

City of Vancouver Land Use and Development Policies and
Guidelines

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DRAFT
GASTOWN HA-2 DESIGN GUIDELINES

Adopted by City Council (DATE)

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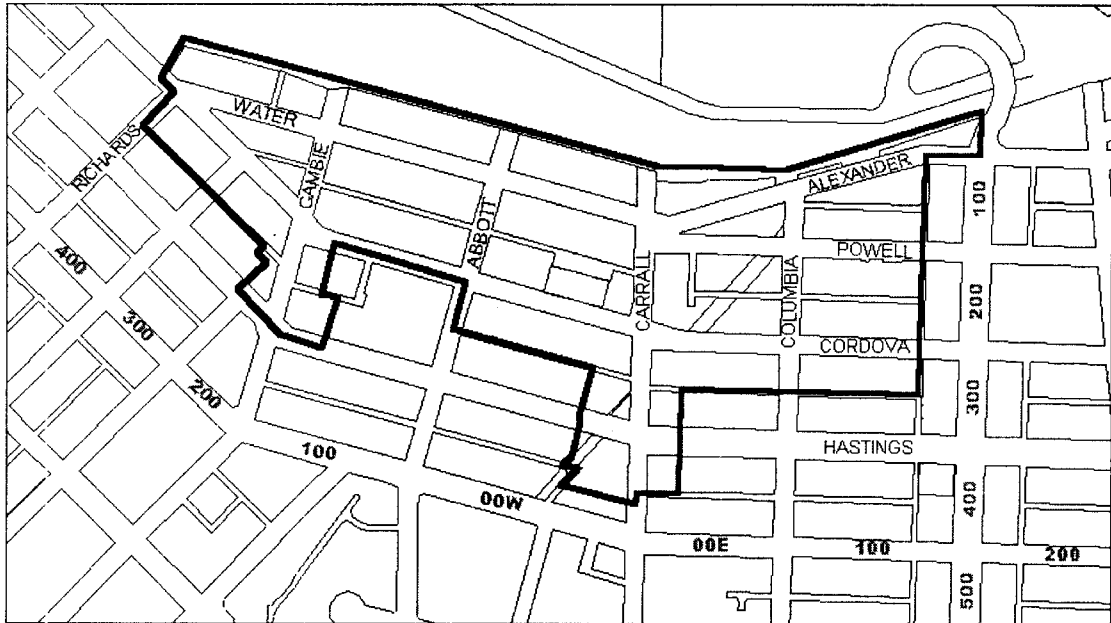
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NOTE: The guidelines in this report are organized under standardized headings. As a consequence, there are gaps in the numbering sequence where no guidelines apply.

Application and Intent

These guidelines are to be used in conjunction with the HA-2 District Schedule of the Zoning and Development By-law. Most of the properties in the HA-2 area (see Figure 1) have been designated as protected heritage sites. Many of the buildings on protected sites are also listed on the Vancouver Heritage Register. These will be required to be retained. The design guidelines should be consulted in seeking approval for both modifications to existing buildings and development proposals for new buildings. As well as assisting applicants, the guidelines will be used by City staff and the Gastown Historic Area Planning Committee (GHAPC) in the evaluation of development applications. These guidelines do not apply to outright uses that do not require alteration to the exterior of buildings.

Figure 1. Map of Gastown



The intent of the design guidelines is to conserve the authentic heritage character and fabric of Gastown and to ensure that new development is supportive of and harmonious with the area's heritage character. Consequently, specific guidelines are included for the rehabilitation of heritage buildings and for the contextual design of new structures. Applicants are encouraged to retain professional design advice for all development initiatives.

The guidelines which pertain to regulations and architectural components are organized to discuss the objective of the guideline, followed by criteria which apply to either Heritage Buildings or to New Buildings. Heritage buildings are those listed on the Vancouver Heritage Register (VHR) and the criteria apply equally to all buildings regardless of their A, B or C evaluation. For those buildings not listed on the VHR, these guidelines can be used to assist with the upgrading of buildings, some of which may have some heritage value or have hidden heritage features.

The Design Guidelines for Gastown should be read in conjunction with the relevant sections of the Conservation Standards and Rehabilitation Guidelines adopted for use in HA-2.

1.1 General Heritage Considerations

The objective that underlies this document is that appropriate design guidelines will encourage the conservation of the authentic heritage character and fabric of Gastown, and will also ensure that new development is compatible with and will contribute to that character.

Heritage buildings and street elements define the contextual character of Gastown. It is therefore desirable that historic architectural features be retained or restored and that any changes bring heritage buildings closer to their original exterior appearance. In some instances, it may be possible to replicate lost features, particularly where there is archival evidence. Attention is focussed on the appropriate care and conservation of original cornices, windows, building materials, entries and shopfronts by referencing the Conservation Standards and Rehabilitation Guidelines adopted for Gastown.

New buildings should not be designed in a pseudo-historic style, replicate existing buildings, or buildings that once existed, as this erodes the value of authentic heritage buildings. Rather, a new architectural vocabulary is encouraged that complements the heritage character of original Gastown buildings. This can be done by respecting and interpreting patterns of massing, height, fenestration, facade proportions and organization, materials and colour in the prevailing character of significant buildings in the area. Non-architectural elements such as signs, awnings, canopies and sidewalk displays can further enhance the character and interest of the area.

Of particular importance is the conservation principle which addresses how to achieve a balance between the compatibility of new work and its distinguishability from authentic heritage fabric. Understanding this balance can lead to sympathetic and creative design solutions which strengthen and enrich the heritage character of the area.

1.2 Heritage Value Assessment and Determining the Level of Intervention

Good conservation practice begins with thorough research into the history of the building. This applies to all listed Heritage buildings, but can also be of value to non-listed buildings (research may unearth valuable historic information or photos of an altered building's previous condition). Some building materials may be required to be removed as part of research.

Based on the historic research, a Heritage Value Assessment can be prepared. This is a statement of the architectural, cultural and contextual qualities that give the resource merit, and includes a list of character-defining elements and description of why they are important.

The extent of conservation work on heritage buildings is known as Levels of Intervention (see Conservation Standards and Rehabilitation Guidelines). These range from a thoroughly researched and detailed restoration of a building's appearance to an earlier or its original appearance, to a complete renovation using modern materials, which may not retain much heritage fabric. The most common conservation activity is rehabilitation, or the updating of a building to a usable state through repair or alteration, yet retaining those features that have heritage significance. If a building is being rehabilitated and continuing its current or historic use, that is a continued-use rehabilitation (such as updating an existing hotel which remains in hotel use); if the use is changing as part of the upgrading, then that is an adaptive-use rehabilitation (such as updating an existing warehouse to residential use).

Within the scope of an overall rehabilitation, there may be a range of levels of intervention, e.g., certain parts of the building may be restored (e.g., the cornice), conserved (e.g., brick masonry), replaced (e.g., storefront), or replicated (e.g., window sash).

For new buildings, the context for site and building should be assessed and a statement of architectural character intent completed which clearly describes the fit of the building in the heritage area.

2 General Design Considerations

2.1/2.2 Neighbourhood and Streetscape Character

Gastown is the birthplace of Vancouver and contains the largest collection of buildings from the turn of the 20th century in the city. The existing built form of Gastown is a reflection of its historic development, both in its urban form and streetscape. The area contains a notable collection of buildings which vary in width and height, from one to thirteen storeys, with most in the two to four storey range. This variation in height presents a characteristic "sawtooth" appearance to the block profile (see Figures 2a and 2b). Some buildings are low and narrow,

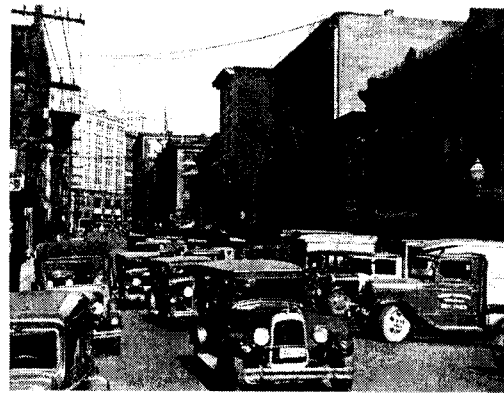
others high and wide, almost always with a projecting cornice at the roofline. This is a legacy of the needs and aspirations of the original owners, whose buildings reflect the time when they were erected. The characteristic “sawtooth” profile is an important consideration in Gastown, as its retention is fundamental to the conservation of the area’s built form.

Buildings are clad in brick or stone masonry and vary in architectural character in response to their location within Gastown. Large floor plate warehouse buildings were located along Water Street, while narrower, more elaborate buildings were located along Cordova Street that was, at the turn of the 20th Century, Vancouver’s main commercial street.

Figure 2a. Cordova Street early 1900s



Figure 2b. Water Street early 1900s

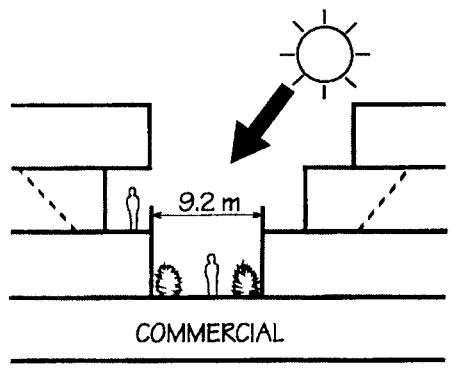


2.6 Light and Ventilation

Sufficient daylight access should be provided to all new residential units. The following criteria will be considered. Figure 3 illustrates how the criteria can be achieved in a development with a courtyard.

- (a) Living rooms should not face into courtyards that are less than 9.2 m. Small courtyards are encouraged to have terraced walls to increase access of daylight.
- (b) In double-fronting units (i.e., street/courtyard or lane/courtyard, a minimum clear courtyard dimension of 6.0 m and a courtyard height/width ratio of 1.5 to 1.0 may be acceptable provided no secondary living spaces (bedrooms, dining rooms and dens) face onto the courtyard. Secondary living spaces may face the courtyard on the highest floor only;
- (c) Secondary living spaces may face into the courtyard on lower floors provided that the minimum courtyard width is 9.2 m;
- (d) Courtyard width will be measured to any obstruction including exterior corridors;
- (e) Courtyard configuration and building massing should maximize sun access to courtyard level including terracing of upper levels on the south side of courtyards;
- (f) Where courtyards or light wells exist in adjacent developments, new developments are encouraged to link open space with adjacent courtyards or light wells yet maintain privacy and security;
- (g) Where new development abuts or is adjacent to existing development with windows on the sidewalls, adequate light and ventilation should be maintained; and
- (h) Mechanical ventilation of commercial space should be exhausted at a location having the least impact on residential livability. This should ideally be at the roof, especially for restaurant kitchen exhaust.

