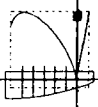


Site, Surrounding Zoning
5733 Vine St.



City of Vancouver



ROITCH
HEMPHILL
ASSOCIATES
ARCHITECTS

PLANNING HOUSE
1010 FOMELL STREET
VAN COUVER, B.C.
CANADA
V6A 1G1
TEL: 604-681-4002
FAX: 604-681-1011

NO. 0121
DATE: 11 NOV 2006
BY: [Signature]
CHECKED BY: [Signature]
DATE: 11 NOV 2006
APP. APPLICATION

NO. 0121
DATE: 11 NOV 2006
BY: [Signature]
CHECKED BY: [Signature]
DATE: 11 NOV 2006
APP. APPLICATION

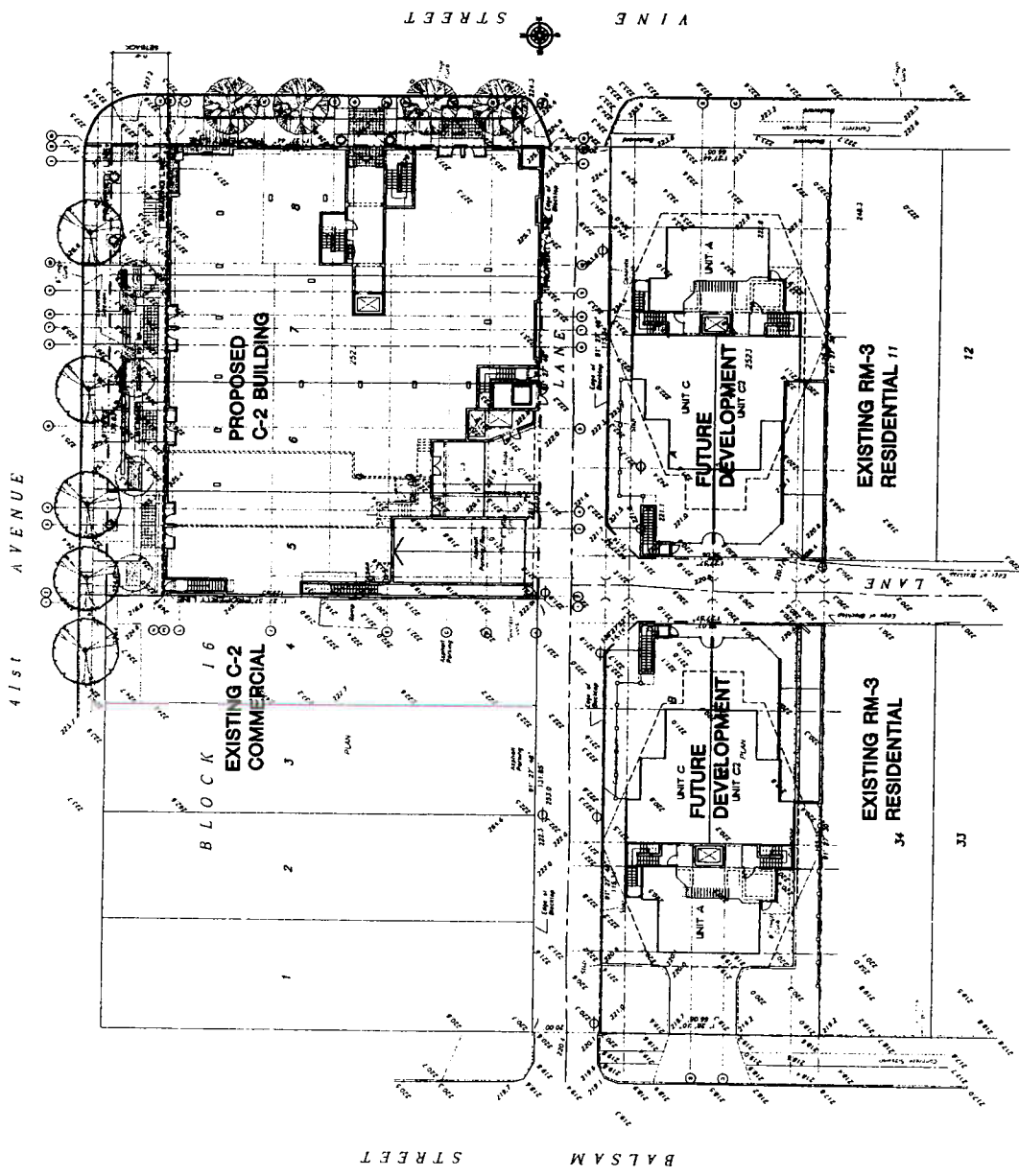
OVER: BRANKU HOLDINGS LTD.
2300 & 2350
W 41ST AVE. C-2
VANCOUVER, B.C.

