views. However as development progresses, the anticipated scale and density will impact the ability to preserve these existing views. Development should therefore place a higher emphasis on the following strategies:

- (a) Provide an attractive near view. This can include a finer grained urban fabric and building modules, high-quality materials and detailing, visually permeable facades, programming for active outdoor uses and landscape elements.
- (b) Visually linking new open space to existing open space. This can serve to expand the depth of views.
- (c) The form and shape of tower elements should be informed by view studies.
- (d) View Cones may limit building heights along Lorne Street.



## 2.5 Topography: Floodplain

False Creek Flats has low topographic elevations and will be at risk of flooding during large storms by the end of the century if projected sea level rise occurs. The *Flood Plain Standards and Requirements* as adopted by Vancouver City Council sets the designated flood plain at 4.6m from GVRD datum. As a consequence, existing grades including street right of ways, are often one to two meters below the anticipated ground floor elevations. A plan to raise street elevations may be considered in the future. Therefore, new development should be designed to be adaptive when incorporating flood resilient construction methods and to accommodate public realm objectives for both the current and potential future at grade conditions. Solutions should be accommodated within the property, be visually interesting, relate to the pedestrian scale, and may include increased building setbacks, internalized stairs and ramping as well as adaptable entries, loading and parking.



Figure 2 - Floodplain Strategies

## 2.6 Light and Ventilation

Light and ventilation are important for both workspace and residences.

**Residential:** For dwelling uses the horizontal angle of daylight (H.A.D.) regulations in section 4.10 of the Districts Schedule should be supplemented with the following considerations:

- (a) living rooms should not face into courtyards less than 73m wide;
- (b) building massing should maximize sun access to courtyards and outdoor amenity areas;
- (c) mechanical ventilation of commercial and service spaces should be pre-ducted for exhaust through the roof at the highest level or at a location having the least impact on residential livability;
- (d) maximize opportunities for cross ventilation of dwelling units such as corner units or double fronting units; and
- (e) locate residential units and open spaces away from areas of noxious odours and fumes related to nearby traffic or land uses.

*Note: Consult individual sub-areas for permitted Dwelling Uses and tenancy.*

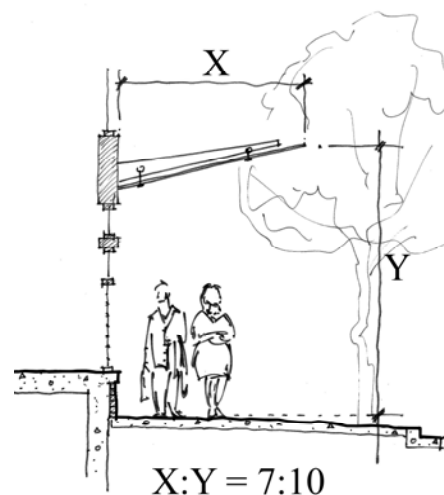
**All other Uses:** Daylight and ventilation in work environments can improve energy usage as well as promoting a health and productivity. Considerations include:

- (a) solar shading devices and glazing performance;
- (b) building orientation and massing;
- (c) increased floor and ceiling heights; and
- (d) operable windows.

## 2.7 Weather

Weather protection should be provided continuously and at all common building entries as well as at individual entries.

- (a) In terms of appearance, a uniform canopy or awning across the entire building façade may be inappropriate to the diverse and varied character of the sub-area. Design architecturally integrated, high quality awnings and canopies, but ensure some variety in form, and/or the ability for tenants to vary them.
- (b) Ensure that awnings and canopies are deep enough and close enough to the ground to provide shelter. The recommended minimum depth to height ratio is approximately 7:10.
- (c) Transparent or translucent glazed canopies that permit the passage of light are encouraged.

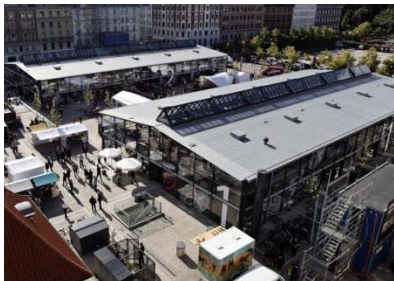


*Figure 10 – Weather Protection*

## 3 Use

### 3.3 Uses at Grade

Active and engaging uses at grade should be provided. In the False Creek Flats an emphasis is placed on providing attractive, well-functioning and welcoming space to showcase workspace. Strategies including visually permeable frontages, operable window walls, setbacks and weather protection to accommodate outdoor workspaces are encouraged. Other than entrances and lobbies, Residential and Office uses should not be located at the ground floor level. Section 7 for the 'Arts Walk' should inform ground floor design, in particular for considerations along the lane.



## 4 Policies and Guidelines Pertaining to the Regulations of the Zoning and Development By-law and the Parking By-law

### 4.3 Height

The intent for increasing maximum achievable building heights includes for intensified employment opportunities, well-functioning and flexible job space, vertical stacking of industrial uses, working and green roof tops and response to sea level rise. New development should create an active and engaging public realm within a unique, vibrant, attractive, interesting and amenity rich environment. The Director of Planning may increase the maximum achievable building height based on the objectives of all applicable policies and guidelines including the evaluation of:

- (a) Impact of height, bulk, massing, location and overall design of the building on the site, surrounding buildings and streets. In addition to the general design considerations listed in Sections 2 and 5 describe the intents and objectives relating to general building expression and architectural components.
- (b) The provision of on-site open space, landscape, and the effects of overall design on the general amenity of the area. In particular Sections 7 and 8 describe open space and landscape objectives for the Public Places and Spaces, Network of Public Spaces, On-Site Public Open Space, streetscapes and landscape.
- (c) The effect on traffic in the area.
- (d) Provision for pedestrian needs including continuous sidewalks, weather protection, safety, and active and engaging frontages that respect and respond to the public realm.

### 4.7 Floor Space Ratio (FSR)

The intent for increasing the maximum achievable floor area is to provide opportunities for intensified employment and well-functioning and flexible job space. New development should create an active and engaging public realm within a unique, vibrant, attractive, interesting and amenity rich environment. Not all



sites will be able to achieve the maximum floor area. The Director of Planning may increase the maximum achievable floor area based on evaluation of the objectives of all applicable policies and guidelines and including:

- (a) Impact of height, bulk, massing, location and overall design of the building on the site, surrounding buildings and streets. In addition to the general design considerations listed in Sections 2 and 5 describe the intents and objectives relating to general building expression and architectural components.
- (b) The provision of on-site open space, landscape, and the effects of overall design on the general amenity of the area. In particular Sections 7 and 8 describe open space and landscape objectives for the Public Places and Spaces, Network of Public Spaces, On-Site Public Open Space, streetscapes and landscape.
- (c) The effect on traffic in the area.
- (d) Provision for pedestrian needs including continuous sidewalks, weather protection, safety, and active and engaging frontages that respect and respond to the public realm.

#### 4.17 Building Massing

Form and massing should be carefully considered with respect to the objectives of these policies and guidelines including access to daylight on the public realm, creating engaging public spaces, building articulation, an attractive near view and finer grained urban settings.

- (a) **Tower Elements:** Tower elements (considered to be any portion of a building over 22.0 m (72 ft.) in height) should:
  - (i) be separated from other commercial tower elements by 15.2 m (50ft)
  - (ii) be separated from residential tower elements by 24.0 m (80ft).

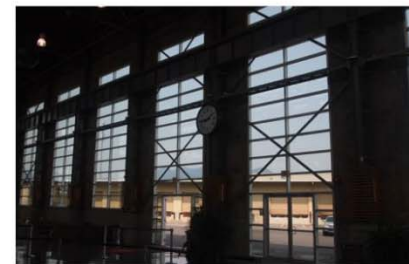
Where adjacent sites are not fully developed, the proposed tower should maintain a distance of 7.6m (25ft) from the interior side and rear property lines unless residential uses are permitted on the adjacent lots in which case the setbacks should increase to 12.5 m (41 ft.).

- (b) **The Network of Public Space:** Building massing should respect the importance of sunlight on the Network of Public Space. Development along Walk the Line and adjacent to the Network of Public Space as described in Section 7 should seek to minimize shadowing on the opposite sidewalks, mini-parks, urban plazas and other public places.
- (c) **Street Wall and Shoulder:** The intent is for development to be built out to the front yard setback and create a consistent approximately 4 storey 18.3 meter street wall and shoulder. This should be evaluated based on existing and anticipated adjacent development.
- (d) **Roof:** The profile and silhouette of roofs should be considered as part of the skyline. Elevator penthouses, mechanical rooms, equipment, vents and other appurtenances should be integrated with the architectural treatment of the roof and screened from view.

## 5 Architectural Components

The intent for architectural components and materials is to recognize the area's unique industrial character as well as the following:

- (a) Reinforce the near view with high-quality materials, detailing and active storefronts.
- (b) Express a finer grain urban fabric by articulating smaller structural bays and modules.
- (c) Generic “big box” building designs that exhibit little facade interest and transparency to the street should be avoided.
- (d) Storefronts should be transparent at grade and are encouraged not to contain long blank walls.
- (e) High clearance warehouse-type spaces should have clerestory windows at the upper storey of the facade.
- (f) Building interface with the public realm should emphasize details and proportions at the scale of the pedestrian with particular consideration to the objectives of animated streetscapes and showcasing functional outdoor workspaces.
- (g) Reference the “heavy duty” context with details and expression.