Figure 3. Terraced massing on south side improves light penetration into courtyards and units



2.8 Noise

Commercial activities such as parking and loading, exhaust fans, and entertainment uses, can create noise which disturbs residents. Buildings with dwelling uses should meet acoustic standards. Some of the methods which can be considered are:

- (a) orienting bedrooms away from noise sources;
- (b) providing mechanical ventilation (to allow choice of keeping windows closed);
- (c) using sound-deadening construction materials and techniques; and
- (d) noise generated by the development itself, such as parking and loading activities, exhaust fans, and entertainment uses, should be mitigated by location and design.

2.9 Privacy

Residential privacy in relation to other units, pedestrians, and adjacent development is an important aspect of project livability and neighbourliness.

- (a) Unit orientation, window placement and screening should be used to enhance privacy;
- (b) Balconies and decks, which do not front onto the street, should be oriented, screened or landscaped to reduce direct overlook of adjacent residential uses or other units in the project; and
- (c) In developments with courtyards, stacked units are encouraged to reduce privacy conflicts due to access corridors.

2.10 Safety and Security

Safety and security are key components of livability. New development, both residential and commercial, should provide a secure environment through attention to principles of Crime Prevention Through Environmental Design (CPTED).

- (a) Separate lobbies and circulation (including elevators) should be provided for retail, office and residential uses. Lobbies should be visible from the street;
- (b) The design of parking facilities should provide for personal safety and security. Underground residential parking, including pedestrian access routes from parking into the building, should be secure and separate from commercial parking;
- (c) Buildings should maximize opportunities for surveillance of sidewalks, entries, circulation routes, semi-private areas, children's play areas and parking entrances. Blind corners and deeply recessed entries should be avoided. Visibility into stairwells and halls is desirable. Laundry facilities, amenity rooms, and storage rooms should be grouped together and visible for surveillance;
- (d) Residential lighting should ensure good visibility of access routes and landscaped areas without excessive lighting levels, glare or overspill to neighbours; and
- (e) Access routes from building to residential garbage should be separate and secure from commercial garbage.

2.11.2 Vehicular Access

Lane Access

An active pedestrian environment with a strong sense of street enclosure is encouraged. It is important that vehicular and service functions remain on the lane, so as not to conflict with pedestrian activity.

- (a) Vehicular access to underground parking, loading, and service areas should be provided from the lane; and
- (b) Negative impacts of vehicular entrance parking ramps and service areas should be minimized through proper treatment such as enclosure, screening, quality finishes, sensitive lighting and landscaping.

3 Uses (Reserved)

4 Guidelines Pertaining to the Regulations of the Zoning and Development By-law

4.1 Height

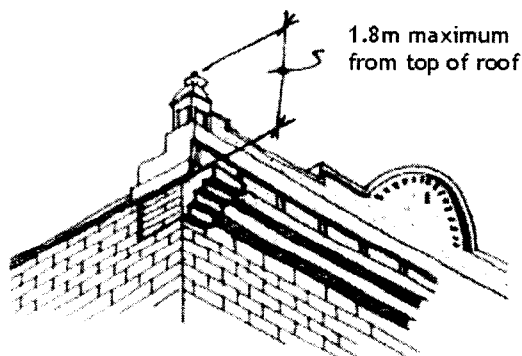
4.1.1 Objective

The objective is to reinforce the original scale of Gastown and the character defining sawtooth profile. The height of heritage buildings ranges from 1 to 13 storeys. While most are in the 3 to 4 storey range (typically about 12.2 m in height), within one block there are buildings of varying heights which creates the characteristic sawtooth building profile. Heritage buildings typically have a high ground floor ceiling height.

4.1.2 Criteria for Heritage Buildings

The permitted height for a heritage building is its existing height. A parapet, with or without a cornice, to a maximum of 1.8 m in addition to the maximum height is not included in the calculation of building height in order to encourage the retention and replacement of cornices and parapets (see Figure 4).

Figure 4. Parapet and cornice height



There is potential for conditional approval by the Director of Planning or DP Board for rooftop additions to heritage buildings to provide access to rooftop open space and provide additional floor area provided that architectural, conservation, contextual and urban design considerations have been satisfied.

These considerations include:

- (a) the massing and design of the addition should be compatible with and distinguishable from the heritage building;
- (b) the structural requirements of the addition do not involve the removal of significant historic fabric, especially on facades facing streets;
- (c) the addition will not block significant public views or overshadow public open space; and
- (d) an addition shall be set back from the street facade(s).

In addition, when heritage incentives are provided to facilitate the rehabilitation of a heritage building, a maximum one-storey addition will be considered provided:

- (a) the height of the additional storey does not exceed 3.66 m in height and meets requirements of Section 5.1;
- (b) total building height does not exceed 22.9 m; and
- (c) the addition is set back from the principal street facade so that it is not visible from the opposite side of the street; for corner sites, the addition should also be set back on the flanking street. The set back will vary depending on the height of the buildings and width of the street.

Figure 5a. Setback for additions

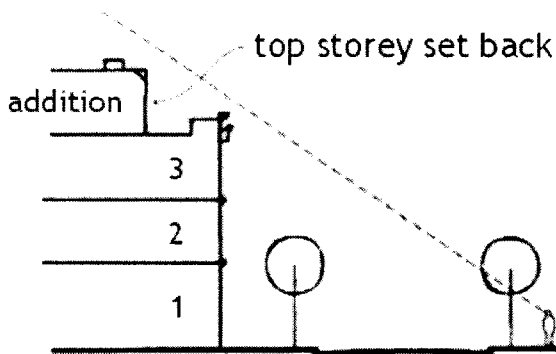


Figure 5b. Addition setback from principal facade



4.1.3

Criteria for New Buildings

The maximum height for new buildings is established by the HA-2 District Schedule. A parapet on the principal facade, with or without a cornice to a maximum height of 1.8 m above the maximum building height, is not included in the calculation of building height. This is to encourage the inclusion of strong building cornices and parapets on new buildings.

There is potential for a conditional increase in the maximum permitted building height, provided that specific criteria regarding context and urban design are met as noted in the HA-2 District Schedule.

4.2 Yards and Setbacks

4.2.1 Objective

The objective is to respect the characteristic building massing and siting of the heritage buildings in Gastown, which were typically built out to the front, side (and often) rear property lines. Older residential or hotel buildings typically had partial sideyard lightwells on one or both sides of the building. Encroachments onto City streets, in the form of bay windows, cornices, basement areaways and fire escapes were not uncommon.

4.2.2 Criteria for Heritage Buildings

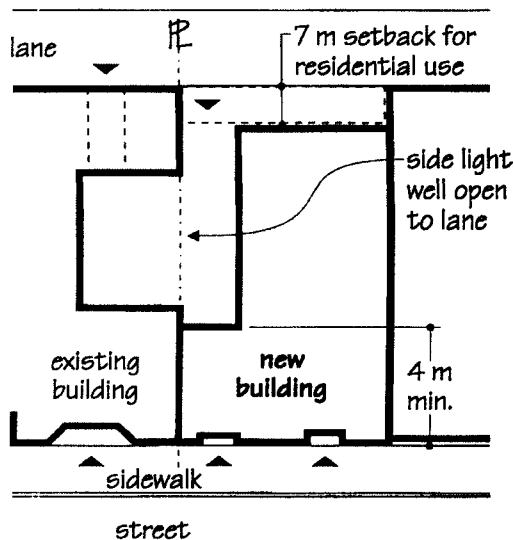
All heritage and existing buildings should retain their original relationships to the front and side property lines at all existing floors.

4.2.3 Criteria for New Buildings

All new buildings should be built to the front and side property lines of their sites for the full extent of their facades. Rear setbacks are not required, but may be permitted.

Permitted exceptions include where new residential buildings are required to provide air to a habitable room of a dwelling, the use of traditional side light wells at the mid-depth of the site and possibly open to the lane are encouraged, so that the building facade frontage fills the site width. This can be combined with a courtyard at grade accessed from the inside of the building or from the street through a passage or from the lane.

Figure 6. Lightwell setback diagram



Street level arcades parallel to the street are not supported since such design elements tend to interfere with the block massing and creates public safety and vandalism concerns.

4.3 Acoustics (Reserved)

4.4 Building Bay and Shopfront Width

4.4.1 Objective

The objective is to respect the typical streetscape rhythm comprised of many buildings in each block with one or more bay widths in each building.

The heritage buildings of Gastown are of various widths and do not necessarily correspond to building height; the same bay width can be found on both low and high buildings. The texture and visual interest evident within the local streetscape(s) which are typically comprised of buildings with pronounced bay divisions, should be reflected in the design of new buildings.

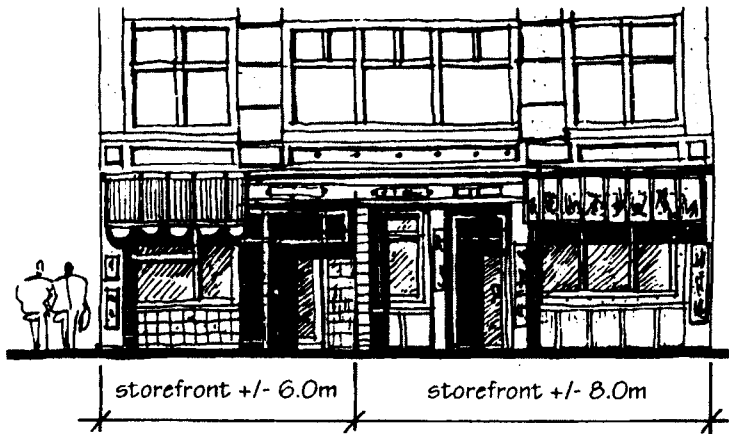
The buildings of Gastown, especially along Water Street, were originally warehouses having been adapted over time to retail functions. As such, creating new (or rehabilitating existing) shopfronts, where they are not part of the building's original design, presents different challenges with respect to design criteria.

4.4.2 Criteria for Heritage Buildings

The architectural elements of the original and/or early building facades such as columns, pilasters, entries and shopfronts, which serve to establish a pedestrian scale and rhythm, should be retained. These features add texture and visual interest.

Shopfront widths are historically in the 7 m range (see Figure 7). Consolidating two (or more) shopfronts into one is discouraged, since it reduces pedestrian interest. If such a consolidation is proposed, the retention of original historic building features should not be compromised, even if this means retaining a redundant entry configuration. Where a shopfront is to be created in a building where they did not originally exist, the shop front design and configuration should respect the existing bay width of the building.

Figure 7. Shopfront width



4.4.3 Criteria for New Buildings

The design of the facade of a new building should be divided into vertical units of width within the range typical of heritage buildings in Gastown. Shopfront width should not exceed 7.6 m.

New buildings in excess of 15.2 m in width should seek to establish a dominant rhythm through the use of vertical elements and a fenestration pattern which maintains the fine-grained texture of the historic streetscape.