OVERALL SITE
CONTEXT PLAN

DRAWING SHEET NO. 0121
SCALE: 1/8" = 1'-0"
DATE: OCT 2006
DRAWN BY: [Signature]
CHECKED BY: [Signature]

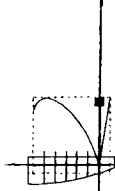
PROJECT NO. 0121
SCALE: 1/8" = 1'-0"
DATE: OCT 2006
DRAWN BY: [Signature]
CHECKED BY: [Signature]

1398129



NOTES:

1. ALL DIMENSIONS AND OFFSETS FROM THE PROPOSED BUILDING SHALL BE SHOWN IN FEET AND INCHES.
2. ALL DIMENSIONS AND OFFSETS ARE SHOWN IN FEET AND INCHES.
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20. ALL DIMENSIONS AND OFFSETS ARE SHOWN IN FEET AND INCHES.



**ROSITCH
HEMPHILL
ASSOCIATES**
ARCHITECTS

TILKINGTON HOUSE
D. 30 WHEEL STREET
VAN DYKE, S.C.
C. A. N. A. D. A.
V. C. A. I. G. I.
TEL. 604-671-6202
FAX. 604-671-1011

NO. 0000
DATE 23 NOV 2006
CLIENT
DATE OF APPLICATION

NO. 0000
DATE 23 NOV 2006
CLIENT
DATE OF APPLICATION

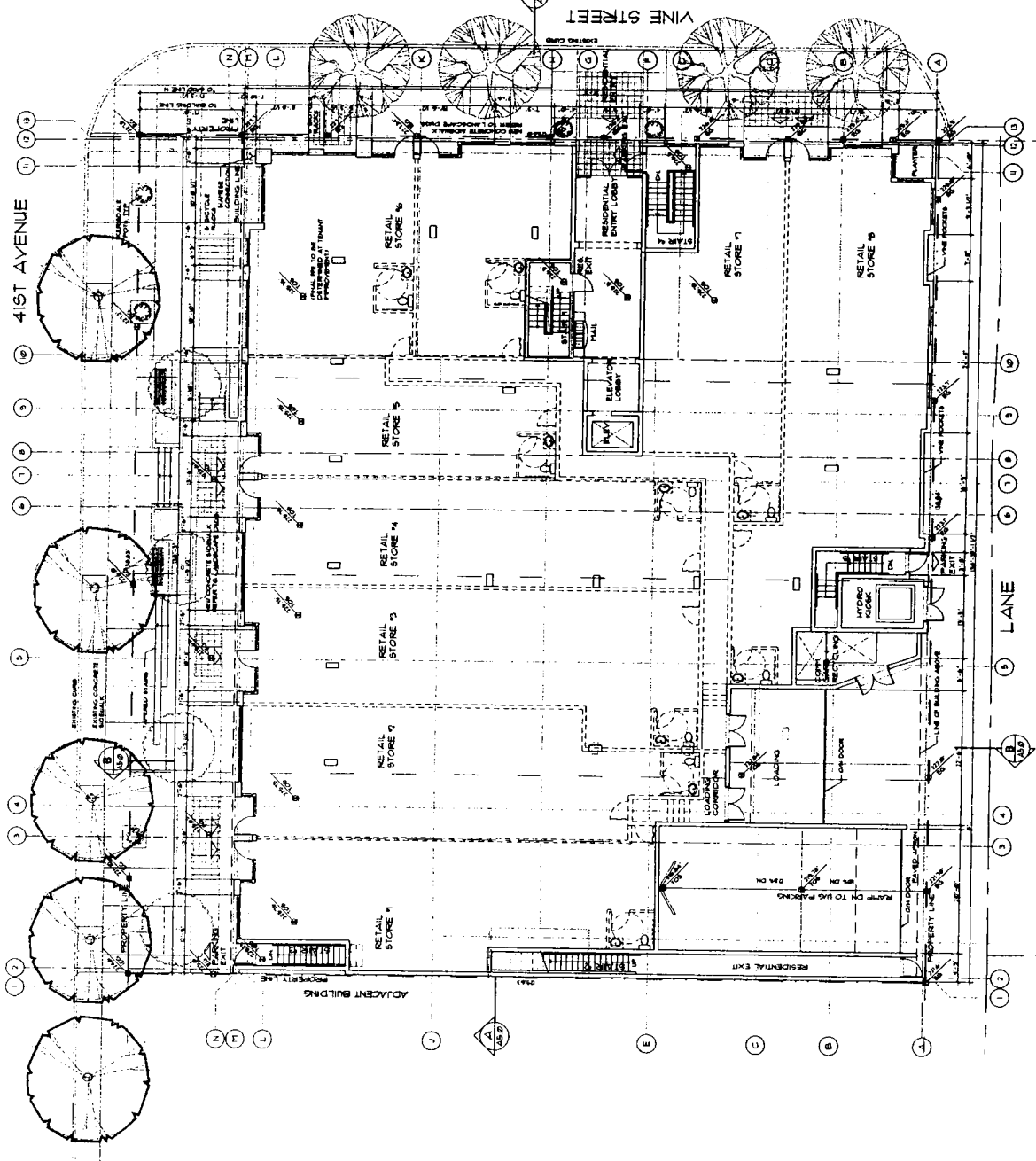
BRANKU HOLDINGS LTD.
2300 & 2350
W 41ST AVE C-2
VANCOUVER, B.C.

