



CITY OF VANCOUVER

ADMINISTRATIVE REPORT

Report Date: February 13, 2006
Author: Z. Jankovic
Phone No.: 6448
RTS No.: 05614
VanRIMS No.: 08-2000-51
Meeting Date: February 28, 2006

TO: Vancouver City Council

FROM: The Director of Current Planning

SUBJECT: Heritage Building Rehabilitation Program - 51 East Pender Street
DE 409639

RECOMMENDATION

- A. THAT Council authorize the City to enter into a Heritage Revitalization Agreement for the site at 51 East Pender Street, to rehabilitate and adaptively re-use the "B" listed heritage building, to vary the provisions of the HA-1 District Schedule as they apply to site frontage and to grant a density bonus of 159,162 sq. ft. available for transfer off-site, to be registered on title as a legal notation;
- B. THAT Council require a covenant providing that the density bonus not be available for transfer until the rehabilitation is complete, unless the owner secures completion of the rehabilitation by a separate agreement, which must be registered on title;
- C. THAT, subject to approval of RECOMMENDATION A, Council instruct the Director of Legal Services to prepare a Tax Exemption Bylaw for 51 East Pender Street for a property tax exemption which is not to exceed a value of \$500,395 or a period of ten (10) years, which ever comes first;

(A two-thirds majority of votes casts is required for this recommendation to pass.)
- D. THAT, if the Tax Exemption By-law receives the assent of electors, or is deemed approved by the electors under Section 396(A) of the Vancouver

Charter, the Director of Legal Services bring forth a Tax Exemption By-law providing that:

- If issuance of an Occupancy Permit for the heritage rehabilitation work authorized under Development Application Number DE 409639 occurs before October 31st, the tax exemption period for 51 East Pender Street will begin on January 1st of the next calendar year;
- If issuance of an Occupancy Permit for the heritage rehabilitation work authorized under Development Application Number DE 409639 occurs after October 31st, the tax exemption period for 51 East Pender Street will begin on January 1st of the calendar year after the next calendar year; and
- If the owner of the property does not fulfill all requirements necessary to obtain an Occupancy Permit within sixty (60) months after the enactment date of the Tax Exemption By-law, it will have no further force or effect.

- E. THAT, subject to the approval of RECOMMENDATION A, Council authorize a façade grant totalling \$50,000, with funding to be provided from the 2005 Capital Budget;

(Approval of this recommendation requires support of two-thirds of the votes cast, pursuant to Section 206(2) (a) of the Charter.)

- F. THAT all the agreements, covenants and bylaws in respect to the above be prepared, registered and given priority to the satisfaction of the Director of Legal Services in consultation with the Director of Planning;
- G. AND THAT Council instruct the Director of Legal Services to bring forward for enactment a by-law to authorize the Heritage Revitalization Agreement.

GENERAL MANAGER'S COMMENTS

The General Manager of Community Services RECOMMENDS approval of the A, B, C, D, E, F and G.

COUNCIL POLICY

Heritage Building Rehabilitation Program Policies and Procedures for Gastown, Chinatown and Hastings Street Corridor

Transfer of Density Policy and Procedure

Chinatown Vision

PURPOSE

This report seeks Council's approval to enter into a Heritage Revitalization Agreement (HRA) which will allow for transferable bonus density, and residual density to secure the rehabilitation and long-term conservation of the municipally-designated and "B" listed (Vancouver Heritage Register - VHR) building at 51 East Pender Street. It also seeks Council's approval of a façade grant and seeks instruction to the Director of Legal Services to prepare a property tax exemption by-law and all other agreements in connection with the above.

The building is known as the "Wing Sang Building", said to be the oldest building in Chinatown.

BACKGROUND

In November 2002, City Council approved the Gastown, Chinatown Heritage Management Plan. The Heritage Building Rehabilitation Program (HBRP), a key component of the Plan, was implemented in July 2003, and was later extended to include the Hastings Corridor and Victory Square areas. The program is available for a five-year period (2003 - 2008) to initiate economic activity in these historic areas. The objective is to encourage owners to rehabilitate their heritage buildings by compensating them for "shortfall costs". These costs are defined as the amount required to make a project viable when a major building upgrade is completed. The City determines the amount of each incentive through site-specific analysis and compensation is given to the owner through various tools in the following order:

- Historic Places Initiative (HPI) grants;
- Façade Grant;
- Property Tax Exemption; and
- Transferable Bonus Density

As an added incentive for preserving buildings that contribute to the distinctive character of historic Chinatown, the HBRP allows the City to authorize transfer of notional residual density off-site, as part of the bonus density allocation. It is referred to as notional density as there are no FSR regulations in Chinatown, therefore the main factor in regulating development potential is the height limit. Based on this, Council established as part of the HBRP that "residual" density is the difference between 5.5 and the on-site FSR.

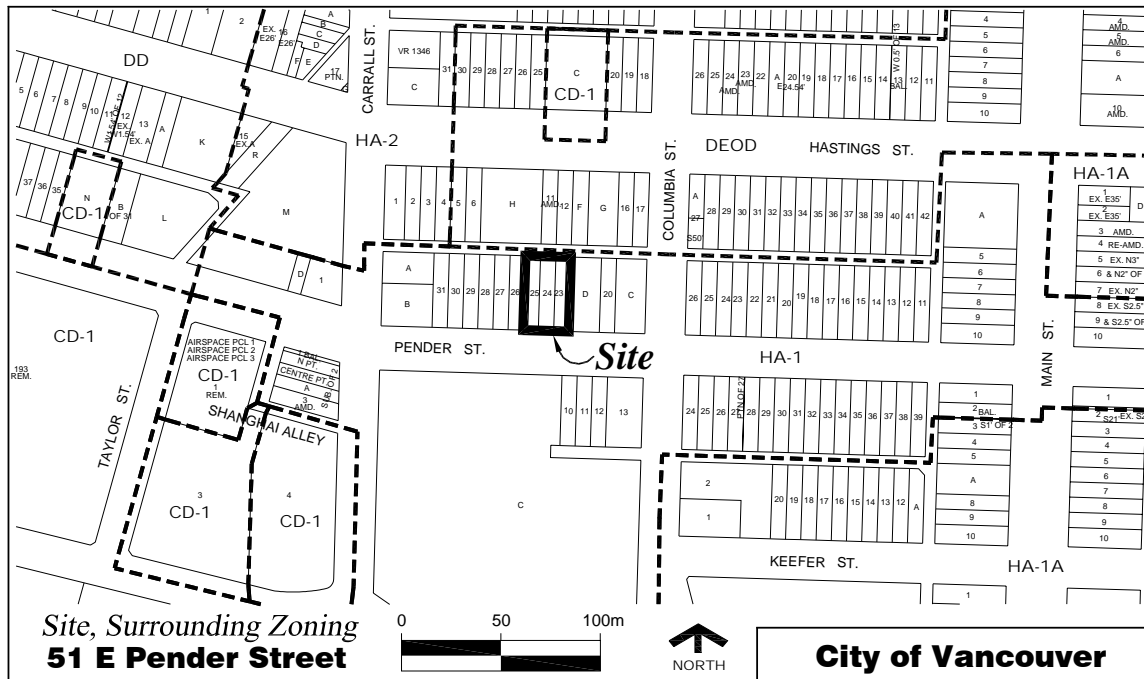
Historic Places Initiative (HPI) is a Federal Government heritage building incentive program that awards commercial building owners 20% of the total rehabilitation costs, up to a \$1,000,000 maximum, in the form of a cash grant given after the work is completed. As the owner of 51 East Pender Street is a commercial company, this project is eligible for the federal grant.

The HBRP has been successful to date with ten projects approved since implementation in mid-2003, 13 applications currently in process and another 12 proposals under development.

DISCUSSION

Development Proposal: A development application has been submitted by Walter Franci Architect to renovate, rehabilitate by adaptive re-use, and seismically upgrade the existing heritage building (consisting of two connected buildings), to provide offices and an art gallery.

Site and Surrounding Zoning:



Heritage Value: The heritage value of the Wing Sang Building lies in its reflecting a number of central aspects of Chinatown’s history and development. It is significant in expressing the socio-economic power of a leading Chinatown merchant; for accommodating the well-to-do Sang family and its large households, rather than single male labourers; for the inclusion of educational, religious, and social uses side-by-side with commercial and residential uses; for the contribution of the Sang family to the local community through the generations; and for maintaining the community’s connections with China.

The Wing Sang Building consists of two structures: a three-storey brick building on Pender Street with commercial space on the ground level and residential accommodation above; and a six-storey warehouse and tenement building facing the rear lane. A portion of the three-storey building was constructed in 1889 (the original two-storey portion of the Wing Sang Building), and added-to in 1901. This extension of the building to the east was designed by T.E. Julian. The six-storey residence and warehouse addition to the back of the building was built in 1912.

Rehabilitation Plan: The proposal is to rehabilitate and adaptively re-use the existing “B”-listed, municipally designated building (consisting of a three-storey portion facing Pender Street and a six-storey warehouse/tenement at the rear) incorporating structural and seismic upgrades. The buildings will receive upgrade to all building systems.

Substantial conservation and restoration of the three-storey building is proposed with selective demolition and new construction to satisfy life-safety, seismic, and programmatic requirements. The proposed use for the ground and second floor is commercial/office and a private art gallery. The exterior form of the building, including the main façade, will be retained, with the western storefront preserved and the remainder restored to its 1907

appearance. The three-storey building will receive a new roof structure, a new concrete elevator core and a structural brace in the centre of the west elevation, as well as an addition (north-west corner), to accommodate elevator access to a rooftop terrace. This addition will not be visible from street level.

The exterior of the six-storey tenement building will be retained and structurally reinforced, however, all floors and partitions will be removed to accommodate the proposed use as a private art gallery and parking.

Rehabilitation Cost: In order to make the project viable, the owner is seeking compensation through the HBRP, consisting of a façade grant, property tax relief for ten years, transferable bonus density and notional residual density. In accordance with Council’s HBRP Policies and Procedures, staff have reviewed the applicant’s cost calculation and have undertaken an independent analysis. The fact that there are actually two buildings on this site has also been taken into consideration. Staff conclude that a total cost of **\$8,508,488** is justified for compensation in the following manner:

51 East Pender Street -Summary of Incentives				19-Jan-06
	Category	Value (\$)		Bonus Density Implication (SF)
	Shortfall Cost		\$7,791,088	
Federal Government Incentive*	Federal Historic Places Initiative (FHPI)	\$1,000,000		20,000
	Shortfall Cost after FHPI (To be matched by COV)		\$6,791,088	
Heritage Building Rehabilitation Program (HBRP) Incentives	Façade Grants	\$50,000		
	Property Tax	\$500,395		
	Bonus Density (to meet the Shortfall Cost)	\$6,240,693		124,814
	Shortfall Cost Compensation	\$7,791,088		
Additional Incentive	Notional Residual Density	\$717,400		14,348
	Transferable Bonus Density			159,162
	Total Compensation \$ (Shortfall Cost Compensation \$ + Notional Residual Density \$)		\$8,508,488	

* if the Federal Grant awarded, the Total Compensation amount will be accordingly adjusted (reduced).

Note: \$4.85 million (97,000 sq. ft.) is the value of the bonus density that will be transferred to the 830 West Hastings site, which is owned by the same developer. The transfer of heritage density to 830 West Hastings, as the receiver site, was approved at Public Hearing in July, 2005.

Proposed Zoning Variances: The proposed HRA would vary the provisions of the HA-1 District Schedule which state that the maximum frontage for any use shall be 7.6 m (25.0 ft.). The site at 51 East Pender Street has a frontage of 9.09 m.

Tax Exemption By-law Process: The Vancouver Charter lays out the requirements for an enabling tax exemption by-law and notification process for the public. If Council approves the recommendation to provide a property tax exemption, staff will advertise notice of the proposed by-law as required by the Charter, and state that Council may adopt the by-law after 30 days unless more than 1/20th of electors petition Council. If 1/20th or fewer electors petition Council within the 30 day period, the Charter deems that the electors have approved the tax exemption, and Council can proceed to enact the by-law. If more than 1/20th of electors petition Council, then a further report will recommend to Council whether or not to seek the assent of electors and the process required to do so.

The Property Tax Exemption By-law will stipulate the terms under which the recommended property tax exemption will be provided. The By-law will provide a complete property tax exemption to the property for the period necessary to achieve the stipulated tax exemption of \$500,395 after which the property will be fully taxable. Should the entire amount not be achieved in a ten (10) year period, the exemption will expire and the property will become fully taxable. If the Occupancy Permit is issued before October 31st of a given year, the exemption will be effective in the taxation year immediately following. If the Occupancy Permit is issued after October 31st of a given year, the exemption will be effective in the second following taxation year. Staff will provide an annual report to Council on the status of this and other exemptions approved under the program.

Inventory of Unsold Density: Due to recent and anticipated fluctuations in the balance of unsold density in the 'bank', staff will provide a complete picture, including describing the impact of the current HRA applications scheduled for public hearing (51 East Pender, 1285 W. Pender and 101 West Hastings - Woodward's) . As of February 7, considering applications approved or submitted for both donor and receiver sites there was 348,000 sq. ft. generated from donor sites and 353,000 sq. ft. earmarked on receiver sites, resulting in no floor area in the bank. Approximately 132,000 sq. ft. is currently being held out of the bank by owners of density wishing to retain the density for their own future purposes.

The three HRA donor sites scheduled for public hearing will add 388,000 sq. ft. resulting in a net balance of 383,000 sq. ft. in the bank. If these three HRAs were to be approved the net result of 383,000 sq. ft. in the density bank would represent a healthy balance, consistent with the balance reported to Council over the last two years. Staff support this balance. It is noted that an additional 87,000 sq. ft. heritage density from Woodward's will effectively be held out of the bank by agreement that the value of it will be set at \$85.00 per square foot, significantly higher than the currently trading rate of approximately \$50.00 a sq. ft.

In the next six months staff anticipate approximately 243,000 additional sq. ft. of heritage density from donor sites (based on applications in process and application enquiries) and anticipate absorption of approximately 120,000 sq. ft. on receiver sites. In the 18 months following it is anticipated approximately 420,000 more sq. ft. of heritage density could be generated and approximately 355,000 sq. ft. absorbed. If the uptake proceeds as estimated this could result in a balance of unsold density of approximately 570,000 sq. ft. in two years time. The balance in the bank has been this high before - through that period heritage projects continued and were not adversely affected by the balance in the bank.