Figure 8. Vertical elements in facade composition



4.5 Exterior Design

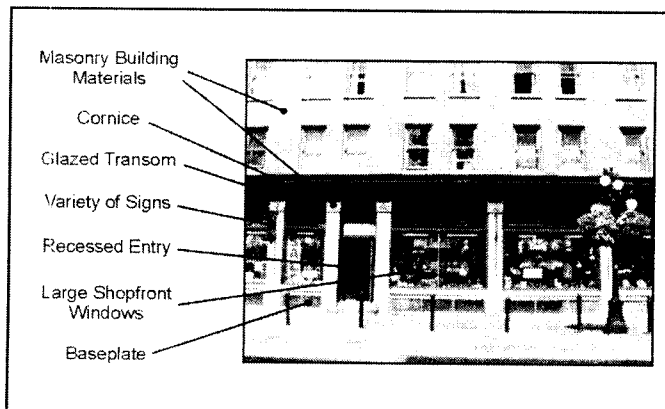
4.5.1 Lower Street Facade

4.5.1.1 Objective

The objective is to respect the scale, configuration and rhythm of the traditional components of the lower facade of Gastown buildings including ground floor height, bay width and access to upper floors.

The lower facade is that portion of the building made up of the ground floor level and is typically defined by a minor cornice, decorative band and often a signband. Shopfronts traditionally had high ceilings, were very transparent with large display windows with clear glazing, often with a large glazed transom, and recessed entryway, often embellished with decorative tiles, stone or terrazzo paving. The base plate was often of wood and sometimes decorated (see Figure 9).

Figure 9. Lower facade

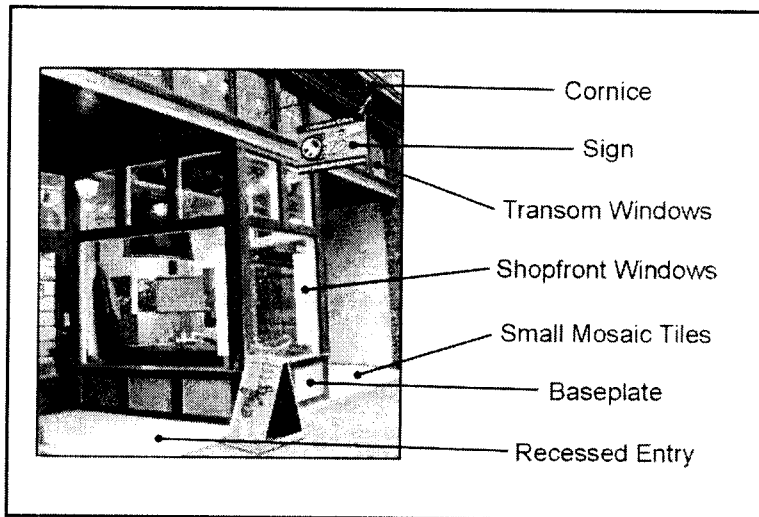


Street level access to the main floor should be provided. Split level entries from the sidewalk to cellar spaces are discouraged in new buildings. In particular lower level retail frontages in split level configurations have disadvantages with respect to retail visibility and security and tend to attract street debris.

Traditionally, street level entry doors for stairs to upper floors were incorporated into the facade in a separate vertical bay with details relating to the design of the shopfront entry(s) but in a less elaborate expression. Often the entry was recessed from the street sidewalk and the floor surface treated in a decorative fashion, similar to the shopfront.

The design of security grilles should not eliminate the visibility of the architectural elements behind them. As a guideline, security grilles should not obscure more than 20% of the area behind them, and be designed in character with the shopfront. Grilles should be disguised or hidden during normal business hours.

Figure 10. Features of rehabilitated shopfront



4.5.1.2 Criteria for Heritage Buildings

The shopfront configuration is a basic aspect of the pedestrian experience in Gastown, and provides the area's fine-grained retail interest. Existing shopfronts should be retained on heritage and existing buildings.

Historic photos and drawings should be used to support the restoration or replication of decorative elements of historic significance in the lower facade.

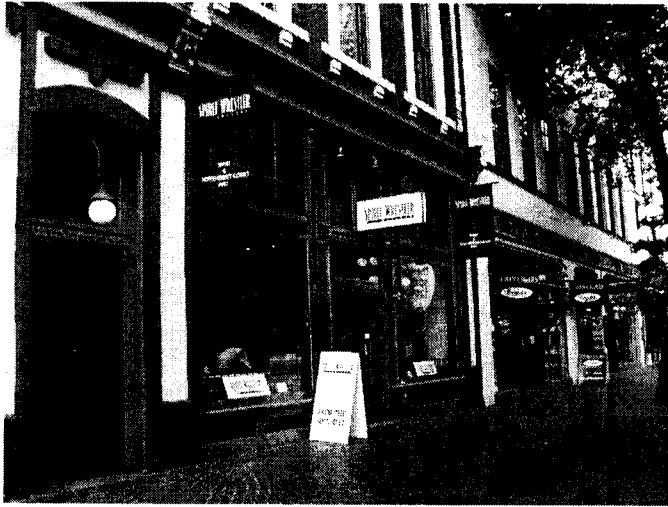
The following features should be carefully incorporated in the design of rehabilitated or restored shopfronts.

- (a) restoration of cast iron elements;
- (b) a high percentage of glazing, in the display window area, transoms windows and in the entry door(s);
- (c) a recessed entry is customary, with a rectangular or trapezoidal plan;
- (d) transom window above the entry, often stretching the full width of the shopfront, above the recessed entry;
- (e) base plates rich in detail and of durable materials;
- (f) detailing of the floor surface in the entry recess with tiles (especially small mosaic tiles), terrazzo, stone or other similar durable decorative materials;
- (g) a shopfront cornice which is generally a reduced version of the main cornice atop the building; and
- (h) lighting and signage (see Figure 10).

Access to upper floors should be in the original configuration, if feasible.

Where new shopfronts are required for existing buildings where none existed previously, their design and configuration should be respectful of the traditional shopfronts of Gastown (see Figure 11). Existing architectural features should be retained (e.g., cast iron columns, masonry pilasters) and integrated into new shopfronts.

Figure 11. Typical shopfront configuration



4.5.1.3 Criteria for New Buildings

The lower facade of new buildings should be distinguished at its uppermost edge by a continuous intermediate cornice or similar decorative banding element. This provision is to ensure that new structures reflect the same lower facade proportions and scale of Gastown's heritage buildings.

The ground floor should be of a generous height to allow for adequate space to incorporate a transom window above the entry doors and signband strip between the transom and the intermediate cornice. These horizontal elements are important aspects of the texture and complexity of the lower facade; they should form a continuous strip across the facade, interrupted only at the vertical pilasters or columns (part of the vertical banding of the building overall).

New storefront design should be informed by, and compatible with, the historic shopfronts of the area, but not be replicas or exact copies. Wooden or steel components are encouraged.

The following features should be incorporated in the design of shopfronts in new buildings:

- (a) access to the shopfronts should be level with the sidewalk;
- (b) a high percentage of clear glazing, both in the display window area, transom windows and in the entry door(s);
- (c) a recessed entry;
- (d) transom windows above the entry;
- (e) base plates rich in detail and of durable materials;
- (f) detailing of the floor surface in the entry recess with tiles (especially small mosaic tiles), terrazzo, stone or other similar durable decorative materials;
- (g) a shopfront cornice which is generally a variation or reduced version of the main cornice atop the building; and
- (h) lighting and signage.

Access to upper floors should be in a configuration typical of heritage buildings in Gastown.

4.5.2 Upper Street Facade

4.5.2.1 Objective

The upper facade is that portion of the building above the ground floor and its intermediate cornice. The objective is to respect the traditional appearance and proportions of the upper facades of heritage buildings in Gastown (see Figure 12).

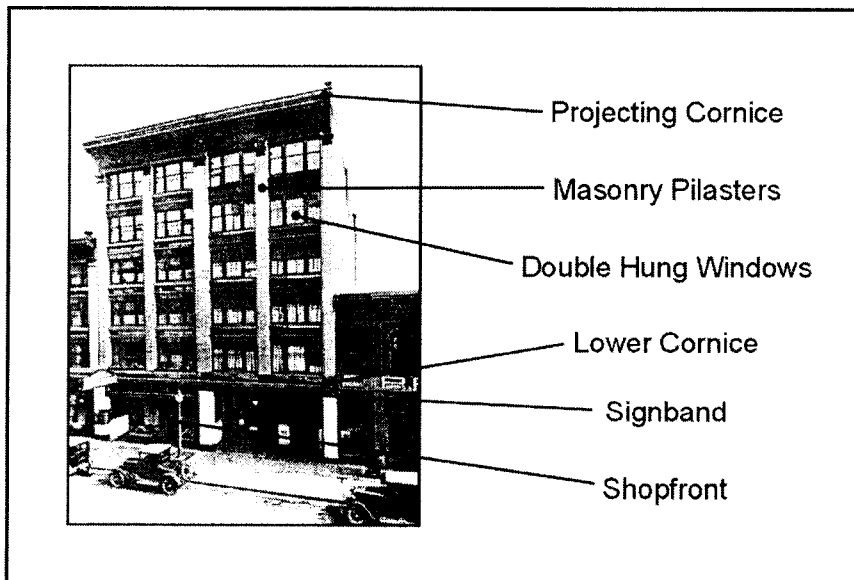
The upper floor windows of Gastown's early buildings are typically:

- (a) punched openings in a masonry surface with a roughly equal solid to void ratio;
- (b) vertical orientation in a masonry surface; or
- (c) horizontally oriented windows organized into groups (sometimes connected to form bands of windows between the vertical divisions, with spandrel below).

To maintain this upper floor pattern and texture, window openings in new construction are encouraged to be repetitive, and organized in relationship to the vertical elements which frame and divide the facade.

The clear distinction between the upper storeys of buildings and shopfront level, found in heritage buildings, is encouraged in the rehabilitation of heritage buildings and in the design of new buildings.

Figure 12. Facade components



4.5.2.2 Criteria for Heritage Buildings

Vertical elements such as pilasters, columns and projecting bays should be retained and rehabilitated. Historic photos and drawings should be used to support the restoration or replication of decorative elements of historic significance on the upper facade. Existing projecting bays should be retained and the City will assist the owner in acquiring an encroachment agreement, if necessary, provided that building by-law and life-safety concerns have been satisfactorily addressed.

The existing fenestration pattern of heritage buildings should be retained. Where new openings are proposed, they should be compatible with the existing architectural features of the building.

Residential balconies are discouraged on the street facade.

- 4.5.2.3 **Criteria for New Buildings**
New buildings should be designed to achieve a level of surface texture and detailing comparable to the heritage buildings of Gastown and to present a similar balance between wall and window area. The intent is not to replicate or mimic heritage facades but to ensure that new buildings are harmonious and neighbourly.

This should be done by the following measures:

- (a) the upper facade should be ordered by the use of vertical elements such as pilasters, columns and bays;
- (b) upper floor windows should reflect the fenestration pattern of Gastown's heritage buildings; with windows set into masonry facades; and
- (c) detailed design resolution to define the upper edge of the facade.

Residential balconies are discouraged on the street facade.

4.5.3 Lane Facade

4.5.3.1 Objective

The objective is to ensure that each building plays its part in making the lanes of Gastown suitable places for pedestrians and attractive when viewed from adjacent buildings. They are also the preferred location for vehicular access to parking contained within buildings. Many heritage buildings in Gastown traditionally had a different—plainer, simpler—architectural character on the lane facade from the main street facade. This distinction is important to retain.