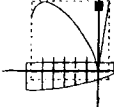
1ST FLOOR
SCALE 1/8"=1'-0"
DATE 23 NOV 2006
PROJECT NO. 0121

A3.0
PLOT DATE 23 NOV 2006

- LEGEND**
- EG EXISTING GRADE
 - IG INTERPOLATED EXISTING GRADE
 - PG PROPOSED GRADE
 - PM FINISHED FLOOR ELEVATION
 - TOC TOP OF CURB
 - TOF TOP OF FINISH FLOOR
 - TOP TOP OF PARAPET
 - BOF BOTTOM OF PARAPET
 - SC SHOWER CONNECTION
 - SP SPRINKLER PROTECTION
 - IN INSULATION ON CEILING

- NOTES**
1. READING GRADE INDICATIONS TAKEN FROM SURVEYORS DRAWING. REFER TO SHEET 1.
 2. ALL GRADES AND DIMENSIONS ARE SHOWN IN FEET AND INCHES.
 3. PARAPETS SHALL BE FINISHED WITH A MINIMUM CLEARANCE FROM LOWEST OVERHEAD POWER LINES.
 4. ALL PARAPETS SHALL BE FINISHED WITH A MINIMUM CLEARANCE FROM LOWEST OVERHEAD POWER LINES.
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 19. ALL PARAPETS SHALL BE FINISHED WITH A MINIMUM CLEARANCE FROM LOWEST OVERHEAD POWER LINES.
 20. ALL PARAPETS SHALL BE FINISHED WITH A MINIMUM CLEARANCE FROM LOWEST OVERHEAD POWER LINES.





**ROSITCH
HEMPHILL
ARCHITECTS**
 PULKINGTON HOUSE
 10 - BOWEN STREET
 VANCOUVER, B.C.
 CANADA
 TEL: (604) 681-0033
 FAX: (604) 681-1011