## **5.2 Windows**

Windows at grade are important to enhance pedestrian interest.

- (a) Maximize transparency through use of high transom, low sill window designs, as well as openable windows where appropriate.
- (b) Where windows cannot be used, use other means to add visual interest such as expressed vertical elements, vines, murals, and detailing. Avoid long stretches of blank wall.
- (c) Uses and functions which do not lend themselves to enhancing pedestrian interest should be located away from ground floor windows.
- (d) Use of mirrored or highly reflective glazing, window decals or other vision obscured treatments are highly discouraged, and may not be permitted, especially at grade.

## **5.3 Entrances**

The intent is to create buildings and spaces that relate to and respect the public realm as well as to showcase functional workspace. Characteristics of these buildings include:

- (a) Main building entries should be clearly identifiable, transparent and accessible from the street.
- (b) Locate secondary entrances and individual small tenant entries with frequency along adjoining sidewalks. Separate uses or accessory retail spaces should have separate and distinct entries.
- (c) Reinforce visually and physically, the connection of interior spaces to the public realm. Strategies, such as operable folding storefronts and roll-up doors, are encouraged to introduce opportunities for outdoor workspace.
- (d) Provide pedestrian interest and comfort at entries provided through specifically designed seating, signage, lighting and features that indicate the building's use and function,

## **5.5 Exterior Walls and Finishing**

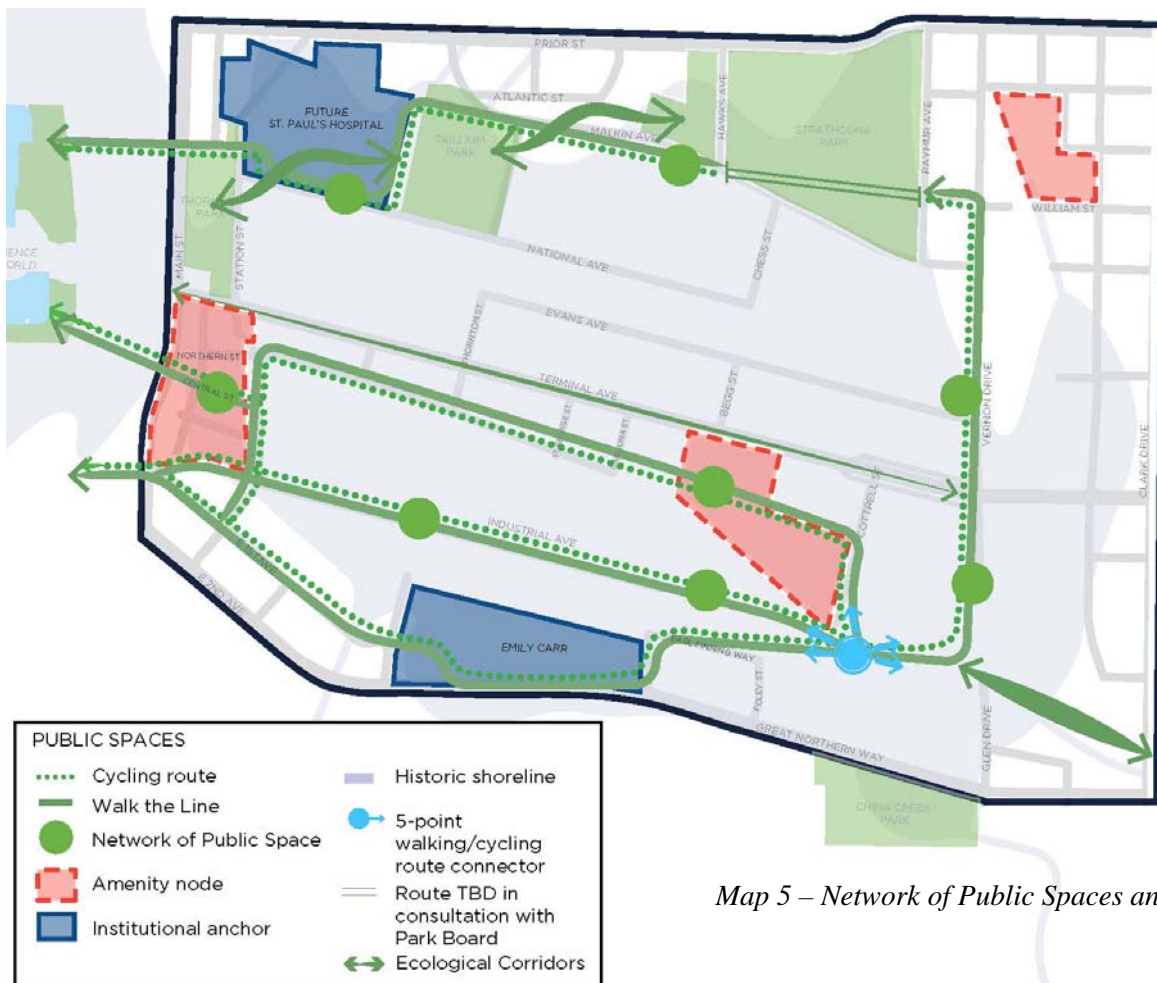
- (a) Exterior building design should reflect the industrial and institutional urban context and be of high-quality durable materials.
- (b) Exterior materials that are encouraged include:
  - (v) contemporary metal cladding systems;
  - (vi) heavy timber structural elements;
  - (vii) glass and steel;
  - (viii) masonry, architectural concrete or brick.
- (c) Stucco and vinyl are discouraged as primary exterior materials and may not be permitted by the Building By-law.
- (d) Roofs, especially visible from above, should be architecturally treated and/or landscaped.

# **7 Open Space**

## **7.1 Public Places and Spaces**

Create unique, vibrant, attractive, interesting and amenity rich environments. Objectives and character descriptions of the key public pathways and connections envisioned for the False Creek Flats include:

- (a) **Innovation Corridor – Railtown to Mount Pleasant:** A new off-Main complete street will connect Gore to Station to Lorne, and will serve as a primary north-south link for all transportation modes and tie the innovation nodes together along this corridor. This route may take on the character of a high-street with active and lively storefronts.
- (b) **Arts Walk:** The lane between First Avenue and Second Avenue has a unique character and the potential to contribute to the public space network. While maintaining its primary function for servicing, it provides an opportunity to animate a walking link between the Innovation Hub and Emily Carr. This link is envisioned to be lined with commercial galleries, or an “arts walk.” The future lane treatment could include lighting, seating and other public realm improvements.
- (c) **Central Spine:** A key connection to the Creative Campus is a prominent public linkage along Central Street, through the Innovation Hub to the Seawall that will provide the southwestern starting point of Walk-the-Line. Development should explore opportunities for shared programming as a means to showcase adjacent workspace.
- (d) **The Five Points:** The meeting point of the CN and BNSF yards has the potential to link five key desire lines for the flats public space network. Opportunities for public spaces on an elevated structure would provide key vantage points over the rail with views to downtown and the mountains.
- (e) **Walk-the-Line:** Walk-the-Line is envisioned as a multipurpose route that connects the various sub-areas into a cohesive whole. The general concept is to roughly trace the old shore line of False Creek, extending the Seawall through the Flats on an approximately 4.5km loop.
- (f) **Central Valley Greenway:** Maintain this important cycling route along East 1st Avenue until such a time as a future Industrial Avenue linkage is realized.



Map 5 – Network of Public Spaces and Places

## **7.2 Semi-Private Open Space**

Social semi-private open space is desirable for employees, visitors and residents and should be provided to accommodate the intended users wherever possible. It could be located at grade or on the rooftop as part of a landscaped rooftop garden and should maximize sun exposure.

## **7.3 Private Open Space**

- (a) For residential uses, private open space should be provided for each dwelling unit in the form of balconies, decks or patios with a minimum single horizontal dimension of 1.8 m and a minimum area of 4.5 m<sup>2</sup> (50sf); and
- (b) Private open space should be designed to capture sun and views where possible, as well as to avoid noise and to take account of visual privacy and security. Balcony enclosure to reduce noise may be appropriate in some cases.

## **7.4 On-Site Public Open Space**

- (a) Where practical, the public open space and greenways will be constructed on City owned land or City Right of Way (R.O.W.). In some circumstances, an additional R.O.W. may be requested from adjacent development to provide a more useable trail width.
- (b) Landscaping elements and public art, including temporary projects, are encouraged.
- (c) Reflect the industrial history of the area as well as contemporary life, innovation and experimentation.
- (d) Enhance habitat for birds, pollinators and other flora and fauna and following the *Bird Friendly Design Guidelines*.

## **Public Art**

Public art should be considered based on the following process and objectives:

- (f) Consideration for 24/7 access and use of the site;
- (g) Opportunities for rotating installations and diversity of scale and material;
- (h) Opportunities for art to be embedded in public spaces and infrastructure;
- (i) Consider opportunities to create diversity throughout the site and in unexpected places; and
- (j) Create public spaces built upon people being together in innovative ways.

## **8 Landscaping**

### **8.1 Streetscape**

- (a) Landscape design should provide for views into buildings for pedestrian interest, as well as special features such as opportunities to sit, view or take part in walking or active recreation.
- (b) Explore opportunities for integrated rain water management.