The lanes of Gastown contain some original elements of authentic heritage character including granite paving and overhead wires which, in their grittiness, provide an important foil to the beautification of the principal streets of Gastown.

Lanes are an under-utilized resource in an intensively used pedestrian precinct of the city. They are used as walking routes and access to parking. The provision of a better and cleaner environment, without eroding their inherent “back lane” character will help make the lanes appealing and safer for pedestrians.

4.5.3.2 Criteria for Heritage Buildings

The original architectural characteristics of the lane facade should be considered an important aspect of a building's heritage value. Often simpler materials were used than on the front facade. This is particularly important for the north facade of buildings on the north side of Water Street, whose facades are highly visible from Canada Place and the waterfront. Special attention should also be given to buildings adjacent Blood Alley, Trounce Alley and other public spaces and pedestrian mews.

4.5.3.3 Criteria for Heritage and New Buildings

The design of the lane facade should consider that pedestrians will use the lane and that people in surrounding buildings will overlook it. Loading facilities and parking garage entries should be finished in suitable materials or painted to be similar to the building which they serve.

Garbage containers and loading bays should be recessed within the volume of the building (if it abuts the lane) and screened from view. The materials and colour of these screens should be similar to the building to which they are attached.

5 Architectural Components

5.1 Rooftop Features

5.1.1 Objective

The objective is to encourage the retention of existing rooftop features, such as mechanical penthouses, light monitors and water towers, and to permit the addition of appropriate rooftop elements on heritage and new buildings.

Rooftop structures for mechanical services are authentic elements of Gastown's early buildings and, as such, play an important historic role and should be permitted in the future. The intent of the criteria below is to ensure that such mechanical rooftop features are not overly dominant in the streetscape and utilize appropriate materials and colours.

Where architectural additions are proposed, such as penthouses for access to roof decks and additional floor area, refer to Section 4.1 Height. Guards, handrails and planters for rooftop outdoor space should be setback from primary facades.

5.1.2 Criteria for Heritage Buildings

Where feasible existing mechanical penthouse and water towers should be retained. New rooftop additions for equipment on top of heritage buildings, such as satellite dishes and skylights should follow criteria for new buildings. The cladding material for new architectural additions should be compatible with and distinguishable from those of the main building. New elements such as skylights should not be visible from the sidewalk opposite the principal facade.

5.1.3 Criteria for New Buildings

Rooftop additions for equipment on top of new buildings should be set back far enough from the front or exterior facades in order to not be seen from the sidewalk on the opposite side of the street. If this is not possible rooftop equipment should be screened.

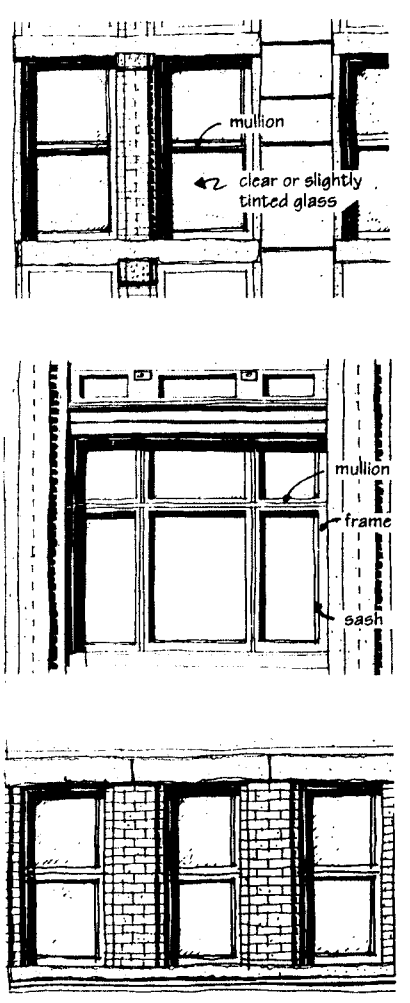
5.2 Windows

5.2.1 Objective

The objective is to respect the importance of traditional windows in establishing the character of heritage buildings and to ensure that windows in new buildings respond to these traditional fenestration patterns.

The windows in Gastown buildings are extremely important to the character of the area and it is fortunate that there are a number of original or repaired traditional ones remaining. Predominantly made of wood, mostly of double or single hung (vertically sliding) sash, there are also examples of pivoting, casement and fixed sash. They are sometimes found individually, or grouped in pairs or threes, forming a horizontal band of vertical units (see Figure 13). Nonetheless, over time there have been many renovations, especially with replacement windows which are inappropriate and detract from the character of Gastown heritage buildings.

Figure 13. Window types and configurations



The intent of these guidelines is to encourage the retention, repair and rehabilitation of original windows. Wood is the predominant material of existing windows, although there are some steel sashes found in the area. Where rehabilitation of original windows is not feasible, then the criteria are designed to promote the use of new replica windows based on original appearance and profiles. Where original windows have been removed, replica windows should be based on historical research.

5.2.2 Criteria for Heritage Buildings

Where there are existing windows within historic window openings which are either original or more recent replacements in the historical form and material, every effort should be made to repair them. Where existing appropriate windows are too deteriorated to repair, replacement windows should replicate either original windows, as documented by historical photographs, drawings or the existing windows. Where they exist, lintels and sills should be retained.

In the event that the original windows have been replaced and the existing windows are inappropriate to the building or the area's character, then new windows should be designed to replicate the window's size, configuration and appearance (shape, proportion, type of operation, detail, colour and clarity of glass), which were original at the time of construction or as based on archival information. If historical information is not available, the criteria for new buildings below should be referenced.

Repair of existing wood windows should use wood sash and frames. Replacement of wooden windows should be in wood, that match the appearance (shape, proportion, type of operation, detail, colour and clarity of glass) of the wood original when painted.

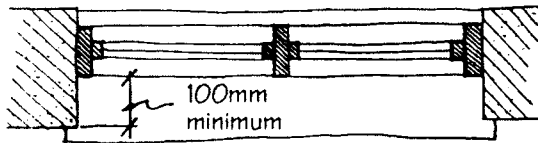
5.2.3

Criteria for New Buildings

Windows for new buildings should be compatible with the design elements which are typical of the wood windows of Gastown's heritage buildings:

- (a) windows should have frames and sash with dimensions similar to traditional wood windows;
- (b) the window should be divided into a minimum of two sash or panes; more divisions are also possible;
- (c) windows designed to be operable are encouraged and the method of opening should replicate that of traditional window types—double hung, casement or pivoting; hopper windows or horizontally sliding windows are discouraged as they are not traditional
- (d) glass should be clear; tints, colours or mirrored surfaces are not acceptable;
- (e) frames and sash should be of wood or steel;
- (f) the sash should be recessed within the window frame at least 100 mm from the exterior surface of the building facade (see Figure 14);
- (g) window openings should have a distinct lintel and sill; and
- (h) laminated glass is encouraged in lieu of double glazing units.

Figure 14. Horizontal Window Section



Windows in adjacent heritage buildings should be considered in the design of windows for new buildings in Gastown.

5.3

Exterior Walls and Materials

5.3.1

Objective

The objective is to retain the heritage character of the area by using building materials traditionally found in Gastown for both rehabilitation and new construction.

5.3.2

Criteria for Heritage and New Buildings

The building materials commonly used in the heritage buildings in the area should be used for the facades of all buildings:

- (a) standard clay brick in a range of buff/beige through red colours, full dimension; noting that some historic brick was originally painted or has been painted over time;
- (b) real or full dimension building stone, particularly granite and sandstone;
- (c) terracotta, tile and glazed brick materials and decorative elements;
- (d) cast iron and pressed metal decorative elements, particularly cornices;
- (e) wood elements for shopfront base plate, windows, bay window framing;
- (f) stucco or cement rendered surfaces; and
- (g) specially treated concrete finishes for rear or for some secondary surfaces.

5.3.3

Criteria for Heritage Buildings

For existing buildings, where new materials are required for repair, they should preferably match the old materials they are replacing. If this is not feasible for cost, technical or availability reasons, then new substitute materials should be largely indistinguishable from original materials. The treatment of existing materials is primarily that of good conservation techniques.

Common conservation problems with brick masonry found in Gastown are related to the cleaning, painting (applying paint for the first time is not an appropriate conservation measure), removal of paint and appropriate colours for the building. It is important to note that in many cases, especially the oldest buildings, the brick was originally painted and the paint layers should not be removed if original.

The addition of new ventilation units and fireplace flues on the exterior of heritage buildings is prohibited.

5.3.4 Criteria for New Buildings

For new buildings, modern materials other than those listed in 5.3.2 can be considered if they are largely indistinguishable from the materials traditionally used in the area.

Potential compatible materials include:

- (a) areas of smooth-finish poured concrete or precast concrete panels;
- (b) painted steel columns and framing elements can be considered for shopfront openings or the delineation of facade divisions; and
- (c) glazed surfaces which are articulated in a manner evocative of traditional facade ordering;

Materials to be avoided include:

- (a) surfaces which imitate historic materials in a different form (e.g., aluminum or vinyl siding with embossed wood graining, composite board materials);
- (b) textured stucco; if stucco is used it should have a smooth surface and be limited to side walls, roof top additions and small areas of the main facade; and
- (c) decorative marble or granite tiles unless used as accent materials in a shopfront.

In general, large surfaces should be brick, stone or painted surfaces in brick tones. Colour schemes should relate to traditional and authentic colour schemes and colour placement found on heritage buildings in Gastown.

The exposed sides and rear of buildings should be treated in similar materials to the principal street facade, although usually with less decorative elements.

5.4 Awnings and Canopies

5.4.1 Objective

The objective is to encourage the use of awnings and canopies reminiscent of the originals of Gastown which were typically of a three or four point, or triangular shape.

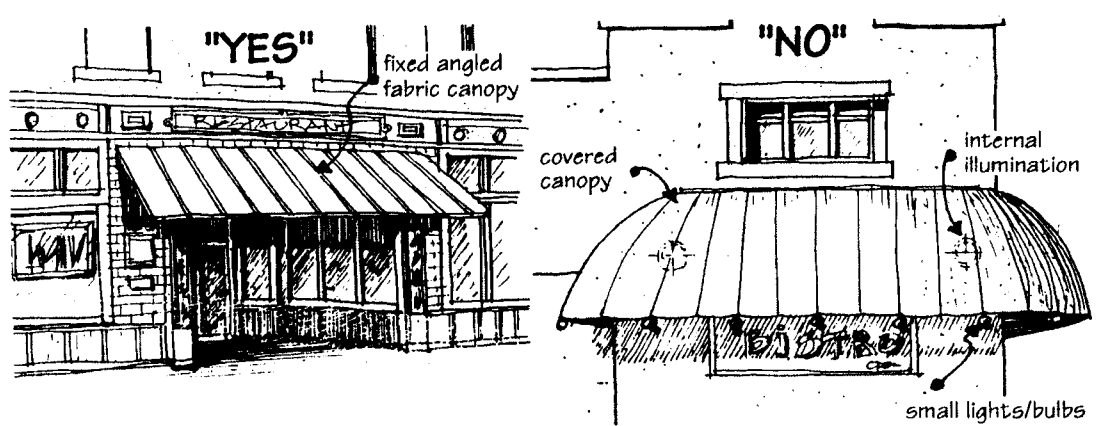
5.4.2 Criteria for Heritage Buildings

Historically, most commercial buildings in Gastown had awnings for sun or rain protection. They were large and played an important role in the streetscape and public realm of the area. Retractable fabric awnings (laced, not stapled) were the most common type.