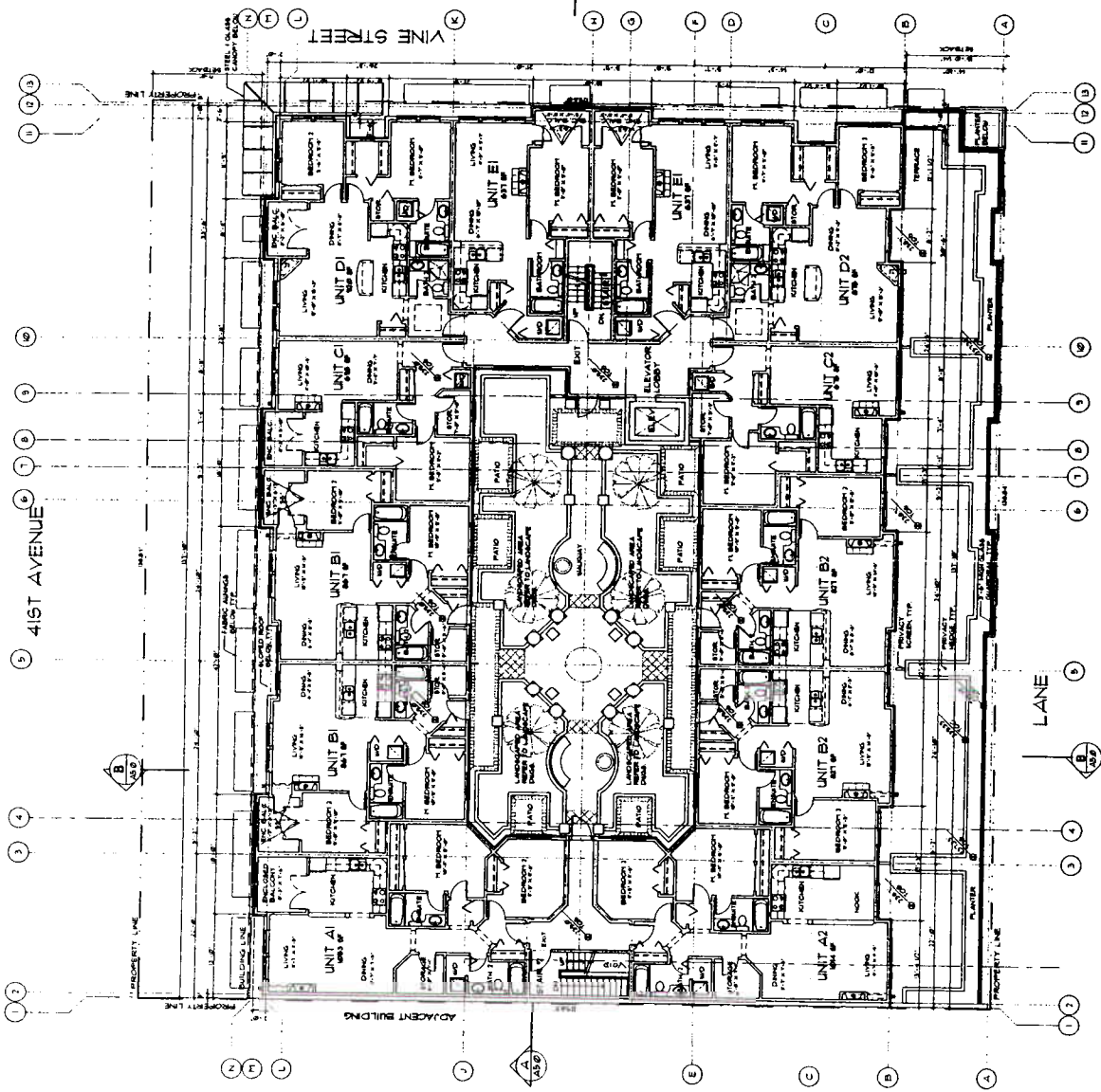
NO. 1000
 DATE: 11/27/98
 CLIENT: BRANKU HOLDINGS LTD.
 PROJECT: 2ND FLOOR PLAN

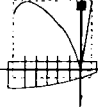
BRANKU HOLDINGS LTD.
 2300 & 2360
 W 41ST AVE. C-2
 VANCOUVER, BC
 DRAWING NO. 0121
 DATE: 11/27/98

A3.1
 PROJECT NO. 0121
 DATE: 11/27/98

- LEGEND**
- EG EXISTING GRADE
 - EG INTERPOLATED EXISTING GRADE
 - FF FINISHED FLOOR ELEVATION
 - TOU TOP OF WALL
 - TOB TOP OF BALCONY
 - BOB BOTTOM OF BALCONY
 - SPRINKLER CONNECTION
 - RAV. ROOF VENT
 - ORV. RAIN WATER LEADER
 - RD ROOF DRAIN
 - FD FLOOR DRAIN
 - LD SEE MECHANICAL
 - PD PATIO DRAIN
 - CD CATCH BASIN
 - DR DRAIN
 - FRS REFRIGERATOR
 - LS LIFT RISER
 - RS ROOF RISER
 - RSB ROOF RISER

- NOTES:**
1. ALL DIMENSIONS AND DIMENSIONS ARE SHOWN IN METERS.
 2. ALL DIMENSIONS SHALL BE ACCORDING TO THE FINISHED FLOOR GRADE UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS SHALL BE ACCORDING TO THE FINISHED FLOOR GRADE UNLESS OTHERWISE NOTED.
 4. MECHANICAL ROOMS SHALL BE DESIGNED AND LOCATED TO MINIMIZE VIBRATION AND NOISE IMPACT ON THE RESIDENCE AND COMPLY WITH LOCAL BY-LAW 10.
 5. DIRECT VENT AND EXHAUST SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
 6. ALL INCLUDED BALCONIES SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE LOCAL IMPROVED BALCONY BY-LAW.
 7. ALL INCLUDED BALCONIES TO HAVE PERIMETER FLOOR FINISH TYPICAL.