It is noted that at the public hearing for the Woodward's HRA, a companion CD-1 rezoning will also be presented. This CD-1 will recommend additional bonus density (to be vested on the site and transferable at a later date) be considered for the Woodward's project to offset the cost of meeting key public objectives, including provision of public open space to complete this important project. The bonus amount, anticipated to be approximately 176,000 sq. ft., will also have its value set at \$85.00 a sq. ft., thereby effectively keeping it out the bank.

Staff will continue to explore strategies to maintain a healthy balance of unsold density including, for example, negotiating the trading value with applicants and other means to manage the release of density from donor sites, and pursuing new policy initiatives including expanding receiver site density potential. Staff will be reporting back to Council on this matter later in the year.

REVIEW AND NOTIFICATION

Public Consultation: Following standard notification procedures, 899 surrounding property owners were notified and invited to comment on the proposal. Three responses were received. All were in support of the project, with one respondent expressing general interest and concern for creating more pedestrian-friendly lane environments. Staff were encouraged to take advantage of passageways (a network of small lanes between Pender St. and the Market Alley lane) that exist between some buildings in the historic area of Chinatown.

Comments from the Advisory Bodies: This application was presented to Chinatown Historic Area Planning Committee (CHAPC) on March 8, 2005 at the pre-application stage, and on September 13, 2005, as a development permit application, and received support. The CHAPC encouraged higher level of retention of the third floor interiors and finishes and welcomed any further contribution to enhancement of the lane environment (known as "Market Alley").

The Vancouver Heritage Commission (VHC) was presented with the project at the pre-application stage, on March 14, 2005, and later, when the development permit application was received, on September 12, 2005. VHC supported the application noting that the window conservation procedure and the storefront period restoration procedure were still being developed at the time. In addition, the VHC welcomed consideration of the possible future "Market Alley" public function and encouraged commemoration of the rich history and Sang family contributions.

The applicant has responded positively to staff and public encouragement to make "Market Alley" more pedestrian friendly and safe. This application proposes an attractive lane façade, brings in more active users to the lane, more exterior lighting, and an interesting wall and pavement finishes.

In addition, where possible staff are attempting to retain existing passageways (small alleys) and develop new ones that are accessible to the public. However, in each instance this objective has to be balanced with other priorities including heritage rehabilitation and attraction of new housing and commercial uses. In this instance the developer has concluded, and staff agrees, that a portion of the former passageway needs to be enclosed and covered to best enable proposed heritage rehabilitation and commercial revitalization of this building to be completed. Although not retained in its original appearance, the historic function and a

memory of the passageway as a communication/traffic corridor was preserved through contemporary architectural re-interpretation.

Chinatown Revitalization Program: This is an important initiative in the Chinatown Revitalization Program and the Vancouver Agreement's Downtown Eastside Economic Revitalization Plan. It is consistent with the Chinatown Vision which Council approved in July 2002 and is supported in principle by the Vancouver Chinatown Revitalization Committee which is made up of representatives of most of the business and cultural organizations within that community.

The site is strategically located across from the Chinese Cultural Centre and near the emerging Carrall Greenway. Rehabilitation of 51 East Pender Street - the oldest building in Chinatown - and the companion development of the long vacant adjacent site at 75 East Pender Street will do a great deal to help restore the vitality of the commercial and cultural core of historic Chinatown. The fact that Rennie Marketing Systems will occupy much of this building will attract many new customers who would otherwise not likely visit Chinatown and help interest others to invest in the area. The market housing on the companion site will bring additional customers for local shops and help encourage others to invest in housing.

FINANCIAL IMPLICATIONS

The 2003-2005 Capital Plan provides \$1.5 million for the façade grants program. Over the last two years, \$685,000 (which includes the latest approval in January, 2006) in grants were approved for façade rehabilitation projects. Staff recommend approval of the total grant of \$50,000 with funding to be provided from the 2005 Capital Budget for Façade Grants.

CONCLUSION

Rehabilitating the historic building at 51 East Pender Street is consistent with the City's Heritage Building Rehabilitation Program Policies and Procedures and the Chinatown Vision. The proposed façade grants, tax exemption, transferable density bonus and residual density would compensate the owner for the cost involved in rehabilitating this municipally-designated, "B" VHR listed building. The recommended Heritage Revitalization Agreement and associated covenant will secure the City's interest of ensuring the buildings are promptly rehabilitated and maintained in perpetuity. Completion of this development will contribute in a significant way to the revitalization of the cultural and commercial core of historic Chinatown.

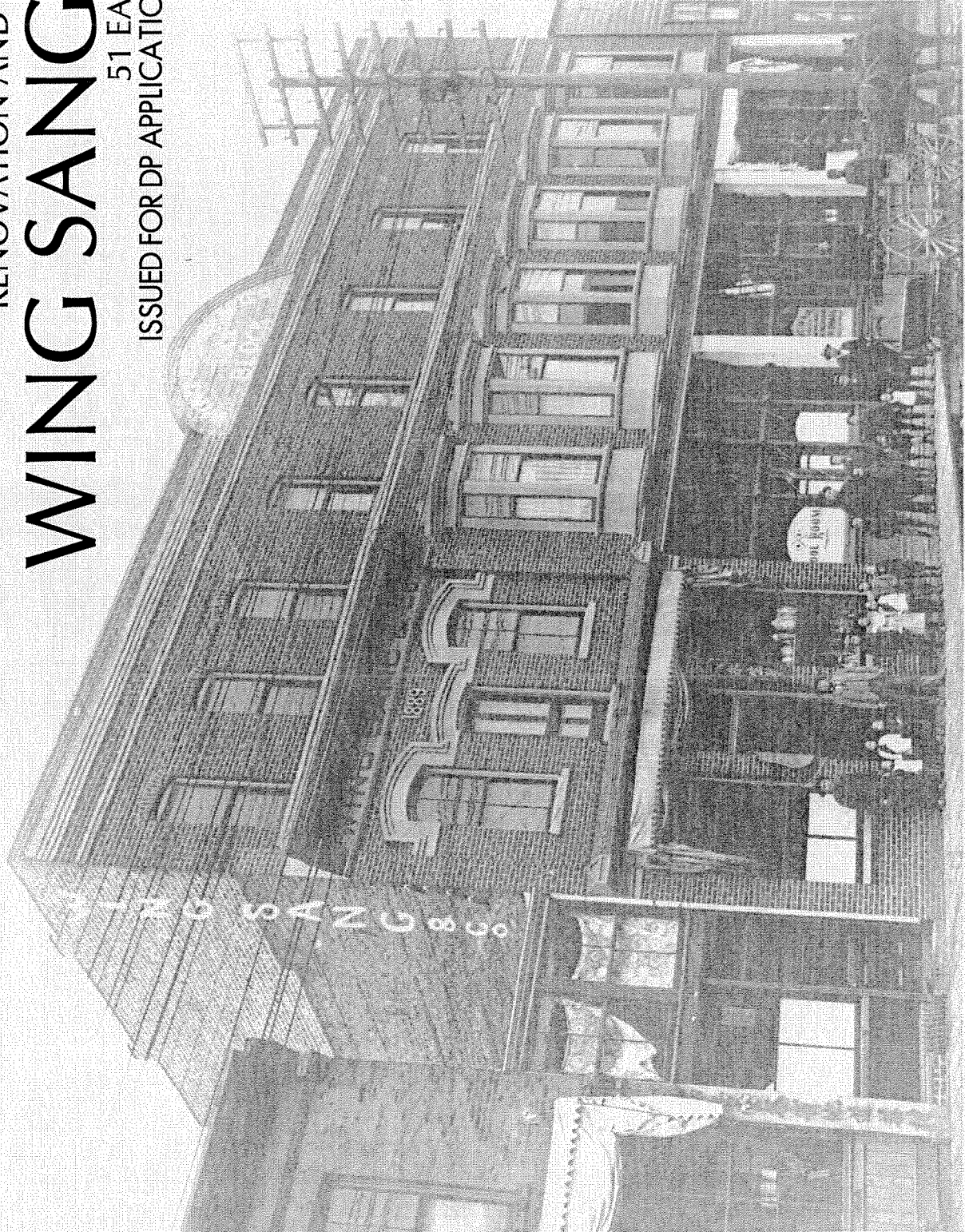
* * * * *



RENOVATION AND RESTORATION TO

WING SANG & Co.

51 EAST PENDER STREET
ISSUED FOR DP APPLICATION - AUGUST 29, 2005



Drawing Index

- A-100 SITE PLAN, LOCATION PLAN & PROJECT INFORMATION
- A-201 AS BUILT - GRND FLR PLAN
AS BUILT - SCND FLR PLAN
AS BUILT - THRD FLR PLAN
- A-202 AS BUILT - SECTION A-A, B-B
- A-203 AS BUILT - ELEVATIONS
- A-204 DEMOLITION FLOOR PLANS
- A-210 BASEMENT FLOOR PLAN
GROUND FLOOR PLAN
SECOND FLOOR PLAN
THIRD FLOOR PLAN
FOURTH FLOOR PLAN
- A-212 SERVICE PLenum PLAN
- A-301 SOUTH ELEVATION
- A-302 NORTH ELEVATION
- A-303 WEST ELEVATION
- A-304 EAST ELEVATION
- A-401 SECTION A-A
- A-402 SECTION B-B
- L-1 ROOF LANDSCAPE PLAN

Jameson Development Corp

Consultants:

Walter Freed Architect Inc.
1684 W. 2nd Ave.
Vancouver, BC V6J 1H4
604-688-3552, 604-688-9395
Contact: Walter Freed
Mark Ashby

Verticality Cost Consultants

8333 Ladin Street
Richmond Hill, ON, L4B 3Y4

102-1651 West 2nd Ave.
Vancouver, BC V6J 7H3
604-688-1000, 604-688-0888
Contact: Jonathan Lopez
Robert Lemmon
Vancouver, BC V6J 1H4
604-271-1414
Contact: Robert Lemmon

JM Engineering
4608 - 318 Home Street
Vancouver, BC V6B 2V2
604-683-0395, 604-684-0596
Contact: Jim Mandelli

Jonathan Lopez Ltd.

Landscap Architecture
102-1651 West 2nd Ave.
Vancouver, BC V6J 7H3
604-688-1000, 604-688-0888
Contact: Jonathan Lopez

DEVELOPMENT SERVICES

COMMUNITY SERVICES

DEVELOPMENT SERVICES

AUG 29 2005

DE 409639

51 East Pender Street

Civic Address: 51-69 E. Pender St.
Legal Description: Lots 23, 24 & 25, Block 13, D.S. 196 Plan 184 (PID:015-669-599)

Data Summary

Zone: HA-1
Applicable Documents: HA-1 District Schedule (December, 2003)
Chinatown HA-1 Guidelines for Designated Sites (November, 2003)

Site Area: 849.0 sm (8138 sf)
FSK Permitted: No outright limit
Proposed: SEE SUMMARY BELOW

*SEE FSR-210 FOR AREA CALCULATIONS

Site Coverage Permitted: 1.0
Proposed: 1.0

Building Height: Permitted: 15.3m (50.2 ft) (with discretionary relaxation to 20.0m (65.6 ft))
Proposed: 12.27m (40'-3") (to top of existing cornice)
20.62m (67'-7 7/8") (to top of existing parapet)

Required Setbacks:	Permitted	Proposed
Front	0.0m	0.0m
Side (Commercial)	0.0m	0.0m
Rear (Residential)	0.0m	0.0m

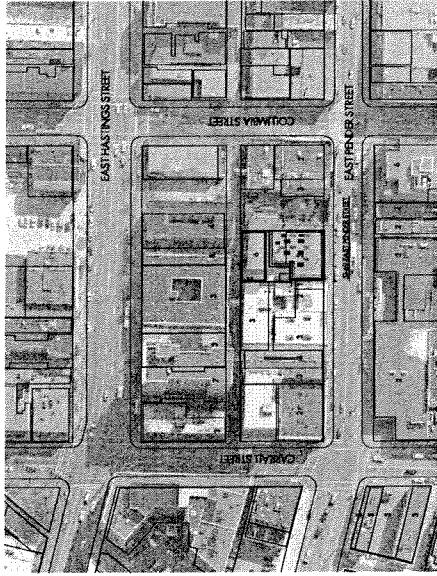
Building Data:

Occupancy: Commercial office and art gallery
Gross Area: 2747.1 sm (28,570 sf)
Project Scope:
Renovation and restoration of the existing building at 51-69 East Pender St. to form the office suites of a single commercial tenant and a related, private art gallery. The majority of the existing building is proposed to be retained with selective demolition and addition as required to satisfy occupant safety, a structural seismic upgrade and the new program as described above.

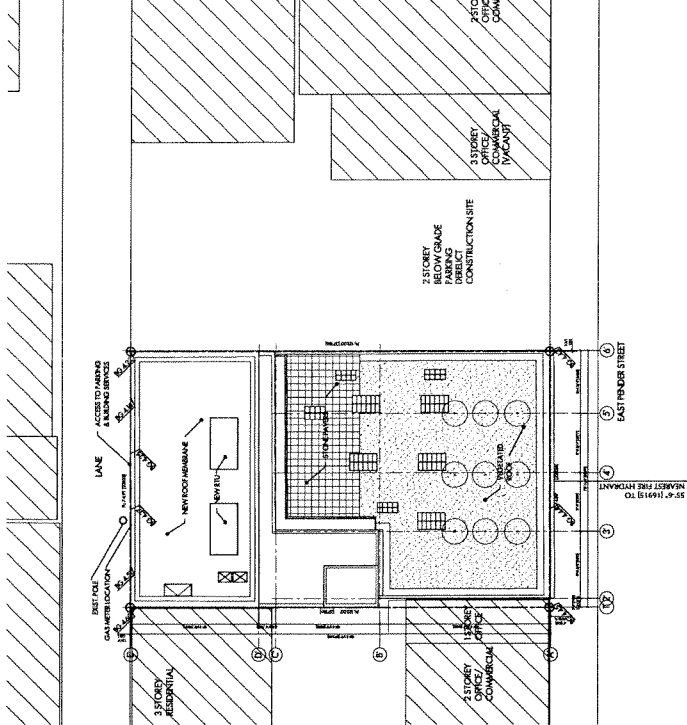
Alterations to the existing building include: Addition of steel seismic frame and structural concrete shear-walls as described in the structural report; addition of structural sheathing to existing floors; upgrading of existing floor slabs to meet current codes; addition of a freight/passenger elevator; installation of new stairs; installation of new interior partitions; addition of interior structural shell in the existing six-story building and conversion of part of the existing ground floor to a garage.