In some instances, metal and glass fixed canopies are appropriate, particularly if there is archival evidence of their precedent on the building or on similar Gastown buildings.

Awnings or canopies should be designed to fit within the dominant structuring elements of the lower facade. This usually means fitting the overall design of the shopfront, below the intermediate cornice and between vertical columns or pilasters (see Figure 15). The criteria for new buildings should also be considered.

Figure 15. Awnings and canopies



5.4.3

Criteria for New Buildings

Retractable fabric awnings are encouraged for use on new buildings, however fixed, three or four point, or triangular shaped fabric canopies are an acceptable alternative. The fabric (usually heavy canvas, not shiny or translucent vinyl) can be a solid colour, preferably a traditional dark colour, or striped and usually the ends of the frame are left open. Plain valences, often with a signband are common.

In some instances, metal and glass fixed canopies are appropriate. Curved and unusually shaped fixed awnings are prohibited. Internal illumination of awnings or canopies is prohibited.

Awnings and canopies should be designed to fit within the dominant structuring elements of the lower facade. This usually means fitting within the overall design of the shopfront, below the intermediate cornice and between vertical columns or pilasters. Furthermore, they should respect the edges of facade features; for example they should meet the facade at the top or bottom of transom windows or signbands and not in the middle. Where the sidewalk in front of the shopfront slopes across the facade of the building, awnings or canopies should respond to the stepping of shopfront elements, by also stepping at the vertical element which defines the separation between shopfronts.

One style and colour of awning or canopy should be used across the width of a facade which has multiple shopfronts.

5.5 Lights

5.5.1 Objective

The objective is to ensure that the design, location, intensity and colours of nighttime light sources mounted on private buildings are appropriate to the historic character of Gastown. They should also consider the impact on the public street lighting of the area.

The intent of the criteria below is to encourage the sidewalks of Gastown to be illuminated with a soft, even light. In order to achieve this, it is important that light fixtures on private property be located at a pedestrian scale to avoid glare for pedestrians and that light sources are warm in colour and similar to daylight in their rendition of colours.

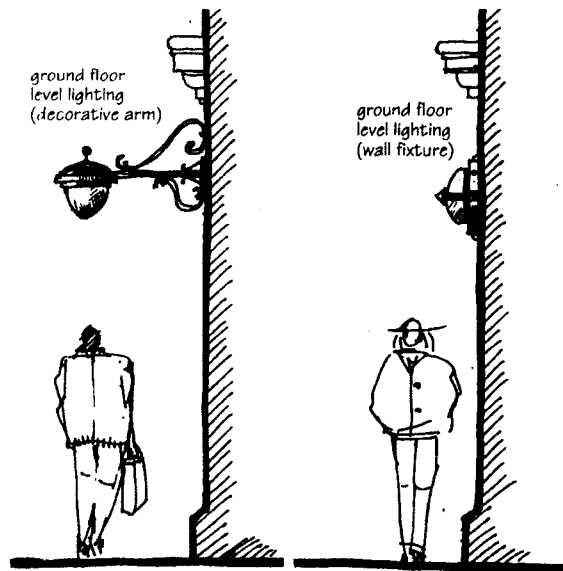
5.5.2 Criteria for Heritage and New Buildings

Installation of ground floor level lighting at a pedestrian scale is permitted provided that the fixtures selected are appropriate to the historic character of the building and the illumination they give is incandescent (or colour corrected to the incandescent spectrum) and not overly intense.

Fixture design should be chosen from either available replica styles appropriate to the heritage building's architecture or from contemporary designs which are compatible with the historic area.

Fixtures may be surface mounted or be on projecting arms (see Figure 16).

Figure 16. Lighting



5.6 Signs

5.6.1 Objective

The objective is to support the re-establishment of historic signage and accommodate a range of sign types which are in keeping with the historic character of Gastown.

5.6.2 Criteria for Heritage and New Buildings

Permitted signs include:

- (a) projecting signs (usually with a horizontal orientation);
- (b) fascia or shopfront signband signs (horizontal and traditionally incorporated immediately below the storefront cornice and above the transom windows);
- (c) letters (painted or raised) applied directly to the building surface;
- (d) painted and gilded window signage;
- (e) display window signs, including limited use of neon;
- (f) base plate signage;
- (g) awning signs;
- (h) historic painted signs or murals which are conserved; and
- (i) neon, where supported by historic research.

Certain sign types are not appropriate:

- (a) box signs internally illuminated, including channel lettering;
- (b) awnings or canopies internally illuminated as part of signage; and
- (c) new wall decorations and murals.

Regulations for signs are to be found in the Sign By-law.

5.7 Cornices and Parapets

5.7.1 Objective

The objective is to recognize the historic role of building cornices and parapets and to ensure these elements are conserved, replaced or installed on buildings in Gastown.

- 5.7.2 **Criteria for Heritage Buildings**
The retention of original cornices is highly encouraged. Repairs should be undertaken with matching materials and anchoring systems should be reinforced to ensure safety. If cost or structural considerations make conservation of existing cornices difficult, substitute materials can be considered.

Where original cornices have been removed, their replacement can be considered, either with replicas based on archival evidence or with characteristic cornice profile based on the scale typical of the heritage building type.

- 5.7.3 **Criteria for New Buildings**
Cornices and parapets for new buildings should be carefully designed to provide a distinctive upper edge to the facade.

They should comprise:

- (a) strong projecting cornice shape, preferably with a raised parapet on the main facade;
- (b) materials characteristic of the area, including metal, corbelled brick, stone; and
- (c) decorative finials, signs plates or date markings.

6 Colour

For heritage and existing buildings, the original applied colour should be documented and the colour scheme based on these documented colours. Otherwise colours should be based on known historic colour schemes of the time period which the building was constructed. Gloss finish on window sash and storefronts is highly encouraged. For new buildings, any applied colours should conform in placement and finish to known historic colour schemes appropriate to the area.

7 Open Space

7.1 Objective

Semi-private open space is desirable to provide within or on top of buildings in Gastown.

7.2 Criteria for Heritage and New Buildings

The open space should preferably occur at the rear of the building, in internal courtyards (often above the commercial level) or on the rooftop. Common rooftop decks above the second floor are encouraged as semi-private open space subject to consideration of overlook, scale relationships, view blockages and noise impacts on units and properties below.

The visual impact of rooftop open space should be considered for heritage buildings, particularly with respect to the design and visibility of stair access penthouse, guards, handrails, screening, awnings and landscape elements.

8 Public Realm

8.1 Objective

Certain elements of private buildings which affect the public realm of Gastown are worth noting.

8.2 Criteria for Heritage and New Buildings

Where encroachment of elements like bay windows, cornices and fire escapes contribute to the heritage character of an existing building they are encouraged to be retained and conserved.

The planting of street trees and other sidewalk improvements as part of development activity on private property needs to be coordinated with the overall public realm plan for Gastown.

9 Interiors

9.1 Objective

The interiors of many of Gastown's heritage buildings have heritage value and are worthy of conservation as rehabilitation occurs.

9.2 Criteria for Heritage Buildings

Interior fixtures and features which are identified as part of heritage building's character may include shop interiors, stairwells, light wells, structural framing of note, special wall finishes and may include light fixtures and hardware of heritage value.

Every effort should be made to identify and retain these elements where they contribute to the heritage value of the building.

10 Accessibility

10.1 Objective

The provision of access for the disabled is an important aspect of building rehabilitation and efforts should be made to improve the accessibility of existing buildings. It is required to be designed into new buildings.

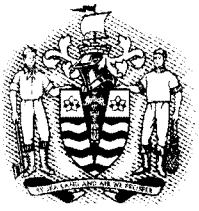
10.2 Criteria for Heritage Buildings

Efforts should be made to provide disabled access that does not compromise the heritage value of existing buildings. In this regard, the compliance alternative provisions of the Vancouver Building Bylaw should be consulted.

Appendix A - Glossary of Terms

The following terms have been used in the text of this document and are briefly described here:

Base Plate	The vertical wall surface below the shopfront window and above the sidewalk surface; traditionally finished in wood or tile
Bay	The regularly spaced primary structural module of a building
Bay Window	A polygonal projecting element from the wall surface, usually an extension of the internal floor level and containing windows
Corbelling	Usually in brick masonry; brickwork projecting successively with each course
Cornice	A projecting decorative elements at the top of the wall surface; the uppermost part of an entablature, which is composed of an architrave, a fascia and a cornice
Double-hung	A type of window with two glazed sash elements which slide vertically, one up and one down, in a plane one in front of the other; single hung is similar but only one sash moves vertically
Fascia	The narrow horizontal trim band usually found at the roof edge
Fenestration	The pattern and rhythm of windows in a facade
Mosaic Tile	Very small ceramic or glass tiles used to form a decorative pattern
Mullion	A support member between adjacent windows
Muntin	A slender division bar between two panes of glass in a window sash
Parapet	The vertical projection of a wall above the adjacent roof level
Pilaster	A flat vertical decorative element slightly protruding from the wall surface; often an expression of the internal structural bay system of a building, although not necessarily performing any structural work
Terrazzo	A highly polished cast-in-place marble and aggregate concrete floor material; a variety of speckled patterns and colours are possible
Transom	The horizontal window area above a large window, door or shopfront; often operable for ventilation



City of Vancouver Land Use and Development Policies and Guidelines

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 planning@city.vancouver.bc.ca