- (c) Provide a high quality public realm with street trees, landscaping, lighting, street furniture, signage and wayfinding, and green infrastructure where possible. Street trees should be provided on all streets not currently having them, or where their spacing is inconsistent.

## **8.2 Site Landscape**

- (a) Landscaping should be used to help mitigate impacts between residential and industrial uses.
- (b) Landscape design on site should relate to anticipated activities.
- (c) Strengthen urban forest connectivity.
- (d) Consider planted roof tops.
- (e) Enhance habitat for birds, pollinators and other flora and fauna and following the *Bird Friendly Design Guidelines*.
- (f) Limit extent of underground parking layout and design to accommodate retention of existing trees and for the provision of new ones.

## **9 Utilities, Sanitation, and Public Services**

### **9.3 Garbage and Recycling**

Garbage and recycling are essential services that can detract from the pedestrian experience and nearby residential development unless careful design is used to screen them.

- (a) Garbage and recycling facilities should be located adjacent to the lane, fully enclosed by a roof and sides or within the building envelope, and screened from the lane and street where possible.
- (c) A location for onsite queuing and pick-up is highly encouraged.

### **9.4 Neighbourhood Energy System**

Where the General Manager of Engineering Services deems a connection to the NES is available and appropriate, buildings within any development will be required to connect to the NES prior to occupancy, or post-occupancy through a deferred services agreement, or otherwise, at such time that a system becomes available. Buildings shall be subject to the *Neighbourhood Energy Connectivity Standards – Design Guidelines*. Where NES connection is not available or otherwise deemed unfeasible by the General Manager of Engineering Services, buildings shall be designed to meet an equivalent carbon performance outcome.

### **9.5 Underground Wiring**

In order to improve the visual environment for residents, developments on larger sites (45.0 m frontage or wider) should investigate with the City Engineer the feasibility of using underground wiring for electric, telephone and cable services, including the removal or partial removal of existing overhead plant.

## **10 Environmental Considerations**

### **10.1 Soils: Retention, Cleansing and Replacement**

Provide soil remediation on all sites as required by the *Environmental Management Act, the Vancouver Charter* and all city policies with respect to the remediation of city streets. Additional considerations include:

- (a) Limit excavation thereby reducing soils remediation;
- (b) Reintroduce water and natural systems such as urban forests, wetlands and pollinator meadows;
- (c) Topsoil should be retained and soil quality improved where necessary;
- (d) Contaminated soils should be replaced with quality soils to enhance plant growth and ground water quality; and
- (e) Employ soil remediation techniques such as piling and ground densification to ensure buildings are seismically stable and not subject to liquefaction.

**10.2 Green Buildings**

- (a) Green building technologies to help advance the criteria for healthy productive workspaces;
- (b) Green roof tops, including potential business opportunities such as a permanent home for urban agriculture or other rooftop businesses or uses;
- (c) Passive design features and technologies including complimenting the burgeoning green building economic sector;
- (d) Support innovation with respect to green building and renewable energy system design, operation and placemaking;
- (e) Green fleet programming and electric vehicle charging infrastructure; and
- (f) Passive strategies to building heating, ventilation and cooling including solar orientation and operable windows.

**10.5 Energy: Conservation and Efficiency**

- (a) Building materials, systems and construction methods should be considered to conserve energy and reduce long-term operating costs.



Appendix K

# FALSE CREEK FLATS URBAN DESIGN AND DEVELOPMENT POLICIES AND GUIDELINES FOR FC-2 – THE INNOVATION HUB

*Adopted by City Council on (date TBD)*

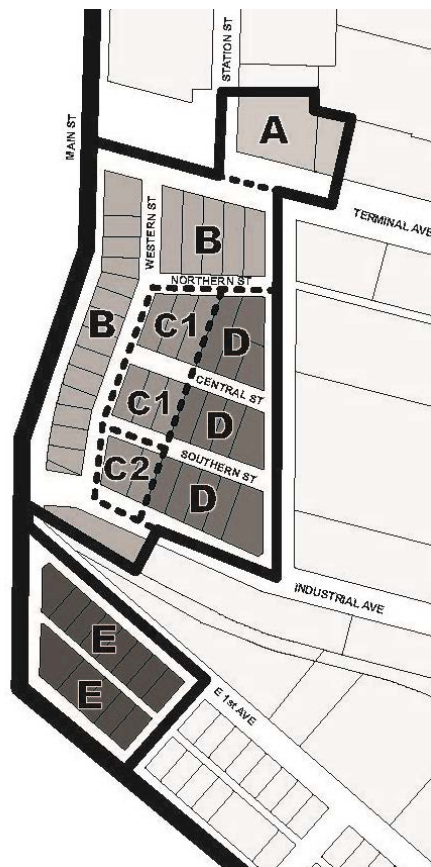




**Note:** These guidelines are organized under standard headings. As a consequence, there are gaps in the numbering sequence where no guidelines apply.

## PART ONE URBAN DESIGN POLICIES AND GUIDELINES

False Creek Flats Innovation Hub



*FC-2 Zone District Map*

## 1 Application and Intent

### 1.1 Plan Principles - General

Part One of these Urban Design Policies and Guidelines for the Innovation Hub sub-area of False Creek Flats are to be used in conjunction with Part Two – Development Policies, the FC-2 District Schedule, and the False Creek Flats Area Plan. As well as assisting the applicant, approvals including conditional or discretionary variations in regulations will be evaluated based on these documents.

The objectives of these policies and guidelines are based on the following principles.

- (a) **Intensify Employment Opportunities:** Increase job space around existing and future transit sites that reflect the industrial character and nature of the area. Explore opportunities for higher use of existing buildings for more intensified job space.
- (b) **Maximize Flexibility:** Ensure that new buildings can adapt and evolve to accommodate future changes in economic production.
- (c) **Encourage Vertical Stacking of Industry and Production Spaces:** There is increasingly an opportunity to stack many industrial/production businesses in the same building. With the goal of increasing employment and the productive output of the area, the plan supports a return of vertically stacked industrial uses in the Flats.
- (d) **Take Advantage of Unique Opportunities:** A thriving economy requires space for all scales of businesses from start-ups to headquarters. Large lot sizes create flexibility and scale not available elsewhere in the inner city. Plan for flexible outdoor spaces that can host a variety of uses over 24 hours.
- (e) **Create Buildings that Respect & Respond to the Public Realm:** Design buildings at the scale of the pedestrian by incorporating elements at the ground floor that help to create attractive, well- functioning and welcoming spaces.
- (f) **Reference Industrial & Institutional Urban Fabric:** Consider a campus approach to the design and siting of developments on large sites. Accommodate industrial and institutional scales within a finer grained urban setting to facilitate organic growth and phasing over time.
- (g) **Create healthy and productive workspaces:** Design the public realm to maximize sunlight on public spaces and daylight in work environments.
- (h) **Encourage Working Rooftops:** Expand economic functions to the roof tops of buildings
- (i) **Create Thoughtful Transitions Respectful of Surrounding Residential Neighbourhoods:** Require transitions between working industrial lands and adjacent residential.
- (j) **Showcase Functional Workspaces in the Public Realm:** Create links between the public realm and industrial function to showcase the industrial character of the Flats.
- (k) **Create Buildings and Neighbourhoods that Respond to Sea Level Rise:** Low topographic elevations and anticipated sea level rise presents a major challenge for development in False Creek Flats. Provide adaptive, flood resilient building design

solutions.

- (I) **Re-purpose Vehicle Parking:** Minimize surface parking and design for parking areas to transition to work space over time as other modes of transportation improve.

## 1.2 Plan Principles – Innovation Hub

The FC-2 District Schedule is comprised of five sub-areas referred to as the ‘Innovation Hub’. The idea of a productive City is intertwined with many things: entrepreneurship, local economic conditions and stimuli, planning policy, connections, and networks. Goals for the innovation hub include:

### **Preserve and celebrate PDR [Production/Distribution/Repair] by making it visible**

- Ground floor roll-up garage doors, large windows
- Protect industry and preserve affordability for existing businesses
- Generate new businesses and provide non-profit industrial rental space

### **Maintain unique and historical existing street network and industrial character**

- Generally maintain block size
- Create a sense of place through retaining industrial materials

### **Connectivity**

- Develop a pedestrian network
- Maintain porosity through to Main Street

### **Make spaces multi-functional + flexible**

- Design buildings and spaces to accommodate industry of various sizes
- Design spaces that are flexible and adaptable to changing uses over time

### **A place for jobs + industry**

- Job creation in innovative and creative industries
- Community partnerships
- Prioritize a circular economy