Parking Summary:
Per HA-1 District Guideline, no additional parking is required to be provided in existing buildings
Number of existing stalls: 0
Number of proposed stalls: 14

GROSS AREA:	NET AREA SUMMARY: (EXCLUDING SERVICE STORAGE)	SERVICE STORAGE SPACE:
BASEMENT: 443.5	BASEMENT: 229.1	BASEMENT: 200.6
GROUND FLOOR: 567.2	GROUND FLOOR: 380.8	GROUND FLOOR: 170.8
FIRST FLOOR: 842.0	FIRST FLOOR: 635.1	FIRST FLOOR: 0.0
THIRD FLOOR: 185.9	THIRD FLOOR: 179.0	THIRD FLOOR: 0.0
FOURTH FLOOR: 185.9	FOURTH FLOOR: 179.0	FOURTH FLOOR: 0.0
SERVICE PLENUM: 238.5	SERVICE PLENUM: 0.0	SERVICE PLENUM: 248.2
TOTAL: 2747.1	TOTAL: 2067.1	TOTAL: 619.6
• EXCLUDES AREA OPEN TO BELOW	FSR: 2.43	FSR: 0.73
• EXCLUDES AREA OPEN TO BELOW	ALL AREAS IN METERS	ALL AREAS IN METERS
• EXCLUDES AREA OPEN TO BELOW		
• WITHIN BUILDING ENVELOPE		
ALL AREAS IN METERS		



1 CONTEXT PLAN
1:1000



2 SITE PLAN
1:200

Walter Francl Architect Inc.
1654 West 4th Ave, Vancouver, B.C. V6J 1H4
TEL: 604.688.2522 FAX: 604.688.5955
DRAMA

51 East Pender Street
Project
Issued For: NOV. 30, 2004
REVIEW: AUG 8, 2005
DP: AUG 29, 2005

Site Plan, Location Plan & Building Info.

Project No. 2406
Drawing No. A-100

This drawing or instrument or service is the property of Walter Francl Architect Inc. and may not be reproduced without the firm's permission. All information shown on this drawing is for the use in this specific project only and must not be used otherwise.

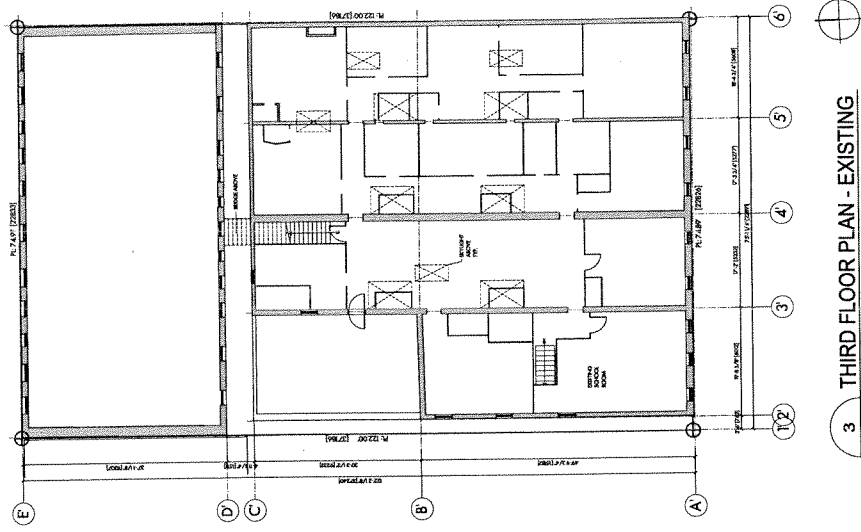
EXISTING
R1 III PLING

Project No.
2406

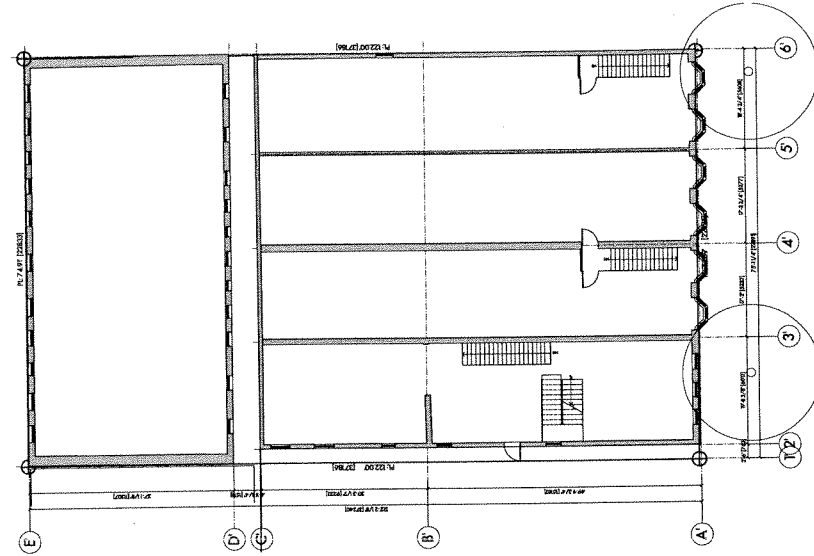
Project
51 East Pender Street

Issued For:
DP
AUGUST 8, 2005

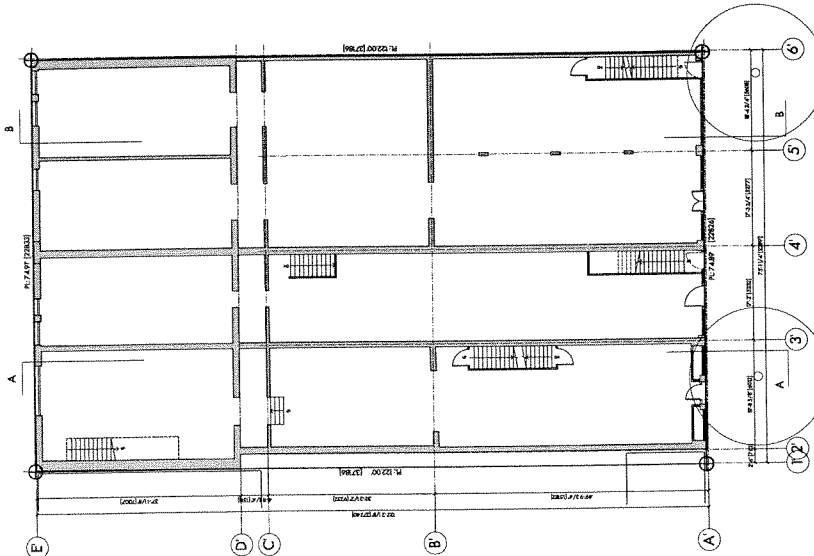
Walter Franci Architect Inc.
Date: JUL 21, 2005
Scale: 1:125
Checked: WF
Drawn: MA, AM
1894 West 2nd Ave., Vancouver, B.C., V6J 1H4
Tel: 604.688.3252 Fax: 604.688.5995



3 THIRD FLOOR PLAN - EXISTING
SCALE: 1:125
A-201



2 SECOND FLOOR PLAN - EXISTING
SCALE: 1:125
A-201



1 GROUND FLOOR PLAN - EXISTING
SCALE: 1:125
A-201

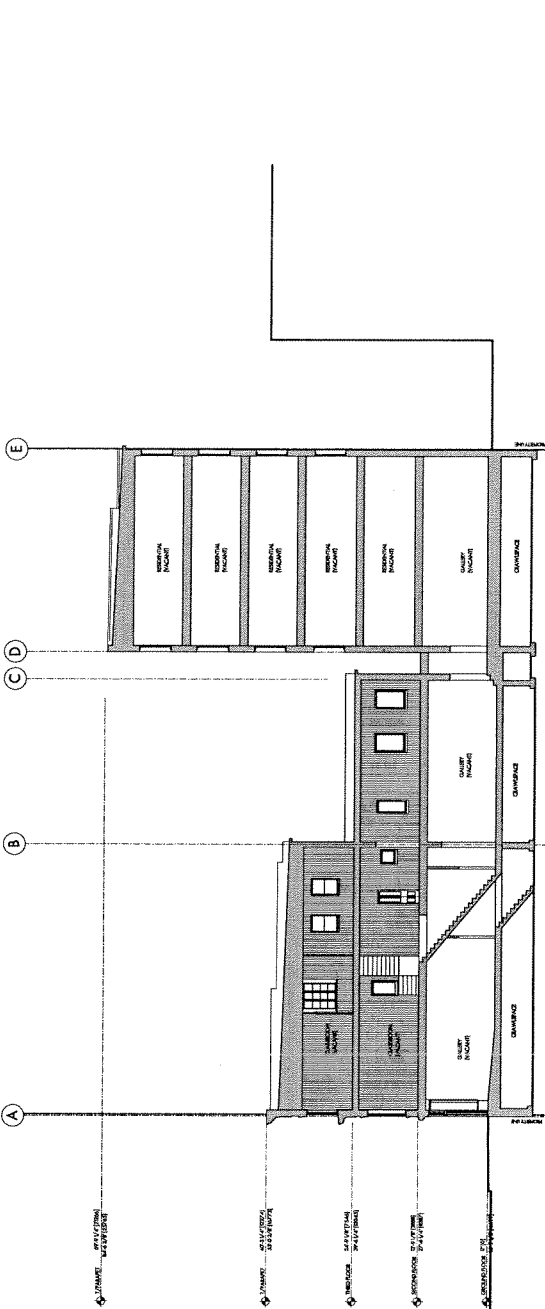
Walter Franci Architect Inc.

1684 West 2nd Ave, Vancouver, B.C. V6J 1H4
Tel: 604.688.3252 Fax: 604.688.5995
Date Drawn: 1

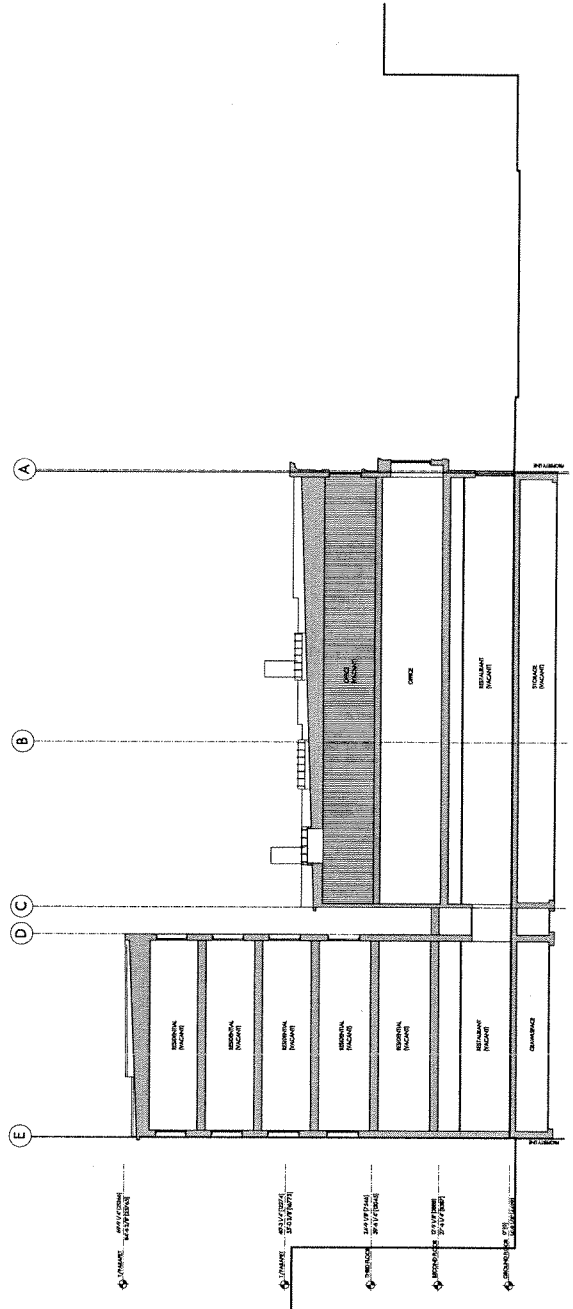
Project: 51 East Pender Street
Issued For: DP
AUG 29, 2005

EXISTING BUILDING SECTIONS

Project No. 2406
Drawing No. A-202



1 SECTION A-A - EXISTING
SCALE: 1:125
A-202



2 SECTION B-B - EXISTING
SCALE: 1:125
A-202

This drawing is an instrument of service to the property of Walter Franci Architect Inc. and may not be reproduced without the firm's permission. An instrument signed on the drawing is for use in this specific project only and must not be used elsewhere.

164 West 2nd Ave, Vancouver, B.C. V6J 1H4
Tel: 604.688.3252 Fax: 604.688.5995
Date: JUL 21, 2005
Drawn: M.A.M. Checked: W.F.
Scale: 1:125

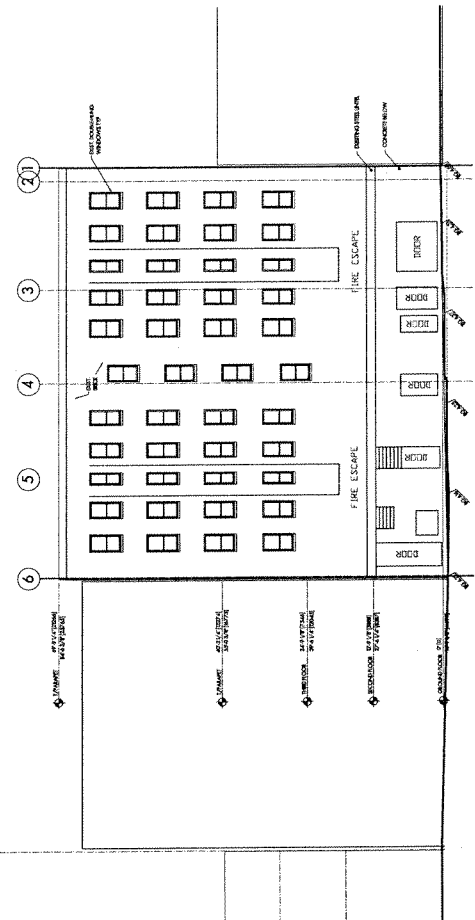
Water Franci Architect Inc.