DRAFT TRANSFER OF DENSITY POLICY AND PROCEDURE

Adopted by City Council January 25, 1983

Amended September 11, 1984, July 7, 1987, July 30, 1991, September 2, 1993,

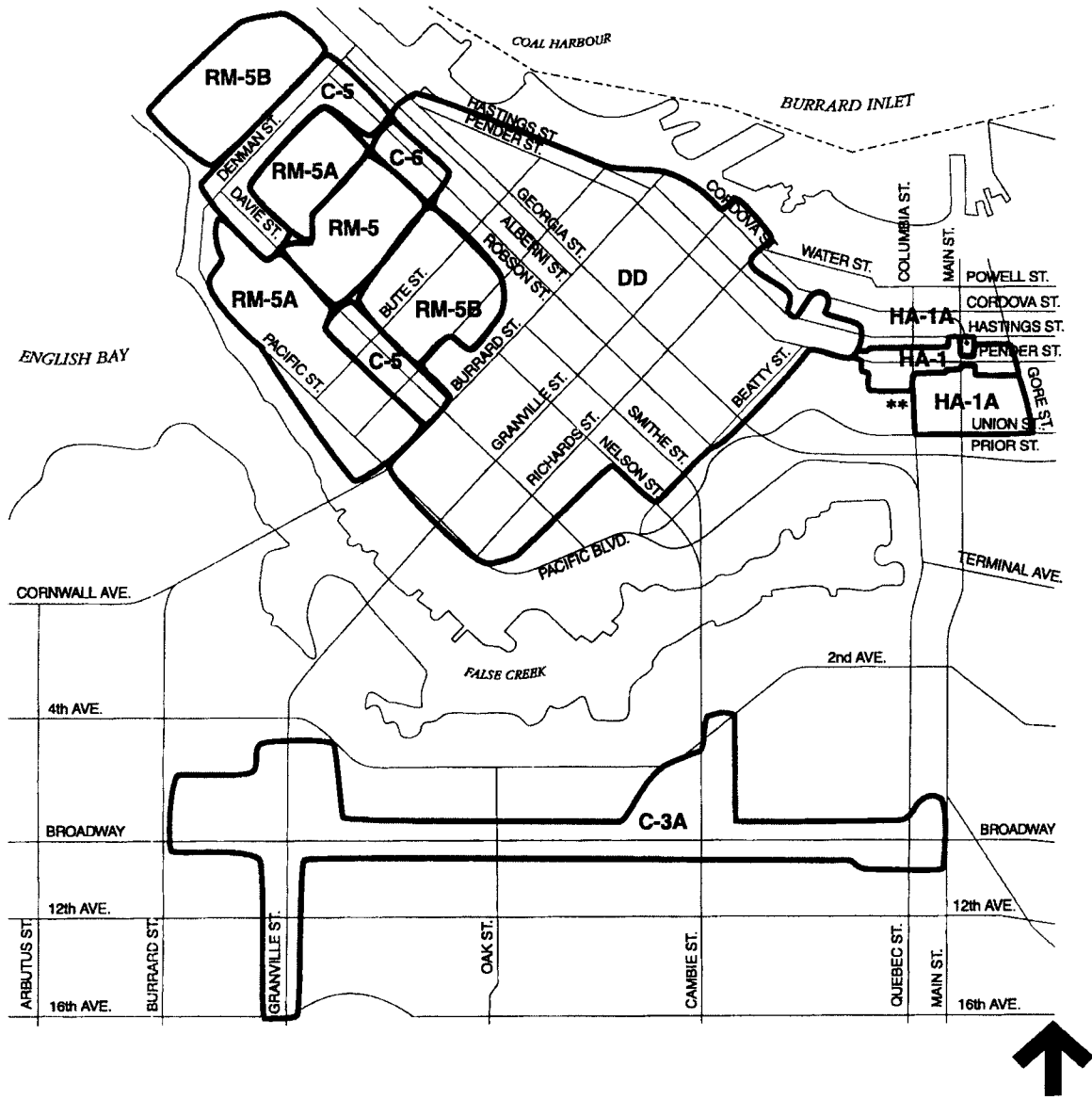
December 8, 1994, April 2, 1996, and July 29, 1997, and _____

Rezoning applications, or Heritage Revitalization Agreements in the case of (1) below, which involve the transfer of density from one site to another site will be considered, provided that such a transfer will assist in achieving one or more of the following public objectives:

- (1) To preserve heritage buildings or site, listed on the Vancouver Heritage Register, particularly where it is demonstrated that residual and/or bonus density required for the buildings' rehabilitation cannot be used on the heritage site;
- (2) To create desirable public open space or park land;
- (3) To facilitate development in areas with mixed use zoning;
- (4) To achieve and improve urban design;
- (5) To help implement Council-approved view protection policy in Downtown South;
- (6) To help protect existing Single Room Occupancy Stock in Downtown South;
- (7) And provided further, that the following limitations are respected:
 - (a) Except for heritage sites as defined in (b), the sites are not separated by a zoning boundary or use, density or height district boundary in an Official Development Plan, unless the sites involved are both within the same block; or the donor site is in the 800-1200 blocks of Granville Street and the recipient site is in Downtown South;
 - (b) Transfer of density may be considered for approval by the Development Permit Board involving heritage sites located within and between the various zones of the Central Area including: Downtown District ODP, RM-5, RM-5A, RM-5B, C-5, C-6, HA-1, HA-1A, **HA-2** and CD-1, and those portions of C-3A located west of Main Street, north of 16th Avenue, and east of Burrard Street, except that no heritage density may be transferred onto sites located in the HA-1, **and HA-1A and HA-2** Districts;
 - (c) If the objective to be served is (4) urban design, the sites are within the same block or separated only by a single street;
 - (d) The aggregate development potential for the sites remains unchanged by the transfer;
 - (e) The aggregate development potential for any specific use remains unchanged by the transfer;
 - (f) No bonuses for public, social or recreational facilities are transferred;
 - (g) Except for transfers involving heritage sites, no more than two sites are involved in any transfer and a site is not involved in more than one transfer;
 - (h) The proposal has been demonstrated to further the intent of Council's policies and regulations for the area; and
 - (i) Heritage bonuses may be transferred if Council has previously decided under its heritage bonus policy that all or part of the bonus density cannot be used on the heritage site without undue impact on the character and context of the preserved building, or without an unacceptable impact on surrounding properties.

The following procedure is to be followed in applying the density transfer policy:

- (1) For transfers to achieve heritage objectives:
 - (i) Heritage features to be preserved on the donor site shall be defined by the Director of Planning or the Development Permit Board on the advice of the Vancouver Heritage Commission;
 - (ii) Residual (and bonus) density may be held on a heritage donor site through the use of a development limitation covenant which shall be amended as density is disbursed and ultimately discharged when all density is transferred;
 - (iii) Preference will be given to proposals which use heritage buildings for cultural, social, recreational and educational uses, especially when that use is historically associated with the building;
 - (iv) For any site located within the HA-1 *or* HA-2 District, where a development application is submitted to establish density available for transfer to another site, Council approval for the creation of the transferable density will be required as a condition of development permit issuance, although rezoning of the donor site is not required;
 - (v) Within the Central Area as defined in (b) above, the following steps (2) to (8) involve either the rezoning or the establishment of a Heritage Revitalization Agreement on the heritage donor site only; the receiver site is approved by the Development Permit Board;
 - (vi) Density on receiver sites shall be sensitive to the impact of additional density on shadowing, floor plate shape and size, height and view corridors; and
 - (vii) The following shall be excluded as receiver sites within the Central Area [as defined in (b)]:
 - sites already receiving a 15 percent hotel bonus;
 - sites already receiving a heritage density bonus;
 - sites containing a single room occupancy (SRO) hotel, unless arrangements are made to secure or replace units; and
 - sites zoned CD-1, unless a provision is included in the CD-1 by-law.
- (2) Developer reviews his proposals with the Director of Planning.
- (3) Developer makes formal application for rezoning or enters into negotiations for a Heritage Revitalization Agreement, with appropriate supporting material to indicate details of and rationale for the proposal and analysis of relevant impacts. In the case of a rezoning, the Director of Planning may require that the developer concurrently file a preliminary development permit application.
- (4) Director of Planning coordinates staff review of proposal in consultation with Engineering, Social Planning, Park Board staff as required, including whatever public review process he deems appropriate to the specific proposal, and may include consideration of a preliminary development permit application by the Development Permit Board and the Urban Design Panel.
- (5) Council considers the proposal and staff review at Public Hearing and gives decision.
- (6) Appropriate legal agreements are drawn up according to recommendations in staff review of proposal.
- (7) In the case of rezoning, Council enacts by-law.
- (8) In the case of rezoning, Development permit application process is followed as in CD-1 development sites.



Transfer of Density Areas* for Heritage Preservation

- * incorporating CD-1 zoned sites within the area boundaries
- ** heritage density may be transferred away from but not into the HA-1, and HA-1A and HA-2 Districts.

Complementary Revitalization Initiatives

These initiatives have been pursued, in conjunction with the GHMP to assist in economic revitalization and heritage conservation objectives for Gastown:

1. **Economic Revitalization** - City staff are working with the Gastown Business Improvement Society (GBIS) to complete a business assessment for the area and a marketing program to retain and attract tenants and businesses; the Economic Capacity Study for the Downtown Eastside, focussing on identifying sectors of the economy that are likely to expand has been completed and work is underway to develop an Economic Revitalization Strategy under the Vancouver Agreement in consultation with local business and residents.
2. **Building and Encroachment Bylaws** - Building code staff are reviewing the Vancouver Building By-law to develop ways to make it easier to upgrade existing buildings. This work is to be completed by year end as indicated in Recommendation J of this report. A companion report related to fees for encroachments from heritage buildings is also being prepared for Council's consideration in September.
3. **Public Realm** - significant progress has been made on a number of fronts. Considerable efforts have been made by Engineering Services and United We Can to clean up lanes and garbage in the area. Council's recent approval for an expanded graffiti removal program will be of benefit to Gastown. In addition, the Water Street roadbed has been completely reconstructed to deal with structural problems and replace worn and broken pavers. Negotiations are ongoing with property owners to secure and improve properties along the former CPR right of way, including Pigeon Park, as public open space. Also in this regard the City is working cooperatively with the owners of the former BC Electric Building at Hastings and Carrall to install paving, landscape treatment and trees on the portion of the CPR right of way adjacent to the building and in the adjacent city lane. Work on a plan for street light improvements is also underway. Efforts to create a public way along Carrall Street linking Maple Tree Square to the Chinese Cultural Centre and links between Gastown, downtown and Yaletown through the Downtown Historic Trail are being developed. Council has also approved funding for a consultancy to develop a strategy to restore Blood Alley as a public space and several major community sponsored public events have taken place in Blood Alley over the last year that have been very well attended. Work has also been completed to repair localized damage to brick sidewalks and the Street Furniture Program will provide additional opportunities for enhancing the public realm.

- a. Land Use and Development** - A comprehensive database was completed at the inception of the work. Work on the Gastown Land Use Plan and Housing Plan for the eastern area of the Downtown Eastside is anticipated to be reinitiated in 2003. Proposals for development in Gastown continue to be facilitated through the permit approval process.

- 4. Transportation** - The Downtown Transportation Plan, recently approved by Council recommends changes to the Maple Tree Square in order to slow down traffic through the intersection. In the preparation of the Downtown Transportation Plan consideration was also given to converting Water Street to two-way traffic and to allowing parking on Water Street, however after evaluation by staff and consultation with the community neither was included in the final recommendations to Council. On May 28, 2002, Council's Standing Committee on Transportation and Traffic supported further work in advancing work on the Downtown Streetcar that is proposed along Cordova terminating at Waterfront Centre. Staff have been working closely with the proponents of the West Coast Historical Exhibit who are proposing to occupy a significant portion of the Gastown (former Woodward's) Parkade including renovation of the Water Street portion of the parkade and rebuilding of the Cordova Street portion.