### **Explore innovative parking models**

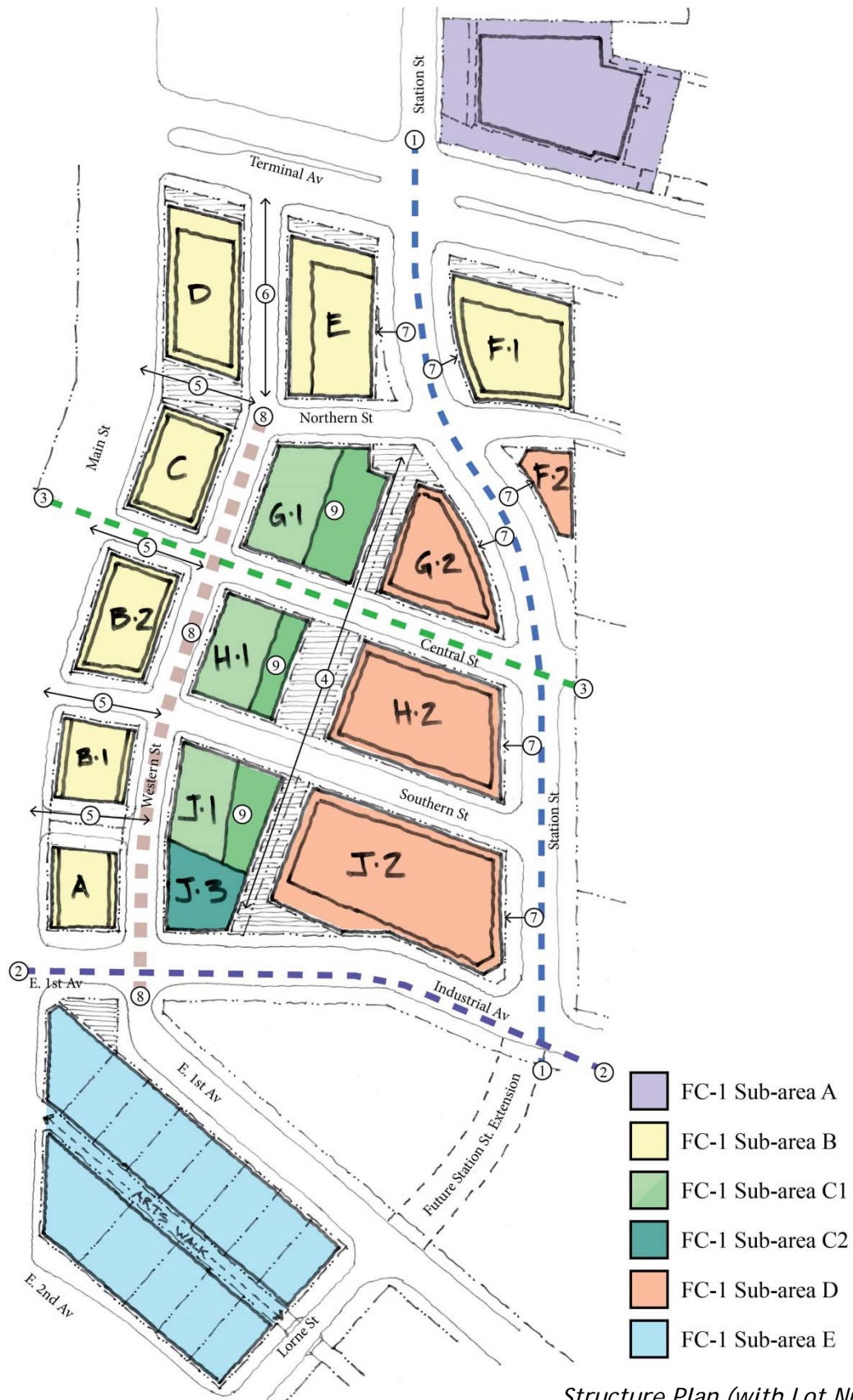
- Consider opportunities where loading can serve dual functions such as becoming seating over the lunch hour or semi-private spaces for off-peak hour events.



### 1.3 Structure Plan – Innovation Hub

The structure plan provides a quick reference for the overall physical policies and guidelines and context for the Innovation Hub. Part Two – Development Policies should be referenced for further requirements. The following outlines the anticipated public realm and street network objectives. *(Numbers below correspond to Structure Plan next page.)*

- (1) **Station Street:** Station Street re-alignment and ‘normalized’ at Terminal Avenue and future potential extension through to East First Avenue at Lorne Street is envisioned to be a ‘complete street’ that facilitates multi-modal access and connectivity.
- (2) **East First Avenue:** As part of a longer term strategy, a ‘normalized’ four-way intersection to consolidate the existing intersections of Industrial Avenue and East First Avenue at Main Street is desired to improve multi-modal movements.
- (3) **Greening of Central Street:** Central Street functions as an east-west connection between Station Street and Main Street and will have a distinct hierarchy in the overall street network for the Innovation Hub. It should be a pedestrian and bike priority zone to link the Seaside Greenway to the Central Valley Greenway, as well as a location for future potential green infrastructure and ecological linkages between the False Creek Flats and False Creek.
- (4) **Central Mews and Plazas:** The central mews will function as a public north-south connector showcasing functional workspace. At the intersection of the mews and Central Street, a significant central community plaza is anticipated as well as smaller plazas on the north and south termini of the mews.
- (5) **Pedestrian Porosity Between Main Street and Western Street:** Maintain public connections between Main Street and Western Street. These should occur in alignment with Southern, Central, and Northern Street. Explore opportunities for ground floor uses to be visually transparent between the two streets.
- (6) **Western Street and the North Gateway:** The northern end of Western Street, in particular between Northern Street and Terminal Avenue, should be given special consideration as a public space and to potentially become car-light in the future, forming the desire path link to the SkyTrain.
- (7) **Station Street for Non-Motorized Building Access:** Though much emphasis in the ‘Innovation Hub’ is placed on the internal street network, Station Street provides an important ‘frontage’ that provides opportunities for non-motorized entry and lobby access.
- (8) **The ‘Working’ Street:** Western Street will function as a ‘working’ / industrial street that also aspires to be lively and engaging in how it interfaces with the adjacent building frontages. Consideration will be given to doubling its function as a social space and place for interaction including potentially being closed to traffic for the occasional special event.
- (9) **Green Valley:** The buildings between Western Street and the Central Mews are at lower density and height. The intent is that they are situated to improve access to daylight and views for the surrounding buildings as well as being provided with green roof tops. This ‘Green Valley’ should include usable amenity green space for the community, the residents and the other tenants. Space devoted to urban agriculture may be considered for use by commercial tenants.

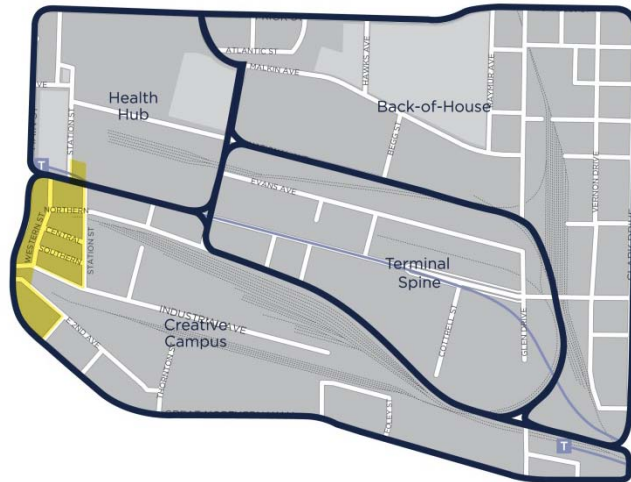


Structure Plan (with Lot Numbering)

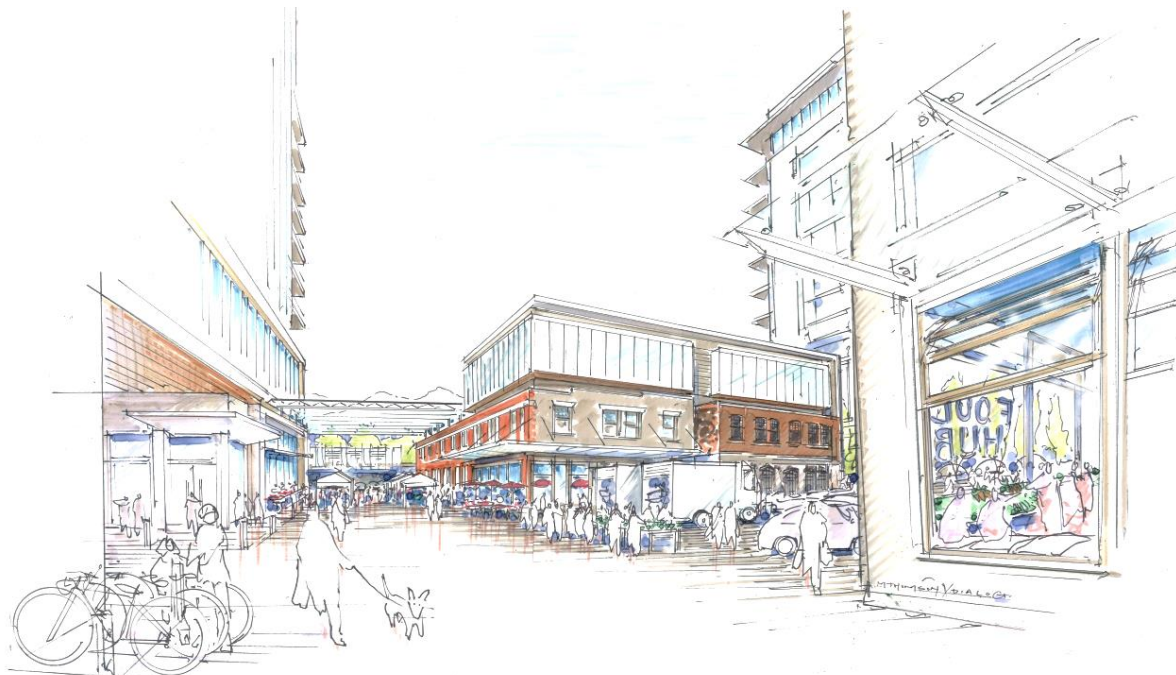


## 2.1 Neighbourhood Character

Key to False Creek Flats is the strategic economic potential of the seven acres termed the Innovation Hub that embraces business and economic experimentation and growth. Additional heights and densities should be supported by an amenity-rich node including a plaza spaces, pedestrian connections, ground floor activations and amenity spaces.