Issued For: AUG 6, 2005
DP: AUG 29, 2005

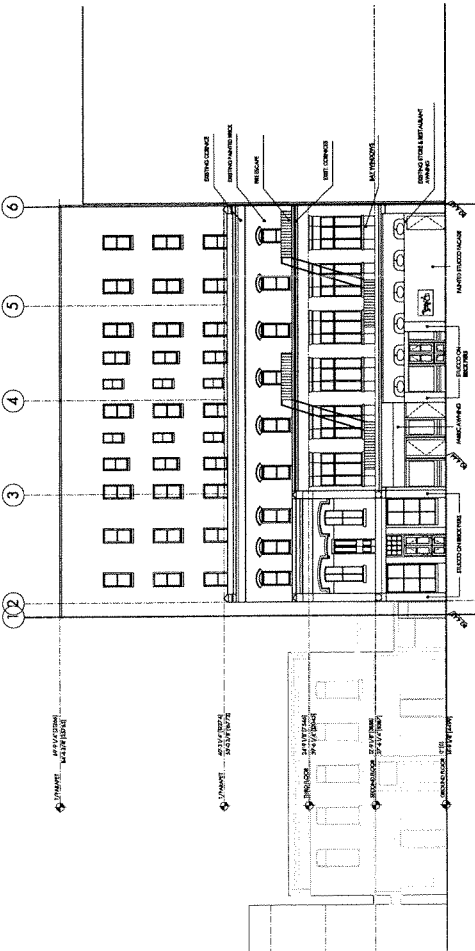
Project: 51 East Pender Street

EXISTING
DRAWING TITLES
IONS

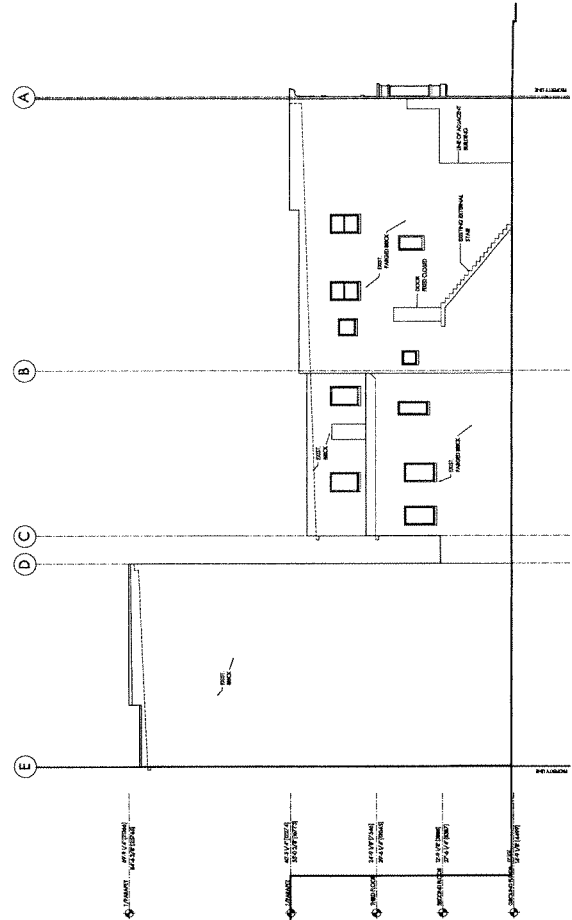
Project No. 2406



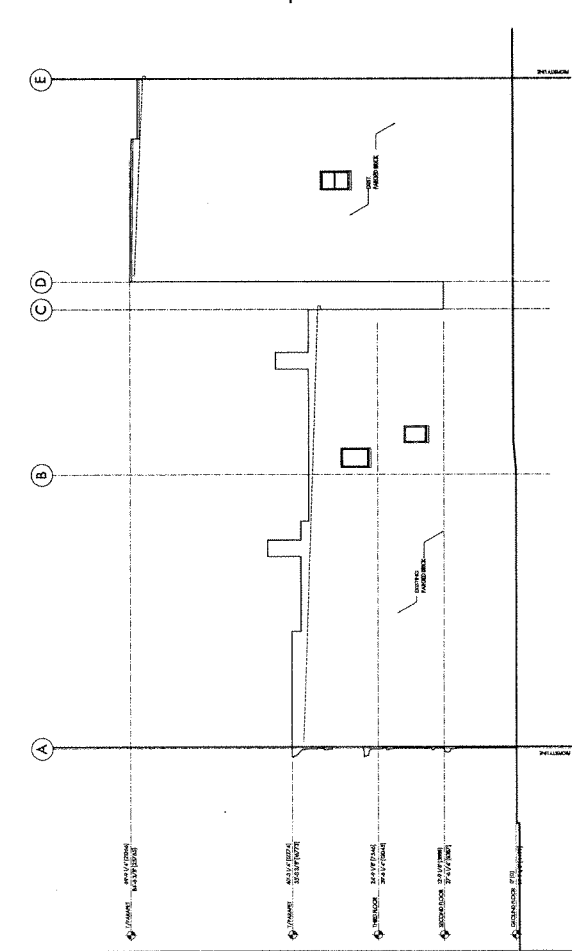
2 NORTH ELEVATION - EXISTING
SCALE: 1:125
A-203



1 SOUTH ELEVATION - EXISTING
SCALE: 1:125
A-203



4 WEST ELEVATION - EXISTING
SCALE: 1:125
A-203



3 EAST ELEVATION - EXISTING
SCALE: 1:125
A-203

This drawing is the property of Water Franci Architects. It may not be reproduced without the firm's permission. All information shown on this drawing is for the use in this specific project only and shall not be used elsewhere without written permission from this office.

Walter Francl Architect Inc.

1664 West 2nd Ave., Vancouver, B.C., V6J 1H4
 TEL: 604.688.3252 FAX: 604.688.9995
 DRYUM, M. DATA, J.U.

Issued For: AUG 8, 2005
 DP: AUG 8, 2005

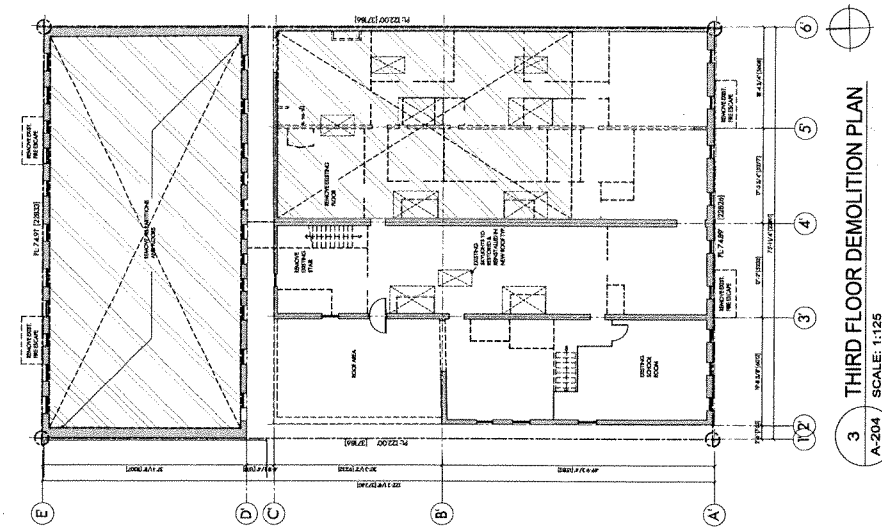
Project: 51 East Pender Street

Drawing Title: DEMOLITION
 Building: PLANS

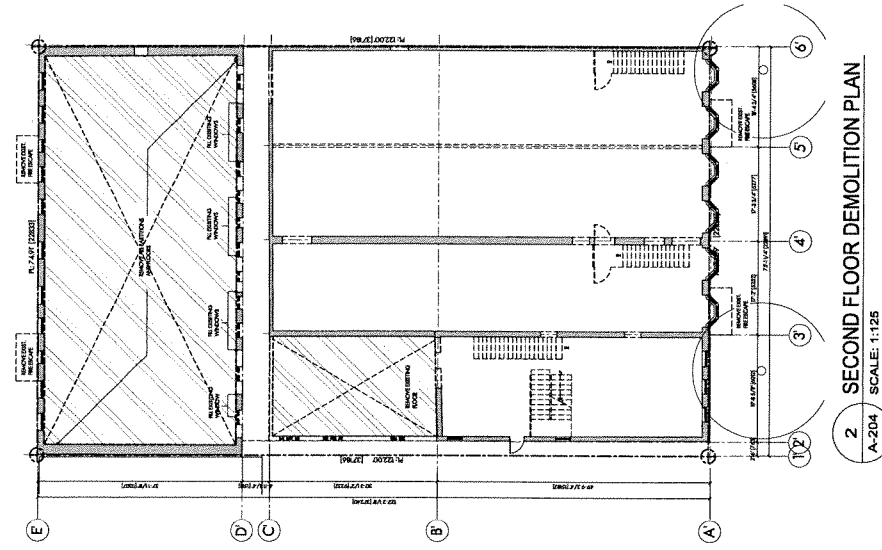
Project No: 2406
 Drawing No: A-204

LEGEND	
(Symbol)	EXISTING STRUCTURE TO BE DEMOLISHED
(Symbol)	EXISTING STRUCTURE TO BE REPAIRED
(Symbol)	EXISTING STRUCTURE TO BE REINFORCED
(Symbol)	EXISTING STRUCTURE TO BE REINFORCED AND REPAIRED
(Symbol)	EXISTING STRUCTURE TO BE REINFORCED AND REPAIRED AND REPAIRED
(Symbol)	EXISTING STRUCTURE TO BE REINFORCED AND REPAIRED AND REPAIRED AND REPAIRED
(Symbol)	EXISTING STRUCTURE TO BE REINFORCED AND REPAIRED AND REPAIRED AND REPAIRED AND REPAIRED

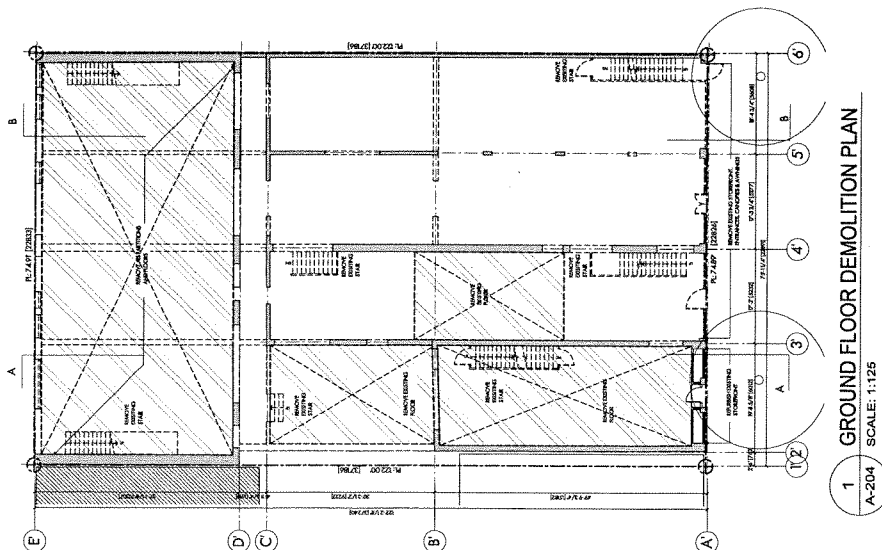
1. STRUCTURAL FRAMING IN ROOM TO BE REPAIRED OR REUSE.
 2. SECOND FLOOR WALLS TO REMOVED. RETAIN MATERIAL FOR REUSE.



3 THIRD FLOOR DEMOLITION PLAN
 A-204 SCALE: 1:125



2 SECOND FLOOR DEMOLITION PLAN
 A-204 SCALE: 1:125



1 GROUND FLOOR DEMOLITION PLAN
 A-204 SCALE: 1:125

This drawing or treatment of matter is the property of Walter Francl Architect Inc. and shall not be reproduced, copied, or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Walter Francl Architect Inc.

Walter Francl Architect Inc.
 1694 West 2nd Ave Vancouver, B.C. V6L 1H4
 TEL: 604.688.3252 FAX: 604.688.5995
 DRAWN: OCTOBER, 2004
 CHECKED: V.P.
 SCALE: 1:100

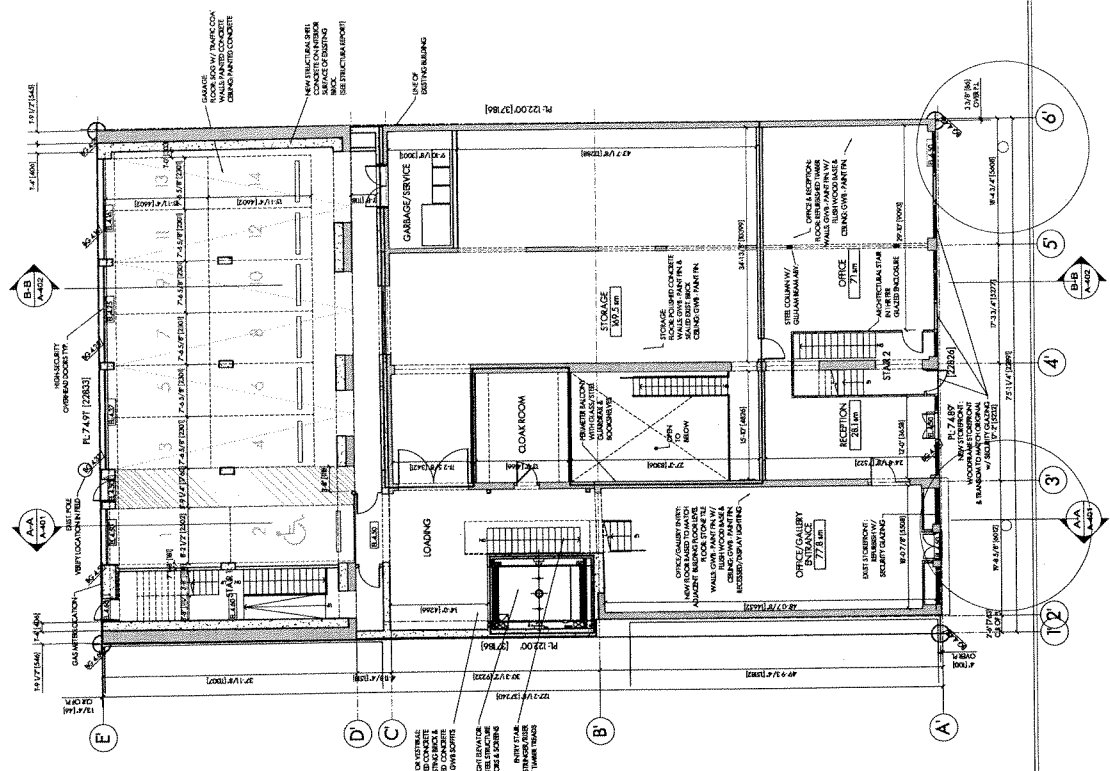
Issued For:
 AUG 8, 2005
 DP
 AUGUST 29, 2005
 REVIEW
 NOV 17, 2004
 COSTING
 JUN 14, 2005
 COSTING
 FEB 23, 2005