Other initiatives include implementation of a community conflict resolution process and measures to reduce neighbourhood impacts and improve conditions at the Dugout, improvements to safety and security in the Gastown Parkade and development of the Neighbours First community based program that provides assistance to people who live, work or visit the area.

Summary of Staff Comments on Spaxman Report

Goal/ Action	Recommendations from Spaxman/Lemon/Luxton Report	Staff Comments	Staff Action Required
<i>Goal 1</i>	<p>Conserve Gastown’s Authentic Heritage Resources defined as the historic built form and public realm including all provincially-designated and Vancouver Heritage Register-listed sites in the current HA-2 zoned district</p>		
<i>Action 1.1</i>	<p>Adopt the Vision Statement for Heritage Management in Gastown as set out in this Plan.</p>	Support	Council recommendation as part of GHMP report
<i>Action 1.2</i>	<p>Conserve Gastown’s historic built form and public realm including</p> <ul style="list-style-type: none"> - existing heritage buildings (minor additions allowed) - conserve characteristic "saw tooth" built form - existing public realm elements that contribute to the vision of the area - enhance historic street or public realm context with new, compatible elements when required - City to create the regulations within the zoning bylaw to carry these out, develop the plan and provide financial assistance to assist conservation work 	<p>Support in principle</p> <p>see related built form action 2.4</p> <p>see related public realm actions 1.4 - 1.11 (suggest actions could be supported in principle noting that some parts underway)</p> <p>- zoning regulations do not apply to streets</p>	<p>more detailed work is required to assess the costs and implications of each and will have to be reported back on in the future</p>

Summary of Staff Comments on Spaxman Report

Goal/ Action	Recommendations from Spaxman/Lemon/Luxton Report	Staff Comments	Staff Action Required
<i>Action</i> 1.3	Apply to the National Historic Sites and Monuments Board of Canada to declare Gastown a Historic District of National Significance	Support noting this is primarily symbolic in nature and little financial support available at this time	Council recommendation to make application as part of GHMP report
<i>Action</i> 1.4	Maintain the existing public realm beautification program , centered on Water Street and now extended along Alexander Street. - find ways to significantly improve the heritage-related infrastructure (roads, sidewalks, street furnishings, lighting standards, signing, weather-protecting awnings, public art, etc.). - City to undertake improvements on a phased basis, accompanied with higher-level maintenance standards.	Support in principle - upgrading of existing Water st. roadbed completed - sidewalk and tree pits improved - lighting plan work underway	recommendation to Council as part of GHMP report to complete a public realm plan for Gastown to consider actions 1.4 - 1.11
<i>Action</i> 1.5	Conserve historic streetscape elements (surviving early light standards, early paving materials, granite curbs) - complete an inventory - adopt a policy to conserve, protect and interpret these historic elements.	Support in principle - lighting fixtures identified through Lighting Plan work	see action 1.4

Summary of Staff Comments on Spaxman Report

Goal/ Action	Recommendations from Spaxman/Lemon/Luxton Report	Staff Comments	Staff Action Required
<i>Action</i> 1.6	Undertake a public realm beautification for Cordova Street - develop a design concept - allocate resources to implement	Support in principle	see action 1.4
<i>Action</i> 1.7	Retain the character of historic lanes when building and services upgrading are undertaken. - complete inventory of historic lanes - develop program for rehabilitation and enhancement.	Support in principle but retention should be on an as feasible basis	see action 1.4
<i>Action</i> 1.8	Retain and conserve historic encroachments (areaways, cornices, bay windows and fire escapes) through - exclusion from FSR calculations (for the purpose of density incentives), - provision of grants - elimination of fees and rentals. - complete inventory of the historic encroachments - develop program for retention and conservation	Support for preserving architectural features; for areaways and fire escapes, consider on an as feasible basis - contrary to existing City practice to fill in areaways	- report to Council recommending waiving of fees for architectural features on heritage buildings in companion report to GHMP - exclusion of fees for areaways not supported by Engineering (identify historically significant areaways and report these to Council on case by case basis)
<i>Action</i> 1.9	Develop a plan for utilization of CPR Right of Way as public open space	Support - negotiations with property owners ongoing - development of conceptual plan and guidelines for R o W	- secure public access for remaining sites - implement treatment on city owned portions

Summary of Staff Comments on Spaxman Report

Goal/ Action	Recommendations from Spaxman/Lemon/Luxton Report	Staff Comments	Staff Action Required
<i>Action</i> 1.10	Complete consultant study on Blood Alley and consider implementing the GHMP on a priority basis in this area to facilitate revitalization of this public open space.	Support	- initiate study in 2002
<i>Action</i> 1.11	Design and implement an Interpretation Plan to help people understand Gastown's heritage	Support	-encourage community (GBIS, GHAPC and other community groups) to take on by facilitating partnerships to develop interpretation plan
Goal 2	Adopt Effective Regulatory and Protective Mechanisms Provide an open and streamlined regulatory environment that encourages authentic heritage conservation and minimizes uncertainty for owners and the City, through improved zoning and regulatory systems, and enforcement policies that balance long-term conservation with acceptable safety standards.		
<i>Action</i> 2.1	Transfer Provincial Heritage Designations to the City of Vancouver. - amend Vancouver Charter to be able to create heritage conservation areas and provisions for heritage conservation contained in the Local Government Act.	Support - will simplify regulatory approval process	- Council recommendation to request transfer & amendments to V. Charter as part of GHMP report

Summary of Staff Comments on Spaxman Report

Goal/ Action	Recommendations from Spaxman/Lemon/Luxton Report	Staff Comments	Staff Action Required
<i>Action</i> 2.2	Simplify and streamline the regulatory process through improvements to the existing permit approval process (see Goal #4), applying the Vancouver Building Bylaw provisions in their most flexible form for heritage buildings.	Support in principle also action 2.6 describes review of VBBL for existing buildings that is underway	review with Chief Building Official the application of Part 10 of the VBBL (alternative compliance methods) and processing of equivalencies to determine if additional improvements could be made
<i>Action</i> 2.3	All Gastown buildings on the Vancouver Heritage Register eligible for conservation incentives, subject to selection criteria set out in Goal #3.	Support incentive program would be available to all Heritage Register buildings	include as part of GHMP report to Council

Summary of Staff Comments on Spaxman Report

Goal/ Action	Recommendations from Spaxman/Lemon/Luxton Report	Staff Comments	Staff Action Required
<p><i>Action</i> 2.4</p>	<p>Revise the existing HA-2 District Schedule as follows:</p> <p>a) Replace the existing Intent Statement with the Vision for the Heritage Management of Gastown.</p> <p>b) Include the following provisions:</p> <ul style="list-style-type: none"> - existing building envelope constitutes outright building envelope allowance for heritage buildings; - one additional storey of useable space may be permitted on existing buildings provided it meets design guidelines (set back from street facades; not visible from the sidewalk directly across the street); - use of roof tops as open space amenity encouraged; - all existing floor space, including areaways and encroachments, is included in the allowable envelope; - parking requirements determined in same manner; - broader range of outright and conditional uses for heritage buildings will be considered when the Land Use Study is completed; - for new buildings on vacant sites or sites containing buildings not on the Vancouver Heritage Register a maximum outright 	<p>a) Support adoption of vision for heritage management but revision of HA-2 intent statement to be considered when land use plan completed</p> <p>b) support for building envelope; one additional storey, use of roof tops as described.</p> <p>- retaining areaways contrary to city practice;</p> <p>- continue to use existing system for determining floor space calculations</p> <p>- refer to Land Use Plan work</p> <p>- 40 foot/3 storey limit for non-</p>	<p>see action 1.1</p> <p>- Council report to include recommendation that existing HA-2 stream be maintained so that owners have choice to proceed under existing regulations or through heritage incentive stream</p>

Summary of Staff Comments on Spaxman Report

Goal/ Action	Recommendations from Spaxman/Lemon/Luxton Report	Staff Comments	Staff Action Required
<i>Action</i> 2.5	Replace current Development Policies and Guidelines for HA-2 character areas with the design guidelines of the Gastown Heritage Management Plan	Support	Council recommendation to adopt design guidelines as per action 5.2
<i>Action</i> 2.6	Complete the staff work on review of Vancouver Building Bylaw for existing buildings. - amend trigger for building code upgrading from change of use system based on the performance level of a building as a result of the work to be completed. This work is underway.	Support - significant improvements could be achieved through this work	- Building code staff to complete draft, take out for peer and public review and report to Council by year end
<i>Action</i> 2.7	Facilitate a Group Building Upgrade Pilot Project for Gastown Buildings involving several adjacent buildings in the historic area.	Support	- finalize and publish brochure - seek pilot
Goal 3	Provide Real Incentives for Building Conservation Create a program of effective conservation incentives appropriate to Gastown that will encourage the authentic conservation and rehabilitation of individual buildings, by encouraging and assisting owners to invest in their properties.		

Summary of Staff Comments on Spaxman Report

Goal/ Action	Recommendations from Spaxman/Lemon/Luxton Report	Staff Comments	Staff Action Required
<p><i>Action 3.1</i></p>	<p>Adopt and implement conservation incentive program to assist owners to rehabilitate and conserve the heritage buildings in Gastown.</p> <ul style="list-style-type: none"> - 5 year program - preference for facade grants and tax forgiveness, followed by grants and minimizing the use of floor space bonuses. i) maximum \$50,000 facade conservation grant to individual owners and retail tenants to cover up to 50% of the cost of the work. <ul style="list-style-type: none"> - includes up-front research and documentation to a maximum of \$2,000. - consider 4 projects /year annual budget of \$200,000 plus administration costs. ii) 100% property tax forgiveness for up to 10 years, to cover the “shortfall costs” (difference between the estimated costs and revenues) <ul style="list-style-type: none"> - maximum annual total budget of \$3.5 M 	<p>Support</p> <p>- \$50,000/principal facade</p> <p>- budget request is for 5 projects/year - total annual budgets of \$250,000</p> <p>- staff estimate - 2-4 projects per year - annual budget of \$2.4-4.8M based on average shortfall of 1.2M/building</p>	<p>- report to Council seeking support for program with report back on detailed elements of program</p>

Summary of Staff Comments on Spaxman Report

Goal/ Action	Recommendations from Spaxman/Lemon/Luxton Report	Staff Comments	Staff Action Required
	<p>- where total "shortfall costs" exceed available tax forgiveness, provide additional incentive of bonus densities - annual maximum of 60,000 sq. ft.</p> <p>- "small building incentive" for lower than 40 feet in height, consider permitting transfer of floor space equivalent to the difference between the existing building and what could be built to the maximum permitted height of 40 feet plus one additional storey set back as required in the Gastown Design Guidelines.</p> <p>- incentive program encouraged, coordinated, and impacts monitored by Gastown Manager; - annual report to Council on effectiveness and any improvements needed.</p> <p>-amend the Transfer of Density Policy and Procedure to permit density to be transferred within Gastown, (to non-heritage sites only) from Gastown to other areas, and prohibit density being transferred into Gastown.</p>	<p>- support but staff recommend incentive be determined based on difference between existing FSR and 4.5 FSR which is average achieved in last 10 -15 years</p> <p>support transfers out of, but not to sites in Gastown</p>	<p>- complete consultant study on density bank to determine potential impact</p> <p>- report back to Council on staffing and resources</p> <p>- amend Transfer of Density Policy</p>

Summary of Staff Comments on Spaxman Report

Goal/ Action	Recommendations from Spaxman/Lemon/Luxton Report	Staff Comments	Staff Action Required
<i>Action</i> 3.2	Pursue other sources of incentives such as: - the federal/ provincial/ city trilateral Vancouver Agreement as potential source of funds for facade improvement or public realm improvements; - the potentially significant federal tax relief programs being developed as part of the Historic Places Initiative; - utilization of CMHC RRAP funding to facilitate upgrading existing housing stock.	Support set priorities for federal assistance first, followed by provincial and then municipal - future program dependent on federal gov't action - potential mechanism to assist with improving SROs	- Report on GHMP to recommend support for national Historic Places Initiative which could provide tax incentives - seek opportunities through Vancouver Agreement to support initiatives in Gastown
<i>Action</i> 3.3	Complete the consultant study reviewing Transfer of Density Policy and Procedure to seek ways to maximize the value of transferable densities through zoning policies, administration and marketing of the "density pool". This is underway.	Support study is to determine capacity and performance of density bank	consultant engaged by heritage staff; report to Council in autumn 2002
GOAL 4	Develop an effective management and administrative framework with processes that encourage and support the rehabilitation of heritage buildings in Gastown and thereby assist in the revitalization of the area.		