**ROSITCH
HEMPHILL
ASSOCIATES**

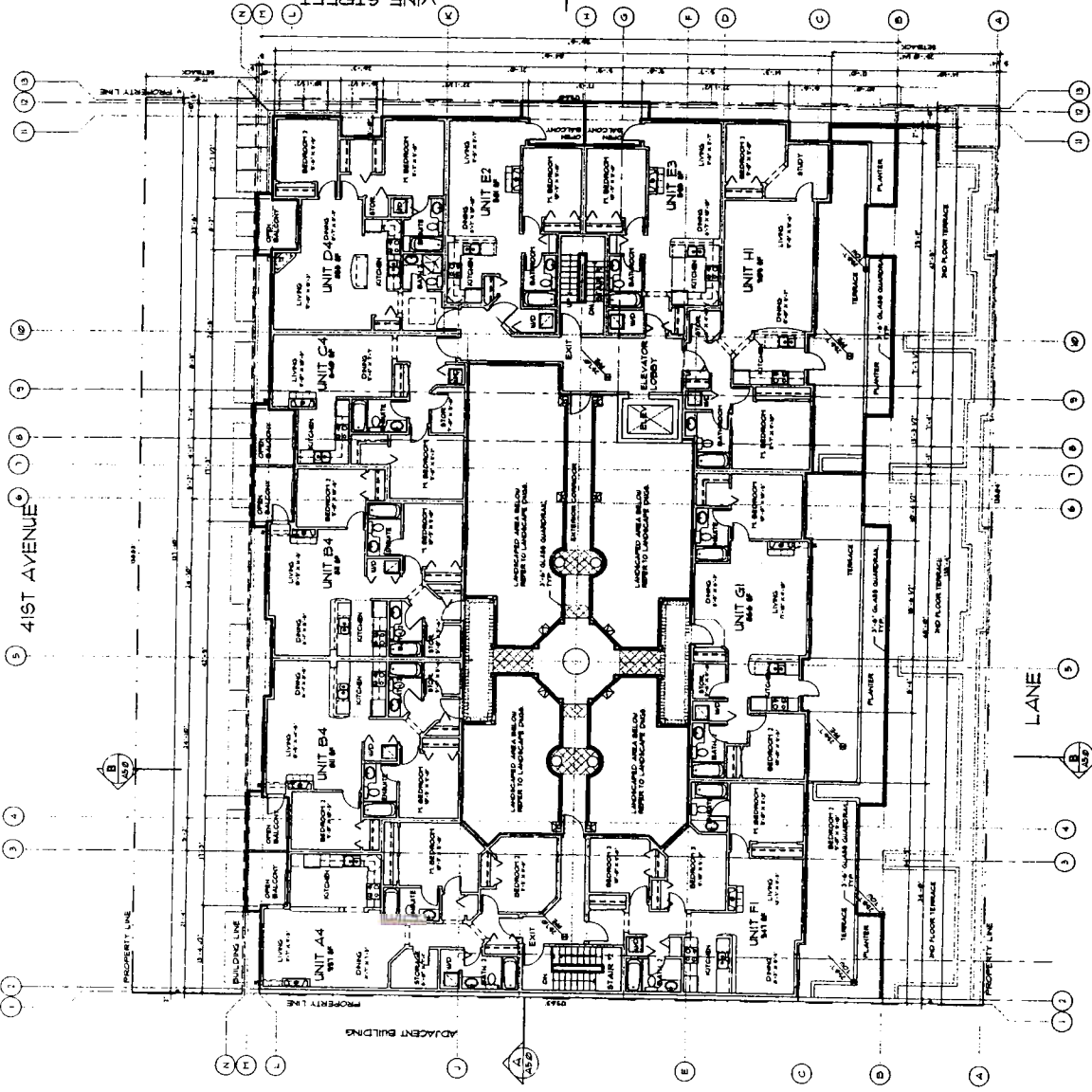
PLANNING HOUSE
100 BOWEN STREET
VANCOUVER, B.C.
V6A 1G1
TEL: (604) 681-0002
FAX: (604) 681-1011

NO. 1000
DATE: 10/1/01
BY: [Signature]
PROJECT: 1000

- LEGEND**
- EG EXISTING GRADE
 - EG INTERPOLATED EXISTING GRADE
 - FG FINISHED FLOOR GRADE
 - FG FINISHED FLOOR ELEVATION
 - TOU TOP OF WALL
 - BOU BOTTOM OF WALL
 - TOP TOP OF PARAPET
 - BOU BOTTOM OF PARAPET
 - SPRINKLER PROTECTION
 - DRY ROOF AIR
 - DRILL MAN WATER LEADER
 - RD ROOF DRAIN
 - LD LANDSCAPE DRAIN
 - ME MECHANICAL
 - PD SEE MECHANICAL
 - CB CATCH BASIN
 - DW DRAIN WASHER
 - LS LAST WASHER
 - WD WASHER / DRYER
 - RS ROOF SHELF

NOTES

1. ALL GRADES AND DIMENSIONS ARE SHOWN IN MET. UNITS.
2. ARCHITECTURAL FEATURES SHALL BE ACCORDANCE WITH THE FULL DESIGN AND CONSTRUCTION DRAWINGS. ALL CONSTRUCTION SHALL BE ACCORDANCE WITH THE CONSTRUCTION SPECIFICATIONS AS PREPARED BY THE ARCHITECT, SUBJECT TO CHECK.
3. VERIFY THE CONTRACTOR'S AND SUBCONTRACTOR'S QUALITY CONTROL PROCEDURES.
4. MECHANICAL EQUIPMENT SHALL BE CHECKED AND LOCATED TO PREVENT IT FROM BEING ON THE INTERROOM AND CORRY WITH HOME BY THE END OF THE PROJECT.
5. ALL MECHANICAL EQUIPMENT SHALL BE INSTALLED IN CONFORMANCE WITH MANUFACTURER'S SPECIFICATIONS.



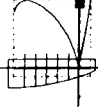
BRUNGU HOLDINGS LTD.