Project:
51 East Pender Street

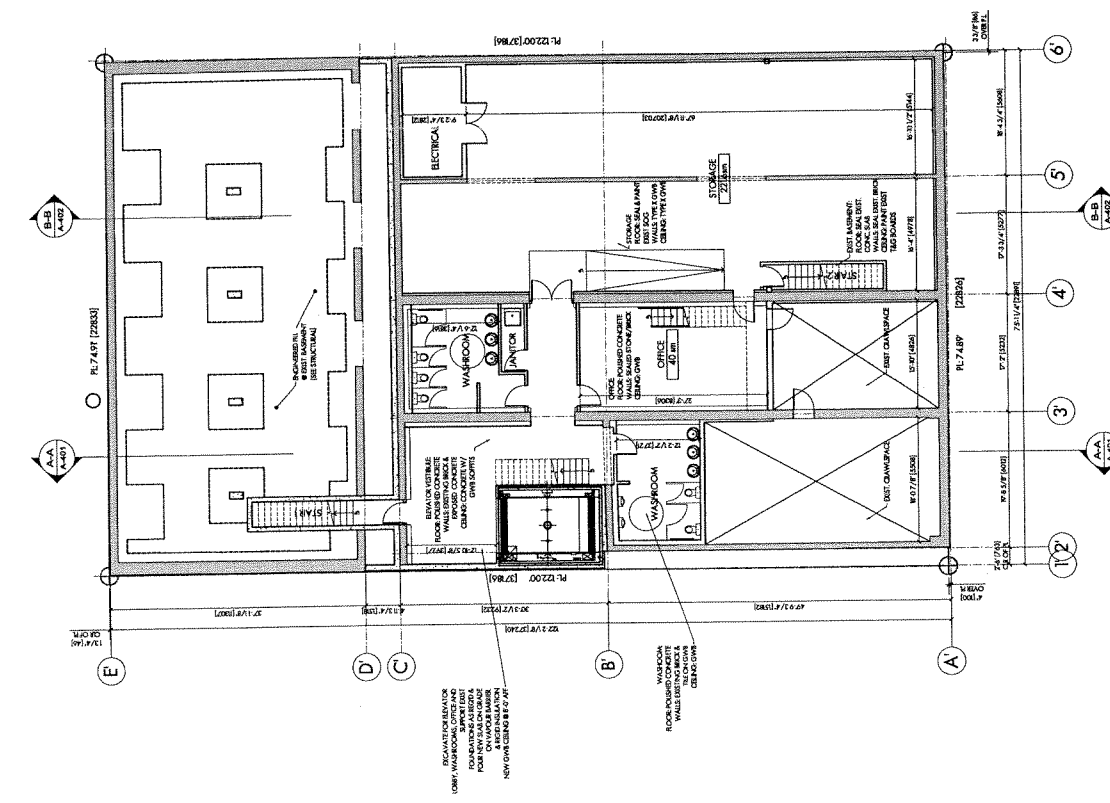
Drawing Title:
BASMENT & GROUND FLOOR

Project No.:
2406

- EXISTING WALL
- EXISTING BACKSPOUR WALL
- NEW CONCRETE WALL
- NEW FRAME WALL



2 GROUND FLOOR PLAN
 A-210 SCALE: 1:100



1 BASEMENT PLAN
 A-210 SCALE: 1:100

Walter Franci Architect Inc.

1584 West 2nd Ave., Vancouver, B.C., V6L 1H4
Tel: 604.688.3252 Fax: 604.688.5995
DWMN M

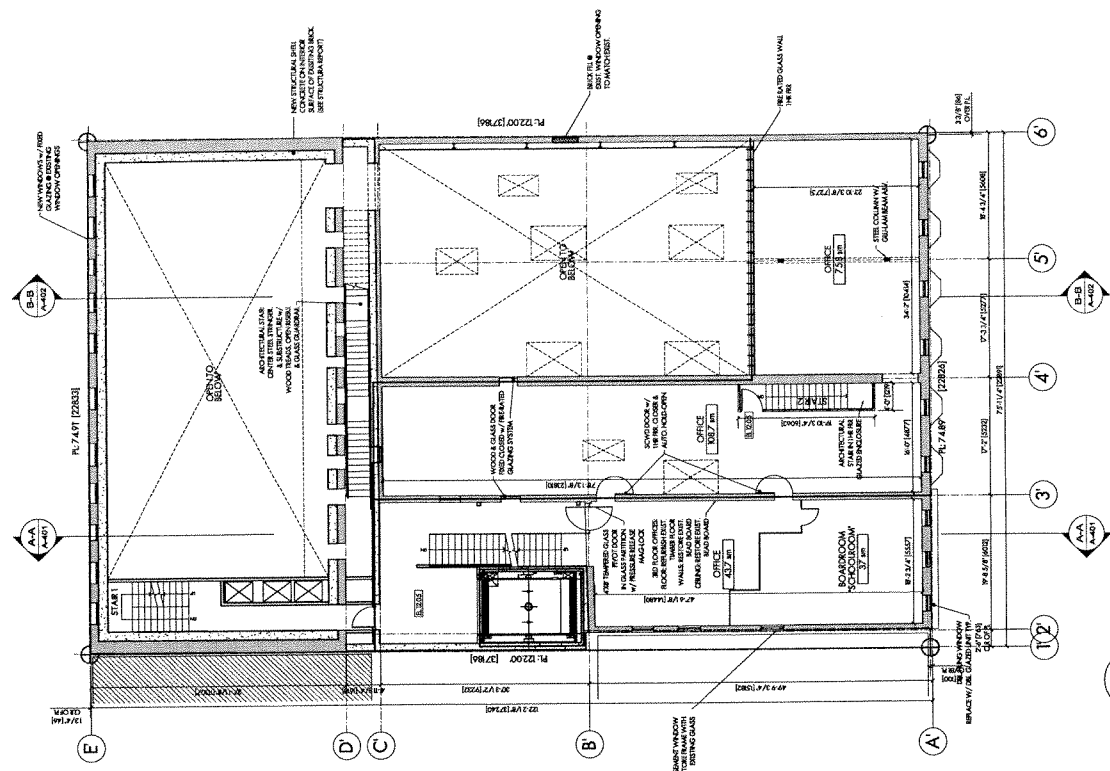
Issued For:
AUG 8, 2005
DP
AUG 29, 2005
REVIEW
NOV 17, 2004
COSTING
JAN 14, 2004

Project
51 East Pender Street

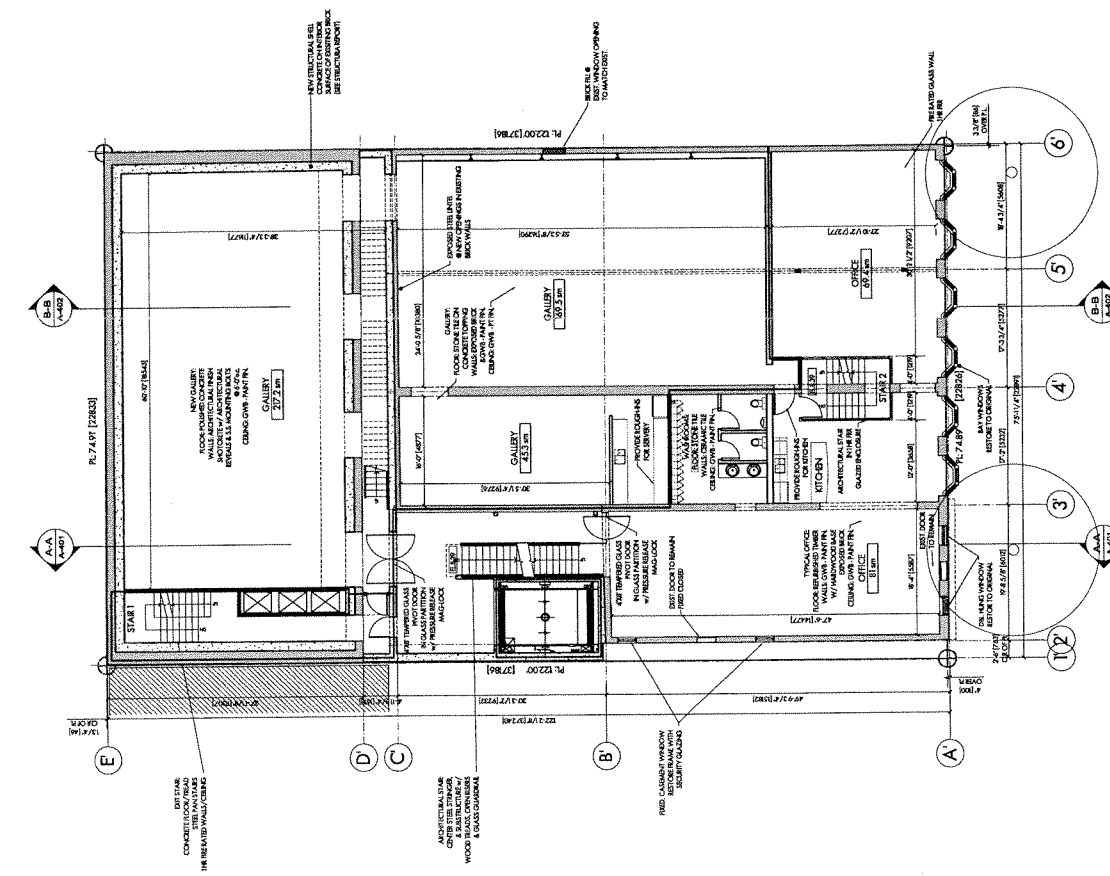
SECOND FLOOR
& THIRD FLOOR
PLANS

Project No. 2406
Drawing No. A-211

THIN CONCRETE WALL	---
MINI CONCRETE WALL	---
EXTERIOR GLASS WALL	---
GLASS	---



1 THIRD FLOOR PLAN
SCALE: 1:100



2 SECOND FLOOR PLAN
SCALE: 1:100

Walter Francl Architect Inc.
1664 West 2nd Ave., Vancouver, B.C., V6J 1H4
Tel: 604.688.3252 Fax: 604.688.5995
DRAFT OCTOBER, 2004 Scale: 1/100
Checked: WF