The FC-2 Innovation Hub falls within the Creative Campus sub-area. The intent for this sub-area is to enable intensification opportunities for well-functioning, flexible industrial and light industrial workspace while enhancing the public life and creating pedestrian interest. Refer to the *False Creek Flats Urban Design Policies and Guidelines for I-2 and I-3* for additional intent and character descriptions for this area.



## Street Character – Embrace the Historic Street Grid

Embed the area's historic grid as a starting point for the transportation network. A separate FC-2 Transportation Planning Study will provide detail on the street network role and function as well as providing better definition of parking and loading requirements, right of way widths and turning lanes requirements.

### 2.2 Unique Spaces and Places

The diverse combination of uses and forms of development in the False Creek Flats provides for opportunities to create unique and varied places. Places which create opportunities for public engagement in a variety of distinct places are highly encouraged.



### 2.3 Orientation

Building design should re-enforce established street orientations emphasizing street level entrances and storefronts. On corner sites, both street facing facades should be developed as front elevations. Irregular, curved or angled sites should result in non-orthogonal building geometries in particular at the lower levels. Tower forms above may be reoriented with respect to views and solar orientation.

### 2.4 Views

View corridors from Queen Elizabeth Park and from the intersection at Main Street and 6th Avenue may limit the ultimate achievable building height in the Innovation Hub.

New development should be considerate of the impact on existing distant views. However as development progresses, the industrial and institutional scales and densities anticipated in the False Creek Flats will have an impact on the ability to preserve these existing views. Development should therefore place a higher emphasis on the following strategies:

- (a) Provide an attractive near view. This can include a finer grained urban fabric and building modules, high-quality materials and detailing, visually permeable facades, programming for active outdoor uses and landscape elements.
- (b) Visually linking new open space to existing open space. This can serve to expand the depth of views.
- (c) The form and shape of tower elements should be informed by view studies.
- (d) View Cones will significantly impact achievable heights.



## 2.5 Topography: Floodplain

The False Creek Flats has low topographic elevations and will be at risk of flooding during large storms by the end of the century if projected sea level rise occurs. The *Flood Plain Standards and Requirements* as adopted by Vancouver City Council sets the designated flood plain at 4.6m from GVRD datum. As a consequence, existing grades including street right of ways, are often one to two meters below the anticipated ground floor elevations. A plan to raise street elevations may be considered in the future. Therefore, new development should be designed to be adaptive when incorporating flood resilient construction methods while accommodating public realm objectives for both the current and potential future at grade conditions. Solutions should be accommodated within the property, be visually interesting, relate to the pedestrian scale, and may include increased building setbacks, internalized stairs and ramping as well as adaptable entries, loading and parking.



*Floodplain strategies*

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Light and ventilation are important for both workspace and residences.

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- (d) maximize opportunities for cross ventilation of dwelling units such as corner units or double fronting units; and
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**All other Uses:** Daylight and ventilation in work environments can improve energy usage as well as promoting health and productivity. Considerations include:

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- (d) operable windows.

## 2.7 Weather

In all cases, weather protection should be provided at common building entries and individual entries. Continuous weather protection should be provided along all street frontages except that, it may not be provided continuously where it can be shown the provision would interfere with well-functioning industrial uses or where pedestrian traffic is not anticipated. Explore opportunities for weather protection that can encourage use as functional outdoor workspace.

## 2.12 Heritage

**Heritage Buildings:** In the Innovation Hub, two buildings in particular, 242 Terminal and 250 Terminal, contribute to its heritage character and architectural diversity. Both buildings are registered as 'B' on the *Vancouver Heritage Register*. Development proposals on these sites should include a substantial heritage retention strategy and be reviewed with City Planning staff early in pre-application process.

**Neon:** Neon Products Ltd. was established in Vancouver in the 1920s at 250-270 Terminal Avenue and by the 1950s, Vancouver was the largest manufacturer of neon signs in Western Canada. Explore opportunities to revive the presence of neon and highlight this cultural heritage.

**Street Network:** This sub-area of the False Creek Flats differs from other industrial areas in Vancouver in that the narrow streets offer an opportunity for a more fine grain public realm network. Development should reinforce and respect the existing street network.



## 2.14 Floor Plates

Provide flexible floor plates that can evolve and grow over time as small businesses grow. In the Innovation Hub, development should favour maximizing floor plate sizes over building height for commercial, industrial or retail uses.

## 3 Use

A variety of uses are supported in the Innovation Hub including, but not limited to laboratories, research and development, digital or tech offices, arts and cultural facilities, spaces for local food economy, and residential uses. Residential, where permitted, is only anticipated at the third level and above with the floors below reserved for other uses.

### 3.2 Vertical Stacking of Uses

As a means of intensifying industry and production spaces, exploration of vertically stacked uses is encouraged. Objectives for mezzanines and accessories uses include:

- (a) continuity with the adjacent primary use or space;
- (b) locate mezzanines away from front or flanking facades;
- (c) a minimum floor to floor height for mezzanines of 3.1 meters (10ft); and
- (d) convenient access to loading, garbage and elevators for all floors and mezzanines.



*Vertical Stacking of Industrial Spaces*

### 3.3 Uses at Grade

Active and engaging uses at grade should be provided. In the Flats an emphasis is placed on providing attractive, well-functioning and welcoming space to showcase workspace. Strategies including visually permeable frontages, operable window walls, setbacks and weather protection to accommodate outdoor workspaces are encouraged. The Director of Planning will consider relaxations to 2.3 and 3.3, Conditions of Use, in the District Schedules to encourage outdoor workspace and activities based on the compatibility of any dangerous, injurious, noxious or otherwise objectionable impact that could adversely affect the surrounding area and adjoining non-industrial districts.

Other than entrances and lobbies, residential and office uses should not be located at the ground floor level. Where accessory retail or service uses are permitted these spaces should be designed to function in concert with the primary use and have their own entrances and street presence.



## 4 Guidelines Pertaining to the Regulations of the Zoning and Development By-law and the Parking By-law

### 4.3 Height

The intent of increasing maximum achievable building heights in the Innovation Hub includes objectives for intensified employment opportunities, well-functioning and flexible job space, vertical stacking of industrial uses, working roof tops and response to sea level rise. New development should create an active and engaging public realm within a unique, vibrant, attractive, interesting and amenity rich environment. The Director of Planning may increase the maximum achievable building height based on the objectives of all applicable policies and guidelines including the evaluation of:

- (a) Impact of height, bulk, massing, location and overall design of the building on the site, surrounding buildings and streets. In addition to the general design considerations listed in Sections 2 and 5 describe the intents and objectives relating to general building expression and architectural components.
- (b) The provision of on-site open space, landscape, and the effects of overall design on the general amenity of the area. In particular Sections 7 and 8 describe open space and landscape objectives for the Public Places and Spaces, Network of Public Spaces, On-Site Public Open Space, streetscapes and landscape.
- (c) The effect on traffic in the area. Part Two – Development Policies for Off-Street Parking and Loading describing objectives for pedestrian, bicycle and vehicular access and circulation.
- (d) Provision for pedestrian needs including continuous sidewalks, weather protection, safety, and active and engaging frontages that respect and respond to the public realm.

- (e) Two view corridors: one from Queen Elizabeth Park and one from the intersection at Main Street and 6th Avenue limit the achievable building heights. This will range from approximately 42 meters on the south up to 51 meters on the north.

#### **4.4 Front Yard and Setback**

The intent of front yard setbacks is for buildings to be built out to the street frontages and yet also to provide opportunities for building articulation. The Director of Planning will consider relaxations to regulations controlling front yard setbacks based on the objectives of these policies and guidelines and the following:

- (a) Minor projections into the 0.6m front setback with the intent of improved building performance and articulation. Examples include solar shading devices or cornices.
- (b) On corner lots the flanking street's façade will be evaluated the same urban design objectives as the front.

#### **4.7 Floor Space Ratio (FSR)**

The intent of increasing the maximum achievable floor area in the False Creek Flats is to provide opportunities for intensified employment and well-functioning and flexible job space. New development should create an active and engaging public realm within a unique, vibrant, attractive, interesting and amenity rich environment. See also Section 7 and Part 2. Not all sites will be able to achieve the maximum floor area. The Director of Planning may increase the maximum achievable floor area based on the objectives of all applicable policies and guidelines including the evaluation of:

- (a) Impact of height, bulk, massing, location and overall design of the building on the site, surrounding buildings and streets. In addition to the general design considerations listed in Sections 2 and 5 describe the intents and objectives relating to general building expression and architectural components.
- (b) The provision of on-site open space, landscape, and the effects of overall design on the general amenity of the area. In particular see Part Two – Development Policies for the provision of open space and streetscape.
- (c) The effect on traffic in the area. See 2.11 for Access and Circulation, 4.5 for Side Yards and 4.9 for Off-Street Parking and Loading describing objectives for pedestrian, bicycle and vehicular access and circulation.
- (d) Provision for pedestrian needs including continuous sidewalks, weather protection, safety, and active and engaging frontages that respect and respond to the public realm.