**2300 & 2350
W 41ST AVE C-2
VANCOUVER BC**

4TH FLOOR PLAN

DATE: 10/1/01
DRAWN BY: [Signature]
CHECKED BY: [Signature]
DATE: OCT 2001
DRAWN BY: [Signature]
DATE: [Signature]

PROJECT NO: 0121
SCALE: 1/8" = 1'-0"



**ROSITCH
HEATHILL
ASSOCIATES**
ARCHITECTS

PLIKINGTON HOUSE
10700 SHELL STREET
FARMINGTON, B.C.
V. C. A. 1 G.
V. C. A. 1 G.
TEL: (504) 641-4002
FAX: (504) 641-1011

NO. 10000
DATE: 11-20-00
BY: [Signature]
CHECKED: [Signature]

NO. 10000
DATE: 11-20-00
BY: [Signature]
CHECKED: [Signature]

OWNER:
BRANKU HOLDINGS LTD.

2300 & 2350
W 41ST AVE C-2
FARMINGTON, BC

PROJECT:
ROOF PLAN

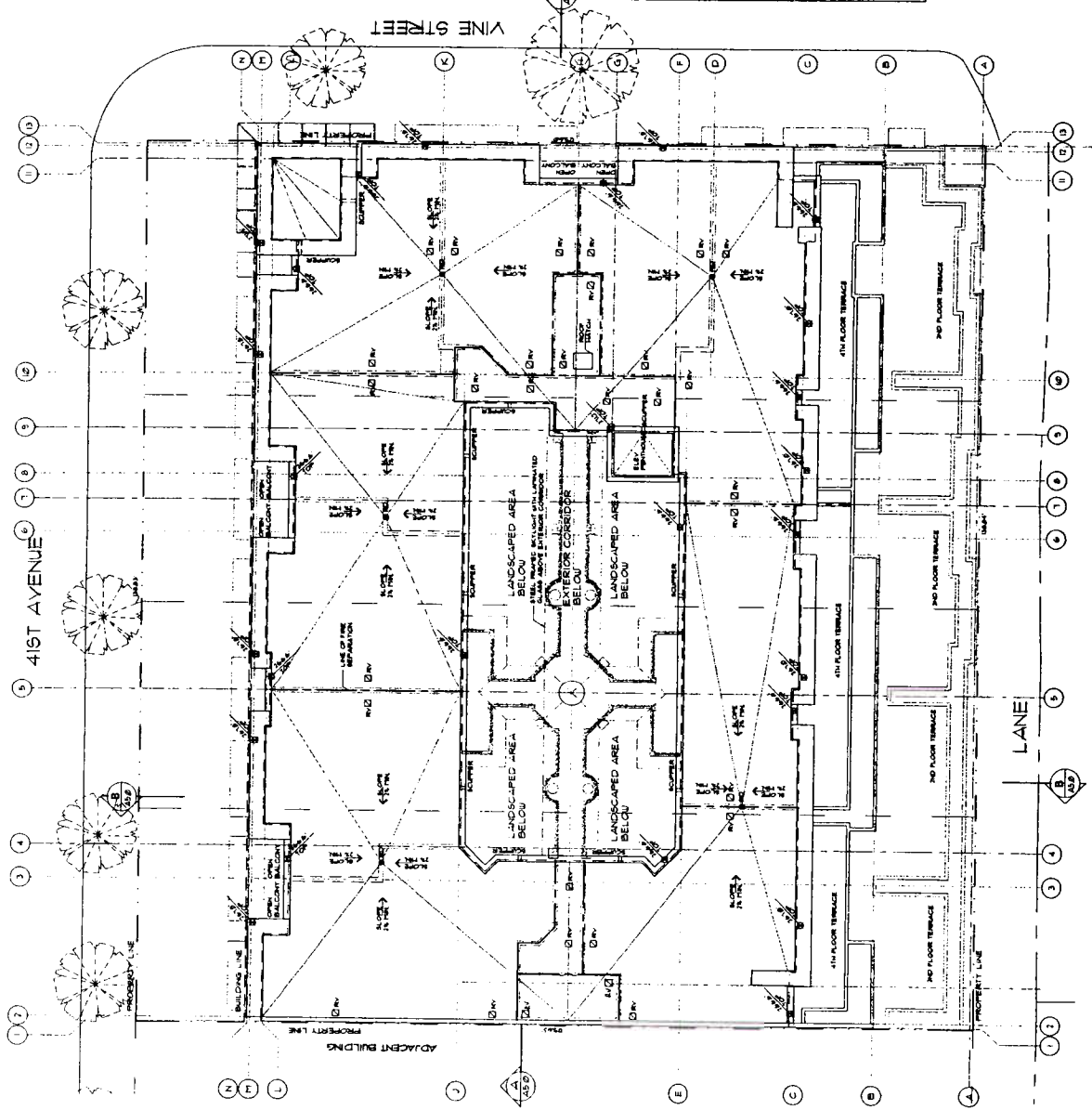
PERMITS: 8811-34 V-4
NO. 10000
DATE: OCT. 18/00
DRAWN: AM
CHECKED: KJ

PROJECT NO: 0121
SCALE: 1/8" = 1'-0"
A34

PLOT DATE: 11-NOV-2000

- LEGEND**
- EG EXISTING GRADE
 - IG INTERPOLATED EXISTING GRADE
 - FG FINISHED GRADE
 - PG PROPOSED GRADE
 - TOA TOP OF ANGLE
 - TOB TOP OF BENCH
 - TOC TOP OF CURB
 - TOE TOP OF ELEVATION
 - TOF TOP OF FINISH
 - TOG TOP OF GROUND
 - TOH TOP OF HILL
 - TOI TOP OF INLET
 - TOJ TOP OF JUMP
 - TOK TOP OF KICK
 - TOL TOP OF LANE
 - TOM TOP OF MOUND
 - TON TOP OF NOSH
 - TOO TOP OF OSH
 - TOV TOP OF VALLEY
 - TOX TOP OF XING
 - TOY TOP OF YARD
 - TOZ TOP OF ZONE
 - TOA TOP OF ANGLE
 - TOB TOP OF BENCH
 - TOC TOP OF CURB