Summary of Staff Comments on Spaxman Report

Goal/ Action	Recommendations from Spaxman/Lemon/Luxton Report	Staff Comments	Staff Action Required
<i>Action 4.1</i>	Create a Gastown Heritage Conservation Area (GHCA) to encompass the existing HA-2 zoning district, maintaining the present boundary	Support - allows recognition of heritage character on area-wide basis including landscape and public realm features - requires development of by-law to include schedule of sites and features, objectives for area, permit requirements etc.	- consider implementation in the future

Summary of Staff Comments on Spaxman Report

Goal/ Action	Recommendations from Spaxman/Lemon/Luxton Report	Staff Comments	Staff Action Required
<p><i>Action</i> 4.2</p>	<p>Create a Gastown Heritage Commission (GHC) to replace the current Gastown Historic Area Planning Committee (GHAPC), to advise Council, provide conservation and design review of permit applications within Gastown</p> <ul style="list-style-type: none"> - advise Council on Plan implementation, particularly concerning development proposals and applications; - 11 members appointed by City Council from a range of stakeholders with special knowledge about Gastown heritage conservation and an interest in its future. - Recommended representation <ul style="list-style-type: none"> (1) a City Councillor (2) a registered architect (3) a registered engineer (4) an expert in heritage conservation (5) a representative of the GBIS and representation from owners, businesses, residents from the area. - review by Urban Design Panel for Gastown projects no longer required 	<p>Support in principle strengthen focus on matters related to heritage conservation and urban design</p>	<p>recommendation to review terms of reference in consultation with community and report back to Council</p>

Summary of Staff Comments on Spaxman Report

Goal/ Action	Recommendations from Spaxman/Lemon/Luxton Report	Staff Comments	Staff Action Required
<i>Action</i> 4.3	<p>Appoint a Gastown Heritage Conservation Manager with the mandate and authority to achieve the goals of this plan including encouraging and facilitating the rehabilitation of heritage structures in Gastown.</p> <p>Role:</p> <ul style="list-style-type: none"> - coordinate City's interests - work with Gastown Heritage Comm. - assist building owners in determining the work needed to conserve their building, - advise them about the procedures and incentives available - assist them in preparing the necessary documentation and obtaining approvals. - position can be City staff or consultant for a five-year period 	<ul style="list-style-type: none"> - resources will be needed to implement plan - some question about whether a new position should be created - explore possibility of utilizing existing resources <p>- consultant option not supported</p>	<ul style="list-style-type: none"> - recommendation to report back to Council once scope of program defined by Council
<i>Action</i> 4.4	<p>Improve City Staff Services to Gastown by informing and training City staff about heritage conservation issues, and on the goals and actions of the Gastown Heritage Management Plan.</p>	<p>Support inform staff about plan and objectives</p>	
GOAL 5	<p>Provide clear standards and guidelines to owners, designers, advisory panels and decision makers to guide their actions when considering physical change to buildings in Gastown.</p>		

Summary of Staff Comments on Spaxman Report

Goal/ Action	Recommendations from Spaxman/Lemon/Luxton Report	Staff Comments	Staff Action Required
<i>Action</i> 5.1	Adopt the Conservation Standards and Rehabilitation Guidelines (use BC Heritage Trust publications until national standards and guidelines are available),	Support - currently used in Chinatown	Council recommendation to adopt as part of GHMP report
<i>Action</i> 5.2	Adopt the Design Guidelines as set out in Appendix A.	Support	Council recommendation to adopt as part of report on GHMP
<i>Action</i> 5.3	Adopt the Maintenance Standards (use BC Heritage Trust publications until City's standards and guidelines produced) - all owners will be encouraged to follow these maintenance provisions, - become obligatory when a conservation incentive is received	Support , required for incentives	Council recommendation as part of GHMP report
<i>Action</i> 5.4	Finalize and adopt the Heritage Maintenance Bylaw and Maintenance Guidelines for Heritage Buildings, currently under review by the City, for use city-wide and for Gastown specifically	Support , partially completed by heritage staff	heritage staff to finalize

Summary of Staff Comments on Spaxman Report

Goal/ Action	Recommendations from Spaxman/Lemon/Luxton Report	Staff Comments	Staff Action Required
<i>Action</i> 5.5	<p>Establish procedures for interpretation and application of guidelines to describe circumstances where the Standards and Guidelines are used on a voluntary or required basis</p> <ul style="list-style-type: none"> - Where linked to an incentive package, set out the need for a conservation report and thorough documentation - establish process for certifying the compliance of completed work as part of an incentive package 	Support	develop as part of implementation of incentive program when reporting back on administration of incentive program
GOAL 6	<p>Encourage Economic Revitalization For the Gastown area</p> <p>Support the economic revitalization and long-term economic stability of the historic area by establishing a conservation incentive program and removing disincentives from current regulations and processes, thereby enabling the area's historic resources to contribute effectively to the City's prosperity and the quality of life for its citizens.</p>		
<i>Action</i> 6.1	<p>Establish a conservation incentive program that provides financial and non-financial assistance to the owners and retailers, as set out in Goal #3 of this Plan, to conserve heritage buildings and rejuvenate the Gastown area.</p>	See proposed actions in goal #3	

Summary of Staff Comments on Spaxman Report

Goal/ Action	Recommendations from Spaxman/Lemon/Luxton Report	Staff Comments	Staff Action Required
<i>Action</i> 6.2	Implement the area improvement strategies emerging from the City's other Gastown studies covering land use, housing, transportation and economic revitalization of the area.	Support noting that items will be completed over time	
<i>Action</i> 6.3	Pursue new opportunities for housing, commerce and tourism within, and adjacent to the revitalized heritage area. For example, once active heritage related building restoration is well underway, the Gastown Business Improvement Association (BIA), with City's assistance, would develop and implement an office and retail retention and recruitment program.	support in principle but short on detailed actions on how to achieve City has provided support to GBIS to develop a marketing program	- work with GBIS to complete and implement
<i>Action</i> 6.4	Create employment by supporting the building restoration trades, retail and service industries, and providing new commercial opportunities.	No clear actions how to accomplish	
<i>Action</i> 6.5	Reinforce and support Gastown's importance as a popular tourist destination through implementing the recommendations of this Plan, and creating a community and region-wide awareness and promotional program, together with the active support of the Mayor and Council, the Gastown BIA Board and its members, and Tourism Vancouver.	Support	community to take lead role

Summary of Staff Comments on Spaxman Report

Goal/ Action	Recommendations from Spaxman/Lemon/Luxton Report	Staff Comments	Staff Action Required
<i>Action 6.6</i>	Encourage long-term investment through area-wide economic stabilization, thereby creating improved market conditions and opportunities. This means starting with the approval and implementation of this Plan, which would be phased according to agreed priorities (Council and community priorities), and available financial resources, and monitored according to agreed improvement targets.	- Support for setting priorities and targets and developing system to monitor	- report to Council on GHMP recommends annual reporting

Financial Incentives for Heritage Conservation in Selected Canadian Cities

<i>Jurisdiction</i>	<i>Program</i>	<i>Description</i>	<i>Year Started</i>
Victoria (Downtown)	property tax	-up to 10 year exemption for seismic costs for conversion to residential	1998
	Grants	- Façade rehabilitation program - up to 50% on a matching basis	1991
New Westminster (Columbia Street)	Grants	- seismic costs for upgrading residential - up to \$200,000 covering up to 25% of costs	2000
	Grants	- Building improvement grant (focus on facades) - up to \$50,000 on a matching basis	2000
Calgary	Grants	- Stephen Avenue - matching grants for facade rehabilitation - 50% of costs up to maximum of \$75,000	1992

<i>Jurisdiction</i>	<i>Program</i>	<i>Description</i>	<i>Year Started</i>
	grants	- 50% of costs up to \$300,000 - minimum project value is \$75,000	proposed April 2002
Edmonton	property tax	3 levels i) 5 year rebate on building portion of property tax ii) 2 year rebate for building and land while rehabilitation underway iii) 5 year freeze following rehabilitation where rate is held to pre-rehabilitation level - maximum 7 year period	1988
Saskatoon	Property tax	50% of eligible rehabilitation costs to max. \$150,000 - maximum 10 year exemption - for heritage register properties, 20% of eligible rehabilitation costs to max. \$30,000	1999
Regina	Property tax	- 50% of rehabilitation costs up to maximum of \$150,000	1991

<i>Jurisdiction</i>	<i>Program</i>	<i>Description</i>	<i>Year Started</i>
		- 10 year max.	
	Grants	- \$25,000	1991
Winnipeg	Centre Venture Tax Credit	- Downtown (smaller projects) - 50% of eligible costs to max. \$250,000 - can be used to pay property, business and amusement taxes	1998
	City Tax credit program	Downtown (larger projects) - matches up to 50% of private investment - can be used to pay property, business and amusement taxes	1998
	Grants	- Up to \$50,000 for commercial projects - 50/50 cost share basis	1998
Toronto	Property tax rebate	- 40% of annual property tax up to max. of \$500,000	- approved Feb. 2002, requires amendment to prov. heritage act

<i>Jurisdiction</i>	<i>Program</i>	<i>Description</i>	<i>Year Started</i>
	Tax back grant	To offset increase in taxes in post rehabilitation period	- supported in Feb. 2000, but after rebate program approved (above) Council directed staff to report back in 2004
Charlottetown	Property tax freeze	Graduated over 5 years Year 1 = 100% Year 2 = 80% Year 3 = 60% Year 4 = 40% Year 5 = 20%	1999
	Grants	30% of costs to max of \$2,500	1999