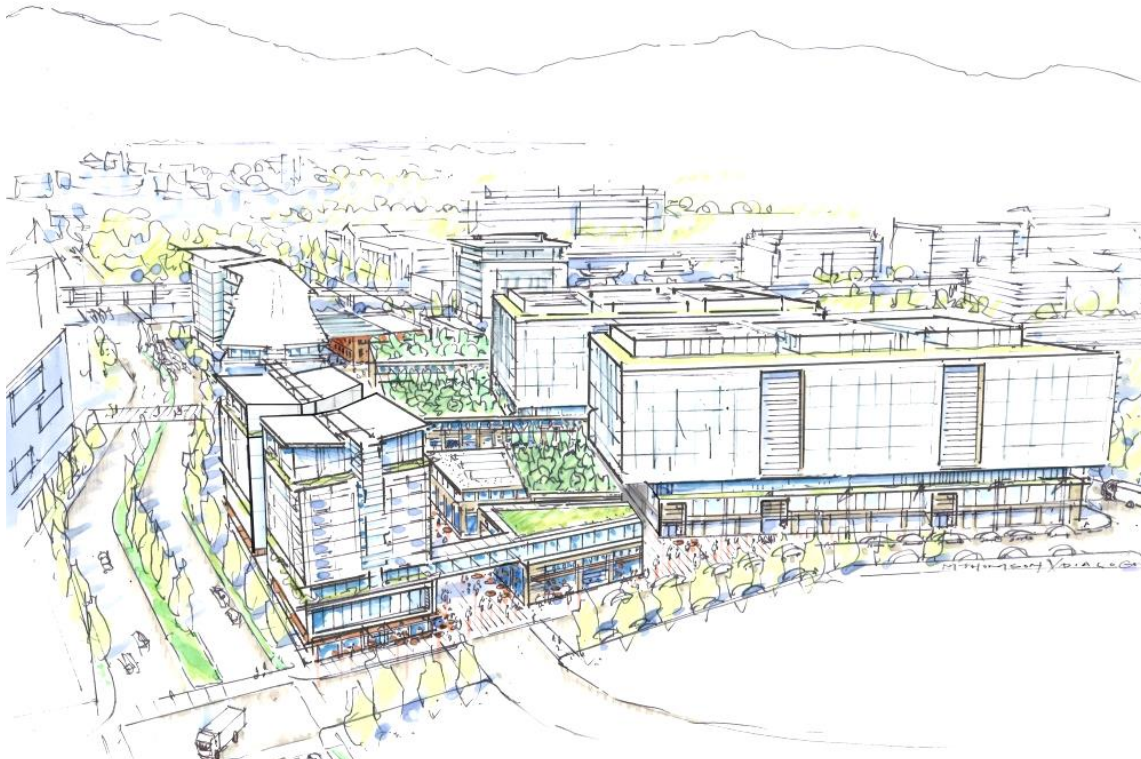
#### **4.17 Building Massing**

Objectives in the False Creek Flats for intensified employment opportunities and well-functioning workspaces are anticipated to result in a form of development with greater than previously permissible densities, building heights, and floor plates. Form and massing should therefore be carefully considered with respect to other the objectives of these policies and guidelines.

- (a) **Longer Buildings:** Where the need for longer or wider buildings can be demonstrated, relaxations to regulations controlling building width and depth and building separation may be considered based on design merit and the provision of a commensurate amount of quality open

space and pedestrian interest. Consideration should also be given to significant facade articulation and on-site connections by transparent bridges and walkways on the upper floors. Break up long frontages and expanses of wall planes with substantial recesses, setbacks or building separations.

- (b) **Tower Elements:** Tower elements (considered to be any portion of a building over 22.0 m (72 ft.) in height) should:
  - (i) be separated from other commercial tower elements by 15.2 m (50ft)
  - (ii) be separated from residential tower elements by 24.0 m (80ft).
  - (iii) for residential uses, reduced tower separations to 15.2m (50ft) may be considered based on the impact to private views and access to daylight on existing and anticipated adjacent development
- (c) **The Network of Public Space:** Building massing should respect the importance of sunlight on the Network of Public Space. Development along Walk-the-Line and the Network of Public Space should seek to minimize shadowing on the opposite sidewalks, mini-parks, urban plazas and other public places.
- (d) **Roof:** The profile and silhouette of roofs should be considered as part of the skyline. Elevator penthouses, mechanical rooms, equipment, vents and other appurtenances should be integrated with the architectural treatment of the roof and screened from view.





## 5 Architectural Components

The intent of architectural components and materials is to recognize the areas unique industrial heritage as well as the following objectives:

- (a) Reinforce the near view with high-quality materials, detailing and active storefronts.
- (b) Express a finer grain urban fabric by articulating smaller structural bays and modules.
- (c) Generic “big box” building designs that exhibit little facade interest and transparency to the street should be avoided.
- (d) Storefronts should be transparent at grade and are encouraged not to contain long blank walls.
- (e) High clearance warehouse-type spaces should have clerestory windows at the upper storey of the facade.
- (f) Building interface at the public realm should emphasize details and proportions at the scale of the pedestrian with particular consideration to the objectives of animated streetscapes and showcasing functional outdoor workspaces.
- (g) Reference the “heavy duty” context with details and expression.



## **5.2 Roofs**

- (a) Encourage working rooftops to expand economic functions to the roofs of buildings.
- (b) Roof tops should be designed to be attractive where seen from above through use of landscaping, green roof technologies, choice of materials and colour.
- (c) Elements such as gazebos and trellises may be considered, height and floor area permitting.

## **5.2 Windows**

Windows at grade are important to enhance pedestrian interest, particularly where retail uses are not required at grade.

- (a) For retail, service or office uses:
  - (i) maximize transparency through use of high transom, low sill window designs, as well as openable windows where appropriate. For service and office uses, design should allow for adaptation to retail use in the future.
- (b) For industrial uses:
  - (i) provide windows for viewing to industrial processes where possible; and
  - (ii) where windows cannot be used, use other means to add visual interest such as expressed vertical elements, vines, murals, and detailing. Avoid long stretches of blank wall.
- (c) Uses and functions which do not lend themselves to enhancing pedestrian interest should be located away from ground floor windows.
- (d) Use of mirrored or highly reflective glazing, window decals or other vision obscured treatments are discouraged, and may not be permitted, especially at grade.

## **5.3 Entrances**

The intent is to create buildings and spaces that relate to and respect the public realm as well as to showcase functional workspace. Characteristics of these buildings include:

- (a) Main building entries should be clearly identifiable, transparent and accessible from the street.
- (b) Locate secondary entrances and individual small tenant entries with frequency along adjoining sidewalks. Separate uses or accessory retail spaces should have separate and distinct entries.
- (c) Reinforce visually and physically, the connection of interior spaces to the public realm. Strategies, such as operable folding storefronts and roll-up doors, are encouraged to introduce opportunities for outdoor workspace.
- (d) Pedestrian interest and comfort at entries provided through specifically designed seating, signage, lighting and features that indicate the building's use and function,

## **5.4 Building Articulation**

- (a) Express an approximately 7.6 meters (25ft) structural bay spacing on street facing facades, especially at the four lower floors or podium.
- (b) Building articulation can be achieved with materiality, shadow lines and exposed structural components.

- (c) Feature banding to break up perceived wall height may be used to assist in achieving horizontal articulation.
- (d) Highly visible circulation and building systems are encouraged.
- (e) Vertical service elements, such as stair and elevator shafts, may be used to assist in articulation, as well as being expressive of their function.

## 5.5 Exterior Walls and Finishing

- (a) Exterior building design should reflect the industrial and institutional urban fabric of the sub-area by using appropriate, durable, and high-quality materials.
- (b) Exterior materials that are encouraged include:
  - (ix) contemporary metal cladding systems;
  - (x) heavy timber structural elements;
  - (xi) glass and steel;
  - (xii) masonry, architectural concrete or brick.
- (c) Stucco and vinyl are discouraged as primary exterior materials and may not be permitted by the Building By-law.

## 5.6 Awnings and Canopies

- (a) In terms of appearance, a uniform canopy or awning across the entire building façade may be inappropriate to the diverse and varied character of the Flats. Design architecturally integrated, high quality awnings and canopies, but ensure some variety in form, and/or the ability for tenants to vary them to suit themselves.
- (b) Ensure that awnings and canopies are deep enough and close enough to the ground to provide shelter. The recommended minimum depth to height ratio is approximately 7:10.
- (c) Transparent or translucent glazed canopies that permit the passage of light are encouraged.
- (d) Section 2.7 describes where weather protection should be provided.