 - TOE TOP OF ELEVATION
 - TOF TOP OF FINISH
 - TOG TOP OF GROUND
 - TOH TOP OF HILL
 - TOI TOP OF INLET
 - TOJ TOP OF JUMP
 - TOK TOP OF KICK
 - TOL TOP OF LANE
 - TOM TOP OF MOUND
 - TON TOP OF NOSH
 - TOO TOP OF OSH
 - TOV TOP OF VALLEY
 - TOX TOP OF XING
 - TOY TOP OF YARD
 - TOZ TOP OF ZONE

- NOTES:**
1. ALL GRADES AND ELEVATIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
 2. ALL GRADES AND ELEVATIONS ARE TO BE PROVIDED WITHIN THE CORRELATION AND RESPECTIVE PORTIONS OF THE BUILDING.
 3. CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINAL DESIGN AND CONSTRUCTION OF THE ROOFING SYSTEM AND SHALL BE RESPONSIBLE FOR THE MECHANICAL SYSTEMS.
 4. MECHANICAL SYSTEMS SHALL BE DESIGNED AND LOCATED TO PREVENT ANY INTERFERENCE WITH THE ROOFING SYSTEM.
 5. MECHANICAL SYSTEMS SHALL BE DESIGNED AND LOCATED TO PREVENT ANY INTERFERENCE WITH THE ROOFING SYSTEM.
 6. MECHANICAL SYSTEMS SHALL BE DESIGNED AND LOCATED TO PREVENT ANY INTERFERENCE WITH THE ROOFING SYSTEM.
 7. ROOF COVERING TO BE INSTALLED IN ACCORDANCE WITH U.C. 901.
 8. ROOF VENTS SHALL BE INSTALLED IN ACCORDANCE WITH U.C. 901.
 9. ROOF VENTS SHALL BE INSTALLED IN ACCORDANCE WITH U.C. 901.
 10. ROOF VENTS SHALL BE INSTALLED IN ACCORDANCE WITH U.C. 901.
 11. ROOF VENTS SHALL BE INSTALLED IN ACCORDANCE WITH U.C. 901.