Project: **51 East Pender Street**

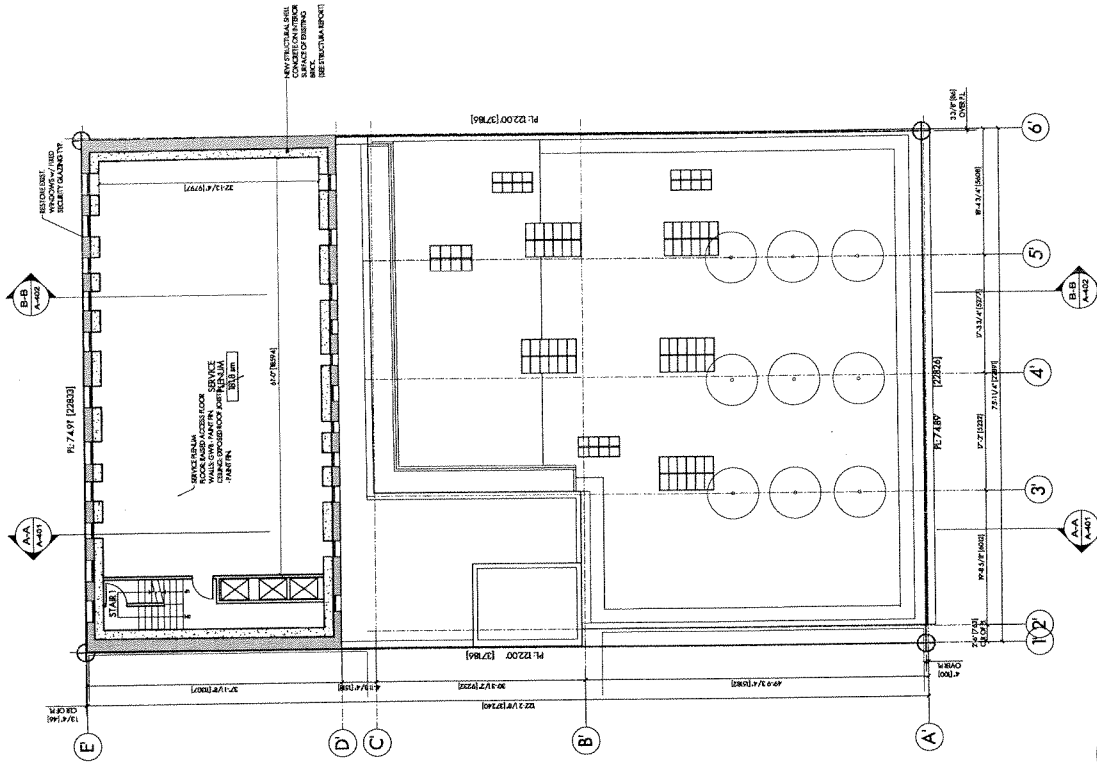
FOURTH FLOOR & SERVICE PLENUM

Project No. **2406**
Drawing Title

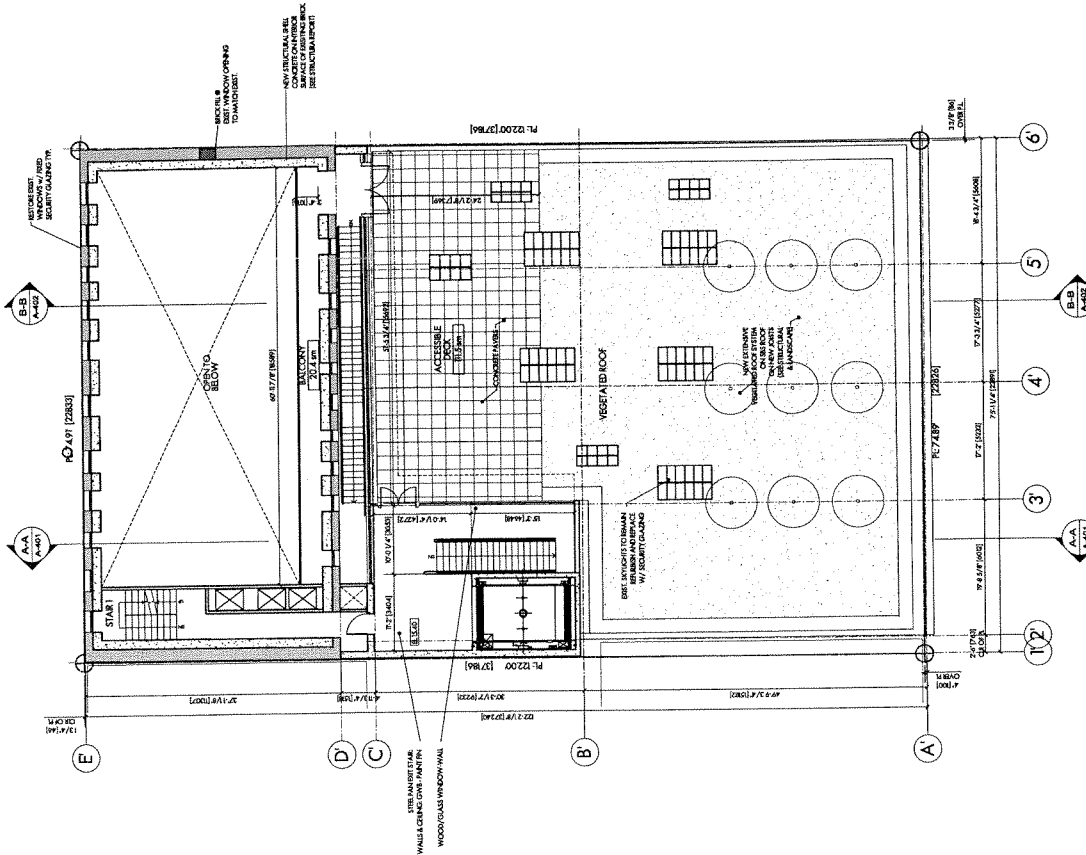
Issued For:
DP: AUG 28, 2005
REV: NOV 17, 2004
REV: NOV 30, 2004
REV: JAN 14, 2005
COSTING: FEB 23, 2005

Legend:

=====	FOUNDATION
-----	CONCRETE
-----	STRUCTURAL
-----	WOOD
-----	GLASS
-----	MECHANICAL
-----	MECHANICAL
-----	MECHANICAL



1 SERVICE PLENUM
A-213 SCALE: 1:100



2 FOURTH FLOOR PLAN
A-213 SCALE: 1:100

Walter Franchi Architect Inc.

1604 West 2nd Ave., Vancouver, B.C. V6J 1H4
Tel: 604.688.3252 Fax: 604.688.5955
DWM

Issued For: AUG 9, 2005
DP: AUG 29, 2005
REVISED: NOV 17, 2004
REVIEW: NOV 30, 2004
COSTING: JAN 14, 2005
COSTING: FEB 23, 2005

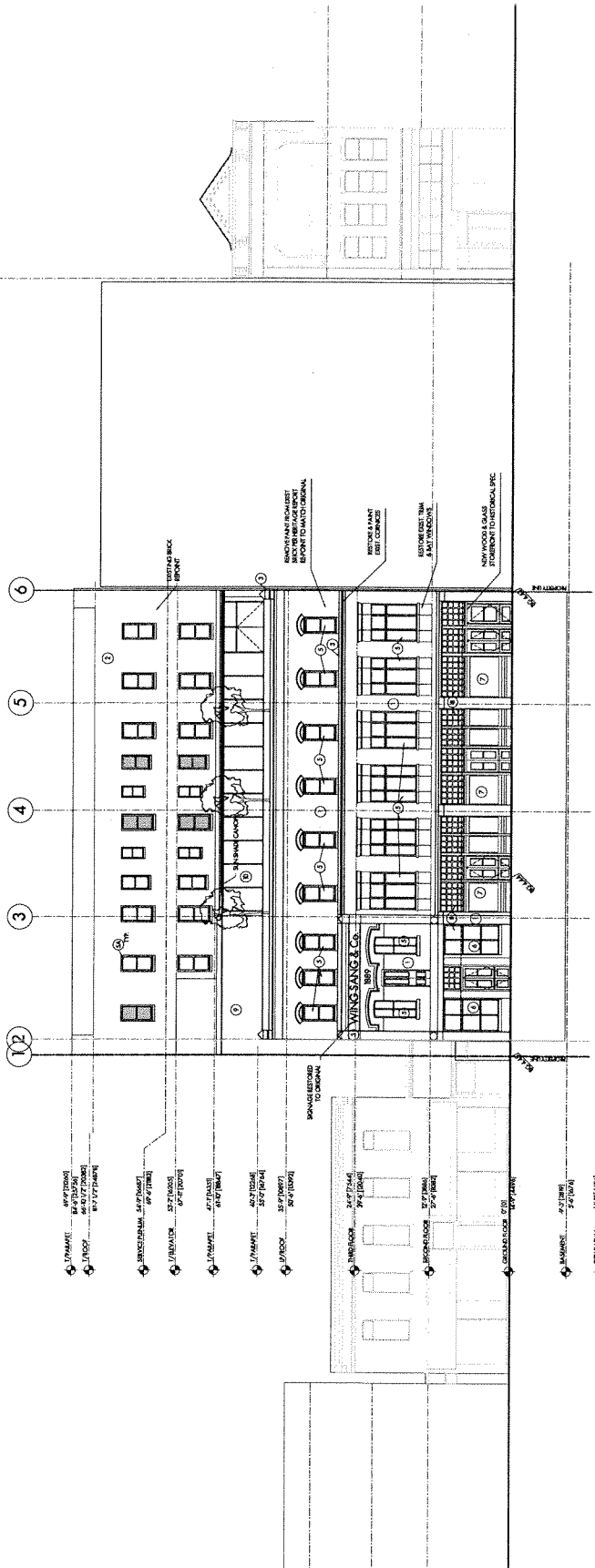
Project: 51 East Pender Street

Drawing Title: SOUTH ELEVATION

Project No.: 2406
Drawing No.: A-301

This drawing is an instrument of service in the province of British Columbia. It is the property of Walter Franchi Architect Inc. and shall not be used otherwise.

- 1. EXISTING
- 2. NEW
- 3. REVISIONS TO MATCH ORIGINAL
- 4. REVISIONS TO MATCH ORIGINAL
- 5. REVISIONS TO MATCH ORIGINAL
- 6. REVISIONS TO MATCH ORIGINAL
- 7. REVISIONS TO MATCH ORIGINAL
- 8. REVISIONS TO MATCH ORIGINAL
- 9. REVISIONS TO MATCH ORIGINAL
- 10. REVISIONS TO MATCH ORIGINAL
- 11. REVISIONS TO MATCH ORIGINAL
- 12. REVISIONS TO MATCH ORIGINAL



1 SOUTH ELEVATION
SCALE: 1:100

Project No. 2406

Drawing Title
NORTH
ELEVATION

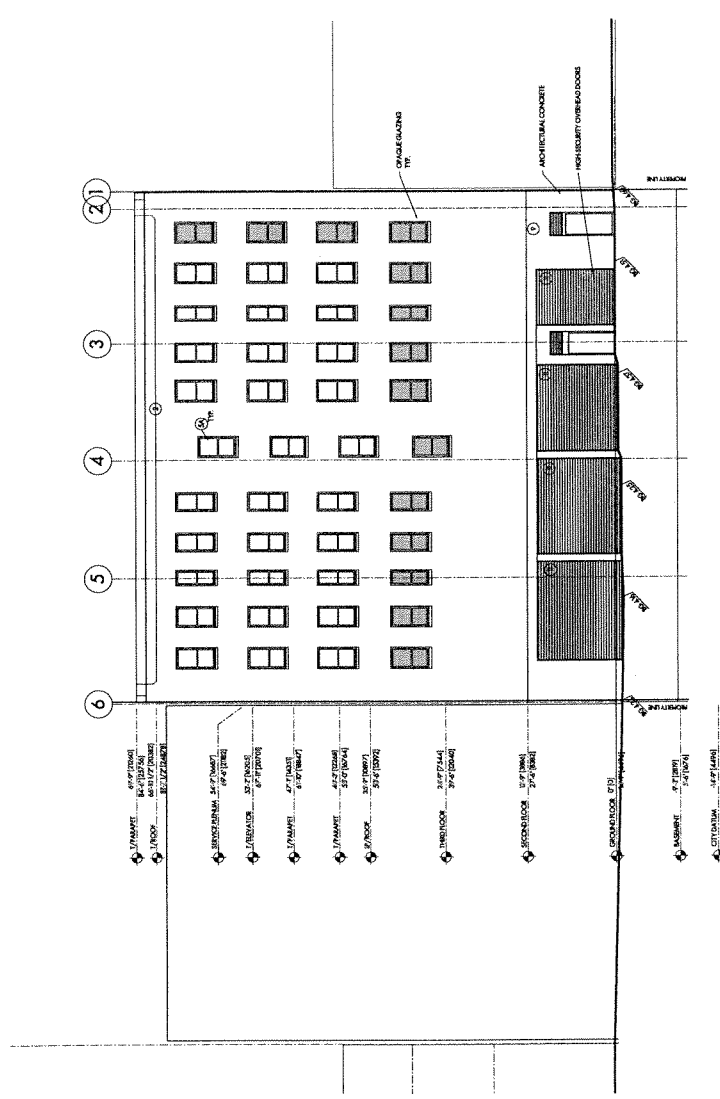
Project
51 East Pender Street

Issued For:
AUG 8, 2005
DP
AUG 29, 2005
REV. 17, 2004
NOV. 19, 2004
REVIEW
JAN. 14, 2005
COSTING
FEB. 23, 2005
COSTING

1684 West 2nd Ave., Vancouver, B.C., V6J 1H4
Tel: 604.688.2522 Fax: 604.688.5995
Walter Franci Architect Inc.
Date: JUL 21, 2005
Drawing No.: 2406
Sheet: 1100
Checked: WF

This drawing is the property of Walter Franci Architect Inc. and may not be reproduced without the firm's permission. All information shown on this drawing is for the use in this specific project only and may not be used elsewhere without written permission from this office.