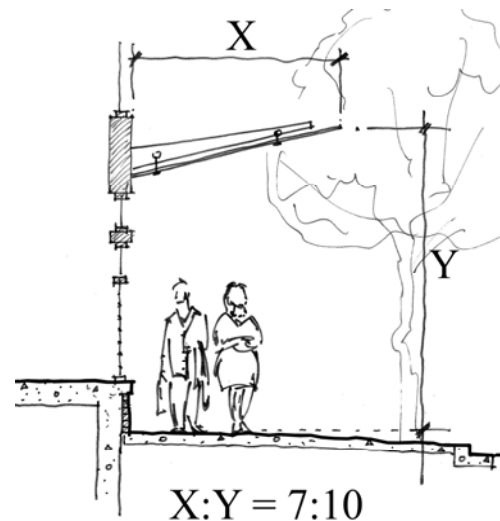


Figure 10 – Weather Protection

## 5.7 Lighting

- (a) Building, entry path and parking lighting should be integrated into the site and building design.
- (b) For exterior lighting, incandescent and other white light sources are encouraged, while sodium vapour light sources are discouraged. Better performing, more efficient light sources such as LED's are highly encouraged.
- (c) Exterior lights should be oriented away from adjacent residential properties, with cut-off shields to minimize light.
- (d) For larger developments or campuses or where proximity to adjacent development is a concern, a site lighting plan indicating light levels and light fixture types should be provided.
- (e) Review opportunities to utilize lighting design standards and guidelines that reduce negative impacts to birds and other wildlife.



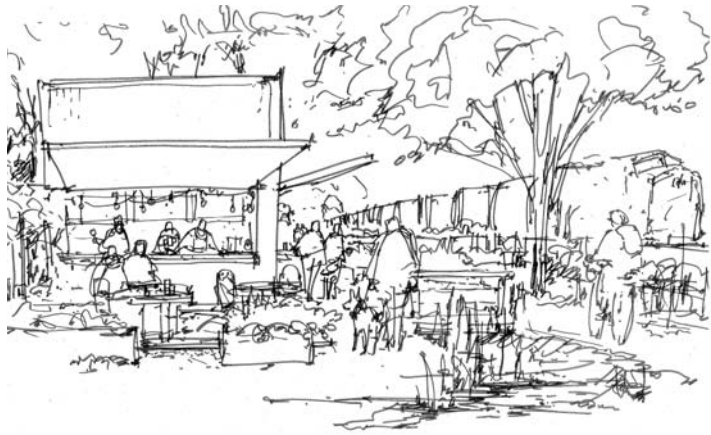
## 5.8 Signs

- (a) Corporate signage should be subordinate to the design of the building and architecturally integrated with the development.
- (b) Internally illuminated or back light sign boxes are discouraged.
- (c) Signage that compliments the industrial urban fabric and character established in the Flats is encouraged. Examples include neon, signage painted on walls, signs with individual letters placed directly on the building or signs incorporating materials that reinforce the character specific sub-areas such as steel, glass and heavy timber.
- (d) One freestanding, ground oriented pylon sign is appropriate at each entrance to a large campus site, complimented by wayfinding signage at key decision points along internal drives or paths.
- (e) At grade uses are encouraged to have minimal, clear, pedestrian oriented signage located at premises entries.



## 7 Open Space

### 7.1 Public Places and Spaces



#### **Central Mews and Plazas:**

The central mews will function as a public north-south connector showcasing functional workspace. At the intersection of the mews and Central Street, a significant central community plaza is anticipated as well as smaller plazas on the north and south terminuses of the mews. The design and provision of these spaces should be informed by access to daylighting, ground floor uses and adaptability including seating, pedestrian use, special events and even loading.

#### **Arts Walk:**

The lane between First Avenue and Second Avenue has a unique character and the potential to contribute to the public space network. While maintaining its primary function for servicing, it provides an opportunity to animate a walking link between the Innovation Hub and Emily Carr. This link is envisioned to be lined with commercial galleries, or an “arts walk.” The future lane treatment could include lighting, seating and other public realm improvements.

#### **Bike & Pedestrian Connections Central & Western Street**

See Part Two Section 12. Central is a greenway and street that provides the main pedestrian and bike thoroughfare through the Hub creating a direct link to the sea wall. Urban green infrastructure will characterize Central Street with potential storm water management strategies being incorporated.

#### **Active Frontages & Streets as Public Spaces**

Explore opportunities for streets to be more than systems of conveyance such as off-peak and night time programming and events. For example artists working in the Innovation Hub might transform the space into a place for evening theatre performances.

### 7.3 Private Open Space

- (a) Private open space should be provided for each dwelling unit in the form of balconies, decks or patios with a minimum single horizontal dimension of 1.8 m and a minimum area of 4.5 m<sup>2</sup> (50sf); and
- (b) Private open space should be designed to capture sun and views where possible, as well as to avoid noise and to take account of visual privacy and security. Balcony enclosure to reduce noise may be appropriate in some cases;

### 7.4 On-Site Public Open Space

The following should guide design and location of open spaces on private land. In some circumstances, an additional Right of Way may be requested from development to provide publicly accessible open space.

- (a) Create inviting and comfortable places for people;
- (b) Reintroduce water and natural systems;
- (c) Encourage lively building edges and more welcoming street experience;
- (d) Respect existing public views and explore creating new views of prominent features such as significant landmarks;
- (e) Support the display of local art, craft or industry;
- (f) Explore opportunities for unconventional open spaces;
- (g) Improve wayfinding and legibility;
- (h) Encourage 24/7 activity and public life;
- (i) Consider ways to ensure a safe, clean, clutter free environments;
- (e) Landscaping elements and public art, including temporary projects, are encouraged, and
- (f) Reflect the industrial history of the area as well as contemporary life, innovation and experimentation.
- (g) Enhance habitat for birds, pollinators and other flora and fauna and following the *Bird Friendly Design Guidelines*.

### Public Art

Public art should be considered based on the following process and objectives:

- (a) Consideration for 24/7 access and use of the site;
- (b) Opportunities for rotating installations and diversity of scale and material;
- (c) Opportunities for art to be embedded in public spaces and infrastructure;
- (d) Consider opportunities to create diversity throughout the site and in unexpected places; and
- (e) Create public spaces built upon people being together in innovative ways.

## 8 Landscaping

### 8.1 Streetscape

- (a) Landscape design should provide for views into buildings for pedestrian interest, as well as special features such as opportunities to sit, view or take part in walking or active recreation.
- (b) Explore opportunities for integrated rain water management.
- (c) Provide a high quality public realm with street trees, landscaping, lighting, street furniture, signage and wayfinding, and green infrastructure where possible.



## PART TWO: DEVELOPMENT POLICIES

False Creek Flats Innovation Hub (FC-2 Sub Areas B, C, and D)

## Part 2: Development Policies

The following development policies shall apply to Sub Areas B, C and D of the FC-2 District (Innovation Hub) to assist in achieving the False Creek Flats Plan.

### 1 Neighbourhood Energy Systems (NES)

Where the General Manager of Engineering Services deems a connection to the NES is available and appropriate, buildings within any development will be required to connect to the NES prior to occupancy, or post-occupancy through a deferred services agreement, or otherwise, at such time that a system becomes available, subject to the following detailed provisions;

- (a) Prior to issuance of a development permit, the proposed approach to site heating and cooling will be developed in collaboration with the City and the City's designated Neighbourhood Energy utility provider, to the satisfaction of the General Manager of Engineering Services.
- (b) Building-scale space heating and ventilation make-up air shall be provided by hydronic systems without electric resistance heat or distributed heat generating equipment unless otherwise approved by the General Manager of Engineering Services.
- (c) Prior to the issuance of a building permit the detailed design of the building/s HVAC and mechanical heating system must be to the satisfaction of the General Manager of Engineering Services.
- (d) The building(s) heating and domestic hot water system shall be designed to be easily connectable and compatible with the City-designated Neighbourhood Energy System to supply all heating and domestic hot water requirements. The applicant shall refer to the *Neighbourhood Energy Connectivity Standards – Design Guidelines*, for design requirements related to neighbourhood Energy compatibility at the building scale. Design provisions related to Neighbourhood Energy compatibility must be to the satisfaction of the General Manager of Engineering Services. Note that prior to issuance of building permit, a declaration signed by the registered professional of record certifying that the Neighbourhood Energy connectivity requirements have been satisfied will be required.
- (e) Adequate space will be provided for Neighbourhood Energy Utility energy production equipment and infrastructure, determined by the City in consultation with the developer at the time of development permit application.
- (f) City and/or City-designated NES use and access shall be granted to the building(s), P1 of the parkade, Neighbourhood Energy room, mechanical system and thermal energy system-related infrastructure within the development for the purpose of enabling NES connection and operation, or distribution infrastructure to service adjacent buildings on such terms and conditions as may be reasonably required by the General Manager of Engineering Services;

Where a NES connection is not available or otherwise deemed unfeasible at the time of development permit, the building shall be designed to meet the carbon performance targets identified in the *Green Building Policy for Rezoning*s.

## 2 Green Building Policy

- (a) Meet or exceed the requirements identified in the *Green Building Policy for Rezoning* at the time of application for Development Permit.
- (b) Include visible green elements and employ green building and passive design elements. Examples include: rooftop gardens, green roofs and terraces, trees and plantings on upper levels and balconies, green walls and supports for vertical plant growth.
- (c) Apply passive strategies to building heating, ventilation and cooling; examples include: the use of solar orientation and operable windows.
- (d) Support the execution of innovative building design such as prefab/modular and/or tall wood for civic buildings or buildings that deliver public services.