- USING:
1. EXISTING INTERIOR FINISHES
 2. EXISTING INTERIOR WALLS
 3. EXISTING INTERIOR CEILING
 4. EXISTING INTERIOR FLOORING
 5. EXISTING INTERIOR PARTITION WALLS
 6. EXISTING INTERIOR DOORS
 7. EXISTING INTERIOR WINDOWS
 8. EXISTING INTERIOR STAIRS
 9. EXISTING INTERIOR ELEVATORS
 10. EXISTING INTERIOR CORE
 11. EXISTING INTERIOR CORE WALLS
 12. EXISTING INTERIOR CORE FLOORING
 13. EXISTING INTERIOR CORE CEILING
 14. EXISTING INTERIOR CORE PARTITION WALLS
 15. EXISTING INTERIOR CORE DOORS
 16. EXISTING INTERIOR CORE WINDOWS
 17. EXISTING INTERIOR CORE STAIRS
 18. EXISTING INTERIOR CORE ELEVATORS
 19. EXISTING INTERIOR CORE CORE
 20. EXISTING INTERIOR CORE CORE WALLS
 21. EXISTING INTERIOR CORE CORE FLOORING
 22. EXISTING INTERIOR CORE CORE CEILING
 23. EXISTING INTERIOR CORE CORE PARTITION WALLS
 24. EXISTING INTERIOR CORE CORE DOORS
 25. EXISTING INTERIOR CORE CORE WINDOWS
 26. EXISTING INTERIOR CORE CORE STAIRS
 27. EXISTING INTERIOR CORE CORE ELEVATORS
 28. EXISTING INTERIOR CORE CORE CORE
 29. EXISTING INTERIOR CORE CORE CORE WALLS
 30. EXISTING INTERIOR CORE CORE CORE FLOORING
 31. EXISTING INTERIOR CORE CORE CORE CEILING
 32. EXISTING INTERIOR CORE CORE CORE PARTITION WALLS
 33. EXISTING INTERIOR CORE CORE CORE DOORS
 34. EXISTING INTERIOR CORE CORE CORE WINDOWS
 35. EXISTING INTERIOR CORE CORE CORE STAIRS
 36. EXISTING INTERIOR CORE CORE CORE ELEVATORS
 37. EXISTING INTERIOR CORE CORE CORE CORE
 38. EXISTING INTERIOR CORE CORE CORE CORE WALLS
 39. EXISTING INTERIOR CORE CORE CORE CORE FLOORING
 40. EXISTING INTERIOR CORE CORE CORE CORE CEILING
 41. EXISTING INTERIOR CORE CORE CORE CORE PARTITION WALLS
 42. EXISTING INTERIOR CORE CORE CORE CORE DOORS
 43. EXISTING INTERIOR CORE CORE CORE CORE WINDOWS
 44. EXISTING INTERIOR CORE CORE CORE CORE STAIRS
 45. EXISTING INTERIOR CORE CORE CORE CORE ELEVATORS
 46. EXISTING INTERIOR CORE CORE CORE CORE CORE
 47. EXISTING INTERIOR CORE CORE CORE CORE CORE WALLS
 48. EXISTING INTERIOR CORE CORE CORE CORE CORE FLOORING
 49. EXISTING INTERIOR CORE CORE CORE CORE CORE CEILING
 50. EXISTING INTERIOR CORE CORE CORE CORE CORE PARTITION WALLS
 51. EXISTING INTERIOR CORE CORE CORE CORE CORE DOORS
 52. EXISTING INTERIOR CORE CORE CORE CORE CORE WINDOWS
 53. EXISTING INTERIOR CORE CORE CORE CORE CORE STAIRS
 54. EXISTING INTERIOR CORE CORE CORE CORE CORE ELEVATORS
 55. EXISTING INTERIOR CORE CORE CORE CORE CORE CORE
 56. EXISTING INTERIOR CORE CORE CORE CORE CORE CORE WALLS
 57. EXISTING INTERIOR CORE CORE CORE CORE CORE CORE FLOORING
 58. EXISTING INTERIOR CORE CORE CORE CORE CORE CORE CEILING
 59. EXISTING INTERIOR CORE CORE CORE CORE CORE CORE PARTITION WALLS
 60. EXISTING INTERIOR CORE CORE CORE CORE CORE CORE DOORS
 61. EXISTING INTERIOR CORE CORE CORE CORE CORE CORE WINDOWS
 62. EXISTING INTERIOR CORE CORE CORE CORE CORE CORE STAIRS
 63. EXISTING INTERIOR CORE CORE CORE CORE CORE CORE ELEVATORS
 64. EXISTING INTERIOR CORE CORE CORE CORE CORE CORE CORE
 65. EXISTING INTERIOR CORE CORE CORE CORE CORE CORE CORE WALLS
 66. EXISTING INTERIOR CORE CORE CORE CORE CORE CORE CORE FLOORING
 67. EXISTING INTERIOR CORE CORE CORE CORE CORE CORE CORE CEILING
 68. EXISTING INTERIOR CORE CORE CORE CORE CORE CORE CORE PARTITION WALLS
 69. EXISTING INTERIOR CORE CORE CORE CORE CORE CORE CORE DOORS
 70. EXISTING INTERIOR CORE CORE CORE CORE CORE CORE CORE WINDOWS
 71. EXISTING INTERIOR CORE CORE CORE CORE CORE CORE CORE STAIRS
 72. EXISTING INTERIOR CORE CORE CORE CORE CORE CORE CORE ELEVATORS
 73. EXISTING INTERIOR CORE CORE CORE CORE CORE CORE CORE CORE
 74. EXISTING INTERIOR CORE CORE CORE CORE CORE CORE CORE CORE WALLS
 75. EXISTING INTERIOR CORE CORE CORE CORE CORE CORE CORE CORE FLOORING
 76. EXISTING INTERIOR CORE CORE CORE CORE CORE CORE CORE CORE CEILING
 77. EXISTING INTERIOR CORE CORE CORE CORE CORE CORE CORE CORE PARTITION WALLS
 78. EXISTING INTERIOR CORE CORE CORE CORE CORE CORE CORE CORE DOORS
 79. EXISTING INTERIOR CORE CORE CORE CORE CORE CORE CORE CORE WINDOWS
 80. EXISTING INTERIOR CORE CORE CORE CORE CORE CORE CORE CORE STAIRS
 81. EXISTING INTERIOR CORE CORE CORE CORE CORE CORE CORE CORE ELEVATORS
 82. EXISTING INTERIOR CORE CORE CORE CORE CORE CORE CORE CORE CORE
 83. EXISTING INTERIOR CORE CORE CORE CORE CORE CORE CORE CORE CORE WALLS
 84. EXISTING INTERIOR CORE CORE CORE CORE CORE CORE CORE CORE CORE FLOORING
 85. EXISTING INTERIOR CORE CORE CORE CORE CORE CORE CORE CORE CORE CEILING
 86. EXISTING INTERIOR CORE CORE CORE CORE CORE CORE CORE CORE CORE PARTITION WALLS
 87. EXISTING INTERIOR CORE CORE CORE CORE CORE CORE CORE CORE CORE DOORS
 88. EXISTING INTERIOR CORE CORE CORE CORE CORE CORE CORE CORE CORE WINDOWS
 89. EXISTING INTERIOR CORE CORE CORE CORE CORE CORE CORE CORE CORE STAIRS
 90. EXISTING INTERIOR CORE CORE CORE CORE CORE CORE CORE CORE CORE ELEVATORS
 91. EXISTING INTERIOR CORE CORE CORE CORE CORE CORE CORE CORE CORE CORE
 92. EXISTING INTERIOR CORE CORE CORE CORE CORE CORE CORE CORE CORE CORE WALLS
 93. EXISTING INTERIOR CORE CORE CORE CORE CORE CORE CORE CORE CORE CORE FLOORING
 94. EXISTING INTERIOR CORE CORE CORE CORE CORE CORE CORE CORE CORE CORE CEILING
 95. EXISTING INTERIOR CORE CORE CORE CORE CORE CORE CORE CORE CORE CORE PARTITION WALLS
 96. EXISTING INTERIOR CORE CORE CORE CORE CORE CORE CORE CORE CORE CORE DOORS
 97. EXISTING INTERIOR CORE CORE CORE CORE CORE CORE CORE CORE CORE CORE WINDOWS
 98. EXISTING INTERIOR CORE CORE CORE CORE CORE CORE CORE CORE CORE CORE STAIRS
 99. EXISTING INTERIOR CORE CORE CORE CORE CORE CORE CORE CORE CORE CORE ELEVATORS
 100. EXISTING INTERIOR CORE CORE CORE CORE CORE CORE CORE CORE CORE CORE CORE



1 NORTH ELEVATION
A-302 SCALE: 1:100

Walter Francl Architect Inc.

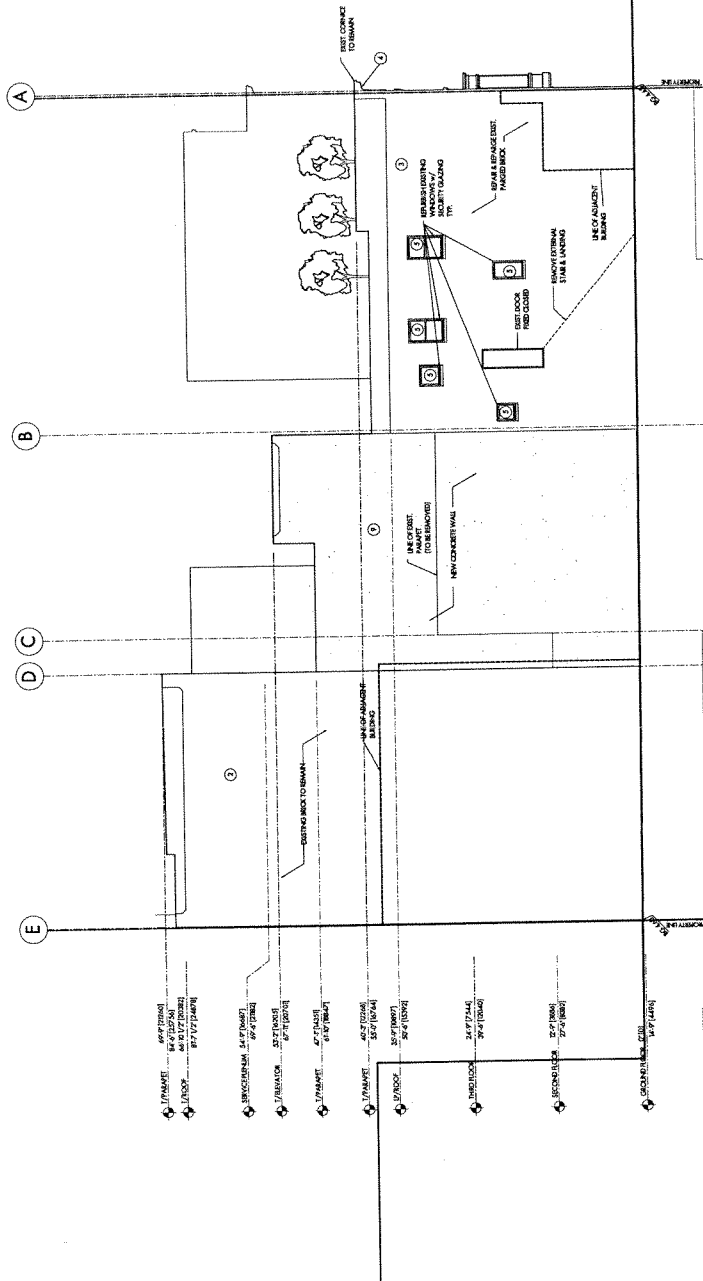
1884 West 2nd Ave, Vancouver, B.C. V6J 1H4
Tel: 604.688.3252 Fax: 604.688.5995

Issued For:
AUG 5, 2005
AUG 29, 2005
NOV 17, 2004
NOV 30, 2004
JAN 14, 2005
FEB 22, 2005
COSTING
DR
REVIEW
COSTING
COSTING

Project
51 East Pender Street

Drawing Title
WEST
ELEVATION

Project No.
2406
Drawing No.
A-303



- REVISIONS
- 1. NEW CONCRETE WINDOW SILL
 - 2. NEW CONCRETE WINDOW HEAD
 - 3. NEW CONCRETE WINDOW SILL
 - 4. NEW CONCRETE WINDOW HEAD
 - 5. NEW CONCRETE WINDOW SILL
 - 6. NEW CONCRETE WINDOW HEAD
 - 7. NEW CONCRETE WINDOW SILL
 - 8. NEW CONCRETE WINDOW HEAD
 - 9. NEW CONCRETE WINDOW SILL
 - 10. NEW CONCRETE WINDOW HEAD
 - 11. NEW CONCRETE WINDOW SILL
 - 12. NEW CONCRETE WINDOW HEAD

1 WEST ELEVATION
SCALE: 1:100

This drawing is an instrument of service in the property of Walter Francl Architect Inc. It is to be used only for the project and site for which it was prepared. It is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written consent of Walter Francl Architect Inc.

Project No.
2406

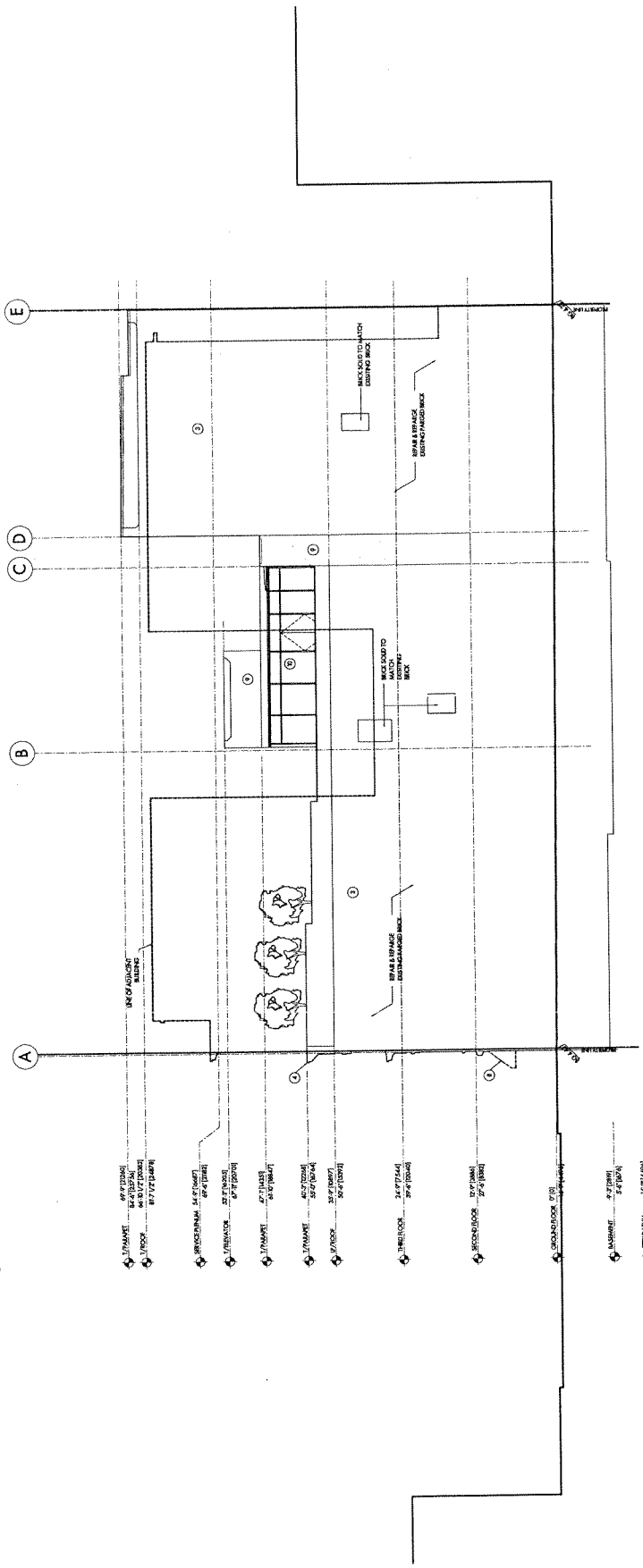
Drawing Title
EAST
ELEVATION

Project
51 East Pender Street

Issued For:
DP
AUG 9, 2005
AUG 29, 2005
NOV 17, 2004
NOV 30, 2004
JAN 14, 2005
COSTING
FEB 23, 2005

1664 West 2nd Ave, Vancouver, B.C. V6J 1H4
Tel: 604.688.3252 Fax: 604.688.5995
Date: JUL 21, 2005
Drawn: MM, AM
Scale: 1:100
Checked: WF
Walter Franci Architect Inc.

1. DATE PLOTTED: 2005/07/21 10:58:00
2. PLOTTER: HP DesignJet 500
3. PLOT SCALE: 1:100
4. PLOT SHEET: 13 OF 16
5. PLOT AREA: 11.00 X 17.00
6. PLOT ORIENTATION: LANDSCAPE
7. PLOT DEVICE: HP DesignJet 500
8. PLOT DEVICE MODEL: HP DesignJet 500
9. PLOT DEVICE SERIAL: 1234567890
10. PLOT DEVICE FIRMWARE: 1.00
11. PLOT DEVICE DRIVER: HP DesignJet 500
12. PLOT DEVICE LANGUAGE: English
13. PLOT DEVICE MODE: Normal
14. PLOT DEVICE MODELS: HP DesignJet 500
15. PLOT DEVICE MODELS: HP DesignJet 500
16. PLOT DEVICE MODELS: HP DesignJet 500
17. PLOT DEVICE MODELS: HP DesignJet 500
18. PLOT DEVICE MODELS: HP DesignJet 500
19. PLOT DEVICE MODELS: HP DesignJet 500
20. PLOT DEVICE MODELS: HP DesignJet 500



1 WEST ELEVATION
A-304 SCALE: 1:100

Walter Francl Architect Inc.

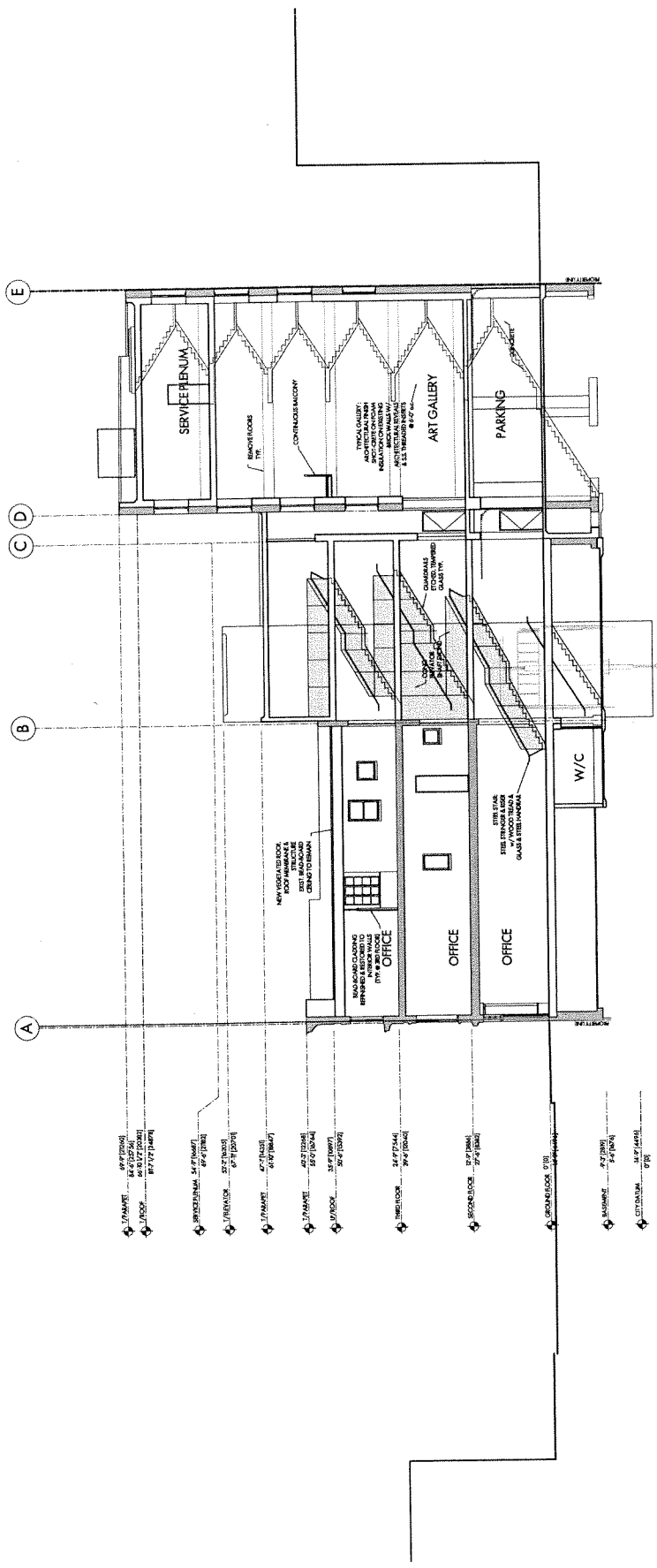
1694 West 2nd Ave., Vancouver, B.C. V6J 1H4
Tel: 604.688.3252 Fax: 604.688.5955
Drawn: J.U. Date: _____

Issued For: _____
DP: _____
REVISED: _____
NOV. 17, 2004
AUG. 29, 2005
AUG. 8, 2005
COSTING: _____
JAN. 14, 2005
FEB. 23, 2005

Project: 51 East Pender Street

Drawing Title: SECTION LONGITUDINAL A-A

Project No.: 2406
Drawing No.: A-401



1 SECTION A-A
SCALE: 1:100

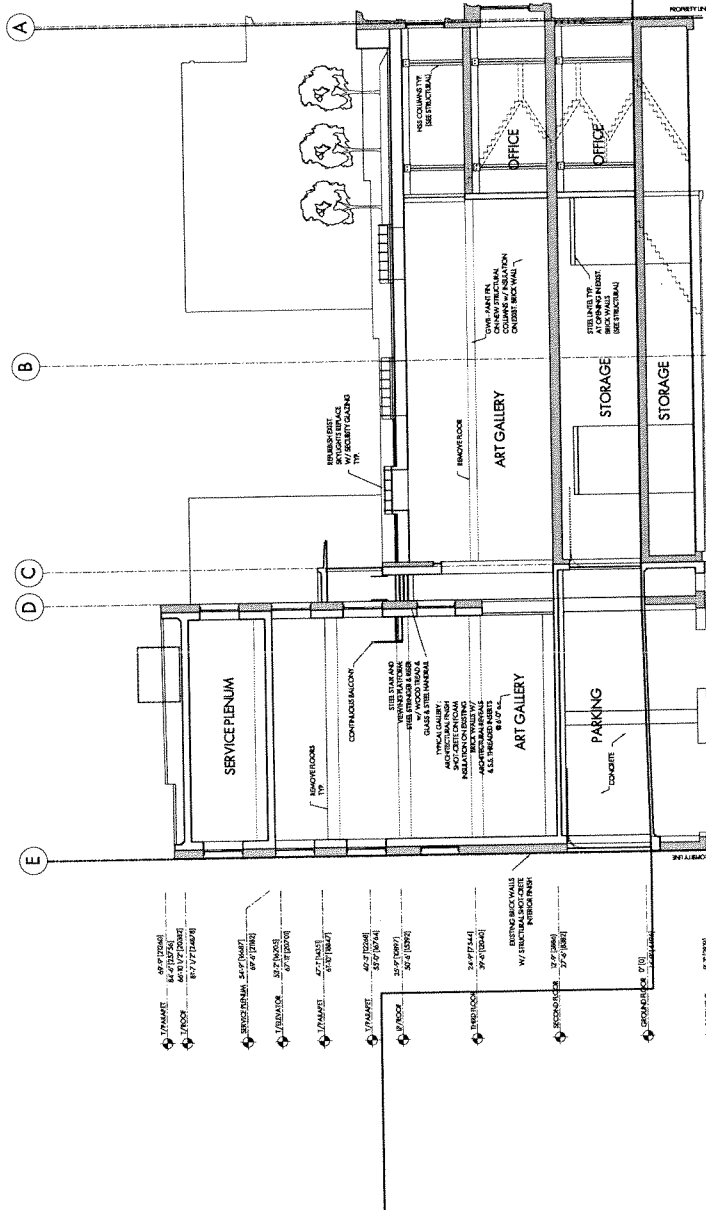
This drawing is the property of Walter Francl Architect Inc. and shall not be reproduced without the firm's permission. All information shown on this drawing is for the use in the quality project only and shall not be used otherwise.

Project No. 2406
Drawing Title SECTION LONGITUDINAL

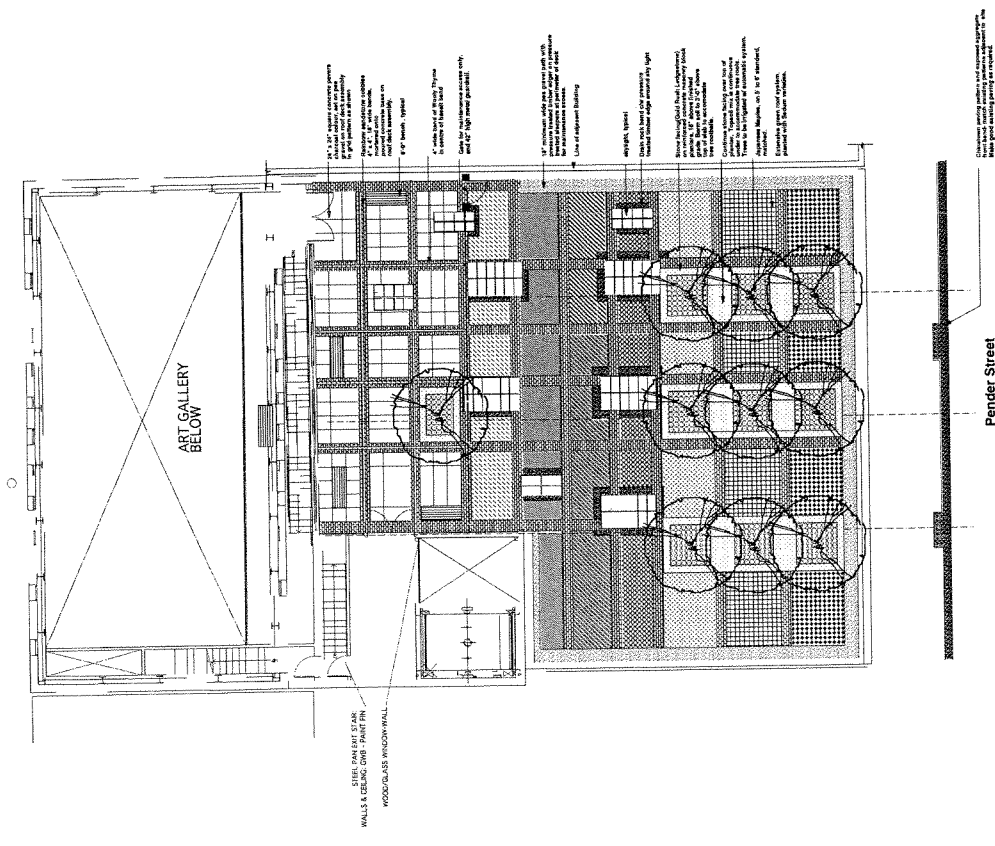
Project 51 East Pender Street
Issued For:

DP AUG 8, 2005
REVISE NOV 17, 2004
REVIEW NOV 30, 2004
COSTING JAN 14, 2005
COSTING FEB 23, 2005

Walter Franci Architect Inc.
1664 West 2nd Ave, Vancouver, B.C. V6J 1H4
Tel: 604.688.3252 Fax: 604.688.5955
Date: JUL 21, 2005
Drawn: M.A.M.
Scale: 1:100
Checked: W.F.



1 SECTION B-B
SCALE: 1:100
A-402



QUANTITY	CODE	BOTANICAL NAME	COMMON NAME	SIZE/CAL	ROOT
10	AP	Acer palmatum	Green Japanese Maple	3.0 m H x 5.0 m Spread	3/8" Root
GROUND COVERS & VINES					
231	7	Delonix regia	Yellow Hardy Ice Plant	1" pot	Cont.
537	7	Solanum elaeagnifolium	Old Man's Beard	4" pot	Cont.
37	7	Solanum elaeagnifolium	Golden Solanum	4" pot	Cont.
531	7	Solanum elaeagnifolium	Golden Solanum	4" pot	Cont.
532	7	Solanum elaeagnifolium	Golden Solanum	4" pot	Cont.
533	7	Solanum elaeagnifolium	Golden Solanum	4" pot	Cont.
534	7	Solanum elaeagnifolium	Golden Solanum	4" pot	Cont.
535	7	Solanum elaeagnifolium	Golden Solanum	4" pot	Cont.
536	7	Solanum elaeagnifolium	Golden Solanum	4" pot	Cont.
537	7	Solanum elaeagnifolium	Golden Solanum	4" pot	Cont.
538	7	Solanum elaeagnifolium	Golden Solanum	4" pot	Cont.
539	7	Solanum elaeagnifolium	Golden Solanum	4" pot	Cont.
540	7	Solanum elaeagnifolium	Golden Solanum	4" pot	Cont.
541	7	Solanum elaeagnifolium	Golden Solanum	4" pot	Cont.
542	7	Solanum elaeagnifolium	Golden Solanum	4" pot	Cont.
543	7	Solanum elaeagnifolium	Golden Solanum	4" pot	Cont.
544	7	Solanum elaeagnifolium	Golden Solanum	4" pot	Cont.
545	7	Solanum elaeagnifolium	Golden Solanum	4" pot	Cont.
546	7	Solanum elaeagnifolium	Golden Solanum	4" pot	Cont.
547	7	Solanum elaeagnifolium	Golden Solanum	4" pot	Cont.
548	7	Solanum elaeagnifolium	Golden Solanum	4" pot	Cont.
549	7	Solanum elaeagnifolium	Golden Solanum	4" pot	Cont.
550	7	Solanum elaeagnifolium	Golden Solanum	4" pot	Cont.

NOTES:
1. All material is to be inspected and approved at the nursery by the Landscape Architect prior to shipping.
2. All Plant Material is to meet specifications on plant list and contract documents, and is to meet BC Landscape Standards.
3. All plants are to be supplied in containers.
4. All plants are to be supplied with a minimum of 10% soil.
5. All plants are to be supplied with a minimum of 10% soil.
6. All plants are to be supplied with a minimum of 10% soil.
7. All plants are to be supplied with a minimum of 10% soil.
8. All plants are to be supplied with a minimum of 10% soil.
9. All plants are to be supplied with a minimum of 10% soil.
10. All plants are to be supplied with a minimum of 10% soil.

LANDSCAPE NOTES

1. Sites on the planting plan shall be considered minimum sizes.
2. All plants are to be supplied in containers.
3. All plants are to be supplied with a minimum of 10% soil.
4. All plants are to be supplied with a minimum of 10% soil.
5. All plants are to be supplied with a minimum of 10% soil.
6. All plants are to be supplied with a minimum of 10% soil.
7. All plants are to be supplied with a minimum of 10% soil.
8. All plants are to be supplied with a minimum of 10% soil.
9. All plants are to be supplied with a minimum of 10% soil.
10. All plants are to be supplied with a minimum of 10% soil.



000000	Issue for DT
000001	Issue for review
000002	Issue for review

Revisions
Jonathan Loose Ltd.
 Landscape Architect
 100-1100 10th Avenue
 Vancouver, BC V6A 4K5
 Tel: (604) 681-1100
 Fax: (604) 681-1101
 Email: info@jonathanloose.com

Project
51 East Pender
 Vancouver, BC

Sheet Title
Roof Landscape Plan

Scale
 1" = 1'-0"
 Date
 July 2015
 Project No.
L-1