## 3 Sustainability requirements

- (a) Meet or exceed the requirements identified in the *Rezoning Policy for Sustainable Large Development*:  
<http://bylaws.vancouver.ca/bulletin/R019.pdf>

The Core Elements include the following:

- Sustainable Site Design
- Access to Nature
- Sustainable Food Systems
- Green Mobility
- Rainwater Management
- Zero Waste Planning
- Affordable Housing
- Low Carbon Energy Supply

## 4 Renewable Energy

- (a) Support the supply and use of renewable energy, at both the site and neighbourhood scales.
- (b) Support and demonstrate the use of rooftop and/or building-integrated solar renewable energy, with the goal of demonstrating how buildings can generate 7% or more of electricity demand on-site. For example, the rooftops of large commercial and industrial buildings could be designed to host a cooperative photovoltaic solar farm. In this case, access and other agreements will also be secured at the time of design to ensure the implementation of a photovoltaic solar farm.

## 5 Adaptation

- (a) Plan for the impacts of sea level rise over the lifetime of buildings and infrastructure. Explore building and street design approaches that allow for adaptive alterations in the future with increasing flood risk, e.g. taller first floors, elevated utilities, water proof

material, sump pumps & backflow preventers, and raised street networks to form flood cells.

- (b) Plan for and incorporate design approaches for retrofitting buildings to improve both flood and seismic resilience, e.g. space and places for temporary flood barriers, at the time of application for Development Permit.

## 6 Integrated Rainwater Management Plan

- (a) A detailed plan will be required at Development Enquiry to ensure that the development/s meet/s the requirements of the *Integrated Rainwater Management Plan* through strategies such as building design and infiltration systems.
- (b) Employ engineered systems (rain gardens, pervious paving and cisterns) and roof-top systems (including green roofs) to capture, treat and convey rainwater into the City's storm water system.

## 7 Utilities and Site Servicing

- (a) Ensure that existing utilities, including adjacent, on-site water, sanitary and storm water infrastructure, street lighting, and third party utilities are upgraded to meet the Innovation Hub's demands as necessary.
- (b) Design, construct and install all new utilities incidental to servicing the area, and realign existing utilities if needed to meet Innovation Hub demands, within the proposed road network or statutory rights-of-way.
- (c) Provide electrical services (including all third party utilities) on private property, without relying on space within streets or the public realm.
- (d) A services agreement will be prepared setting out responsibilities for relocation and/or upgrading of utilities resulting from the development/s after giving consideration to the existing infrastructure and available development capacity.
- (e) In order to improve the visual environment for residents, developments should investigate with the City Engineer the feasibility of using underground wiring for electric, telephone and cable services, including the removal or partial removal or existing overhead plant.

## 8 Resilience

- (a) Design all new buildings and utilities to minimize impact on critical roads and services following a significant shock.
- (b) Provide disaster-resilient and redundant water, sewer, energy and communications connections in accordance with best practice, hospital standards and Vancouver Building By-Law requirements, including back-up systems where necessary.
- (c) Meet the policies of the City's *Flood Plain Standards and Requirements Policy* to:
  - Reduce or prevent injury, human trauma and loss of life in the case of a flood.
  - Minimize property damage during flooding events.
  - Reduce the time it takes to return to operational functionality after flood waters recede.
- (d) Work with the City's Resiliency and Risk Management staff through the development permit processes to identify resilience vulnerabilities associated with the project and develop mitigation strategies to address the vulnerabilities. Strategies should be



explored to ensure the integrity of structures, systems and operations following a major disaster, with particular attention to earthquakes and flooding.

## 9 Environmental Remediation and Geotechnical

- (a) Environmental remediation of contaminated development sites must be completed in accordance with Section 571B of the *Vancouver Charter*, and all city policies with respect to the remediation of city streets.
- (b) Employ soil stabilization techniques such as piling and ground densification to ensure buildings, premises and roadways are seismically stable and not subject to liquefaction.

## 10 Rail

- (a) Meet all applicable Transport Canada requirements, including but not limited to, *Grade Crossing Standards* and *Standard Respecting Railway Clearance*.
- (b) Work with rail operators to align with relevant guidelines identified by the Federation of Canadian Municipalities and the Railway Association of Canada's *Guidelines for New Development in Proximity to Railway Operations*.

## 11 Circulation and Transportation

- (a) Align with the policies and directions of the City's *Transportation 2040 Plan*
- (b) Ensure that the 4.6 metre flood construction levels for ground floor heights are reconciled with street network elevations. Consider universal design and accessibility, phasing and implementation, and integration with existing infrastructure and development.
- (c) Provide a *Transportation Study*, including: access, management, parking, loading and green mobility that assesses the impacts of the proposed development/s on existing transportation infrastructure, makes appropriate recommendations and determines the necessary mitigation measures, to the satisfaction of the General Manager of Engineering Services, and including the following detailed provisions:

### 11.1 Major Streets

Provide the following major streets:

- (a) Station Street - Realign Station Street south of Terminal Avenue to normalize and create a 4-way intersection at Terminal Avenue. Widen Station Street to a 25 m right of way that includes sidewalks on both sides of the street, protected cycling facilities for all ages and abilities, and a high quality public realm with street trees, landscaping, lighting, street furniture, and green infrastructure where possible.
- (b) Industrial Avenue – Pursue reconfiguration and consolidation the intersections of Industrial Avenue and East First Avenue at Main Street.
- (c) Preserve the ability to extend Station Street south of Industrial Avenue to East First Avenue and connect to Lorne Street.
- (d) Preserve the ability to provide a streetcar track within the street right-of-way on either East First Avenue or Industrial Avenue.

- (e) A wider right-of-way may be required at intersections to accommodate turning lanes, pedestrian space, protected bike facilities and bus stops, subject to the Transportation Study and urban design intent.
- (f) Provide appropriate traffic controls (e.g. full traffic signal, pedestrian actuated signals, protected bike phasing) and treatments at intersections and midblock crossings (e.g. raised crosswalks) to facilitate safe and efficient movement of all transportation modes.

## 11.2 Other Streets

Provide the following other streets:

- (a) Western, Northern, Central, and Southern streets - using existing rights of way (a minimum of 15 m) until further transportation study assessment is provided. Facilitate access to residential properties and assume a simple street cross section with utility strip and paved surface, subject to above-noted Transportation Study for FC-2.
- (b) Northern street - Access to residential properties and explore opportunity for walking and cycling connection that extends to Main Street.
- (c) Central Street – “car light” or walking/cycling priority for the Central Valley Greenway and Walk the Line connection to the seawall, for all ages and abilities. Opportunities for green infrastructure, no driveways off of Central to support temporary street closures and public events. Dedication or SRW through the Main Street block and traffic signal at Main Street to be investigated.
- (d) Southern Street - explore opportunity for walking and cycling connection that extends to Main Street.

## 12 Pedestrian and Cyclist Supportive Design

- (a) Provide public bike share station/s on private property in locations that are highly visible and in close proximity to cycling routes and building entrances.
- (b) Design streets and other public connections with a public realm that provides a safe, accessible, comfortable, convenient, and delightful walking and cycling experience.
- (c) Design buildings to support walkability by providing ground-oriented active uses, small retail frontages, and multiple entrances for direct access to public streets.
- (d) Particularly on Main Street, provide wide, continuous and well-designed weather protection along pedestrian routes and at key waiting and gathering places to minimize gaps in weather protection, where possible.
- (e) Design buildings to accommodate and encourage cycling. Consider design elements such as easy access to secured interior bicycle storage from building entrances, bike access separated from vehicles, wider aisles and hallways, automatic door openers, weather protected exterior bicycle racks near building entrances, maintenance stations, accommodating non-standard bicycle types, exceeding minimum secured bike parking requirements, enhanced end-of-trip facilities, and a bike mobility centre.

## 13 Parking and Loading

- (a) Design parking and loading in accordance with the City’s Parking By-Law to accommodate parking demand on the site. Refinements to parking and loading may be considered through the development permit process (e.g. district parking, providing on-site car share spaces).

- (b) Provide on-street parking in appropriate locations that support commercial and retail uses. Manage on-street parking using parking meters, time restrictions, and loading zones.
- (c) Design on-site parking to be flexible and adaptable for conversion to other uses when no longer needed for parking vehicles. Approach on-street parking as a flexible resource that is integrated into a pedestrian-friendly public realm.
- (d) Design driveways with minimum width to reduce conflicts with people walking and cycling.
- (e) Parking access will not be allowed from Main Street, Terminal Avenue and Central Street. Access should be avoided on Station Street, , subject to above-noted Transportation Study for FC-2..
- (f) Loading and servicing is encouraged underground where possible, however, subject to the Transportation Study the option of smaller truck loading, deliveries, servicing and maneuvering on streets may be considered in certain areas, as an alternative to the use of private property only, with special consideration given to the safety of people walking and cycling on the streets.
- (g) Above-ground parking structures are discouraged, but not prohibited. They will not be exempted from density calculations and may require analysis on the impacts to urban design and the public realm at the time of development permit approval.

#### 14 Residential Development

- (a) In the Innovation Hub, achieve 20% affordable housing consistent with the City's rezoning policy for sustainable large sites as follows:
  - In Sub Area B (refer to FC-2 Zone District Map), allow increased density for residential use including a minimum of 8% of floor area as secured rental housing, seeking to achieve below market rentals for priority groups such as artists, low-income workers, and students, recognizing the City's objective for a range of public benefits in this area.
  - In Sub Area C (refer to FC-2 Zone District Map), allow increased density for 100% non-market housing.
- (b) Encourage innovative and creative residential forms to address housing needs of workers and students.