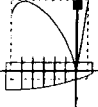


ADJACENT BUILDINGS
PROPERTY LINE

LANE

41ST AVENUE

VINE STREET



**ROSITCH
HEMPHILL
ASSOCIATES
ARCHITECTS**

PLANNING HOUSE
3000 W. 10TH ST.
MINNEAPOLIS, MN 55408
C.A.M.A.D.A.
V.C.A.I.G.I.
TEL: (612) 641-1002
FAX: (612) 641-1011

NO. 0000
CLIENT NAME: 0-001 1000
DATE: 03/10/10
DRAWING APPLICATION: 03/10/10

NO. 0000
DATE: 03/10/10
PROJECT NAME: 0-001 1000
DRAWING APPLICATION: 03/10/10

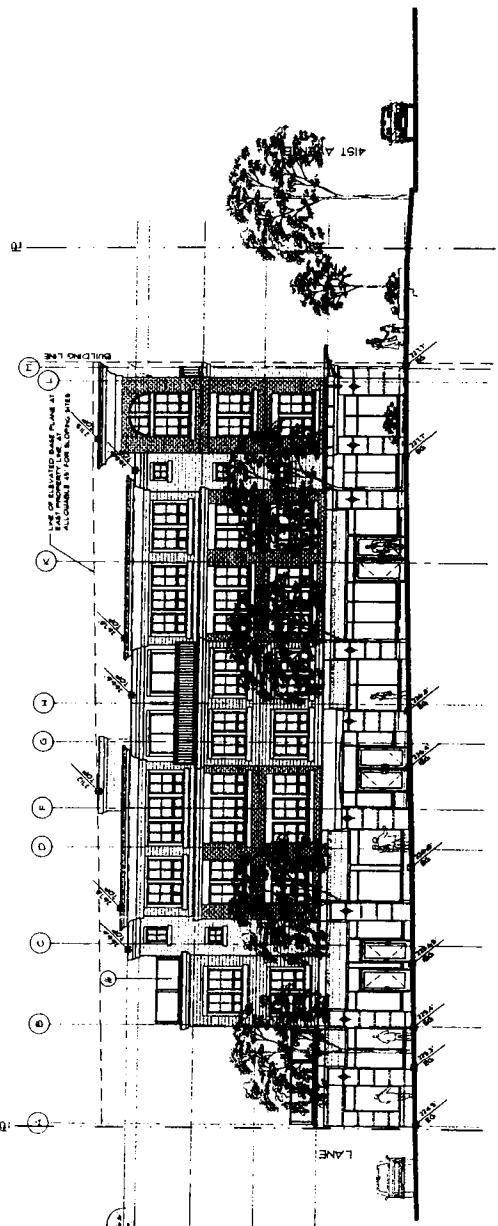
OWNER:
BRANKU HOLDINGS LTD.

**2300 & 2350
W 41ST AVE C-2**
MINNEAPOLIS, MN

PROJECT TITLE:
**EAST & NORTH
ELEVATIONS**

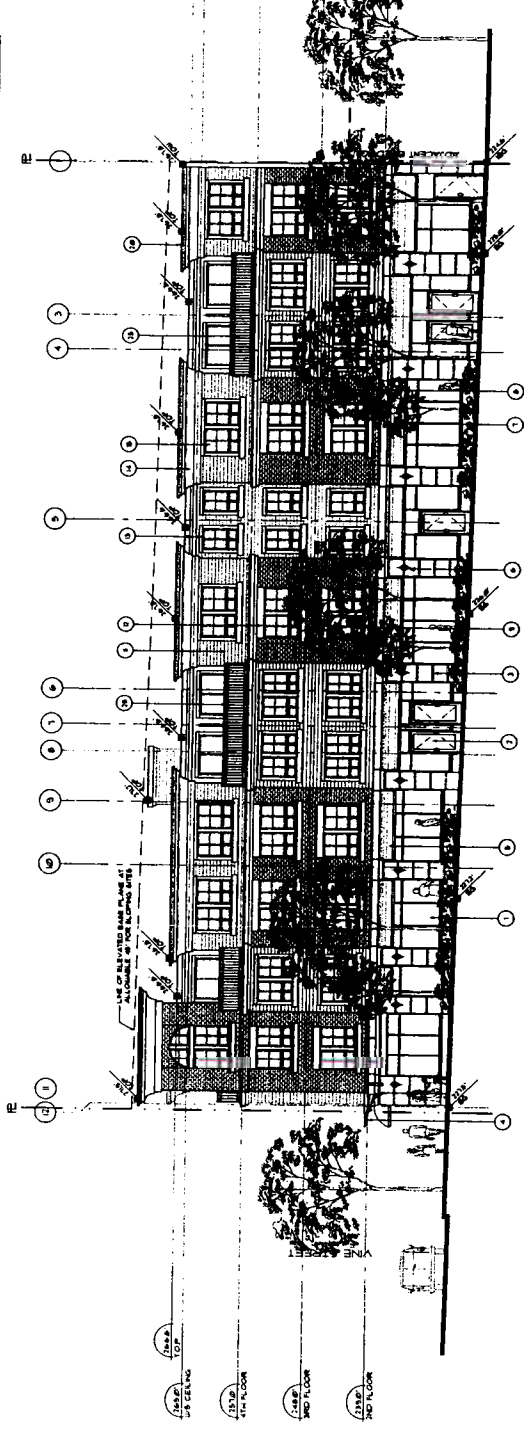
DATE: 03/10/10
SCALE: 1/8" = 1'-0"
DESIGNER: ROSITCH
DRAWN BY: JAH
CHECKED BY: JAH
DATE: 03/10/10

PROJECT NO.: 0121
SCALE: A4.0
PLOT DATE: 10/01/10



EAST ELEVATION (VINE STREET)

- MATERIAL LEGEND**
1. PRECAST CONCRETE FROM FRONT FACED
 2. PRECAST CONCRETE FROM REAR FACED
 3. PRECAST CONCRETE FROM SIDE FACED
 4. PRECAST CONCRETE FROM TOP FACED
 5. PRECAST CONCRETE FROM BOTTOM FACED
 6. PRECAST CONCRETE FROM INTERIOR FACED
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NORTH ELEVATION (41ST AVENUE)

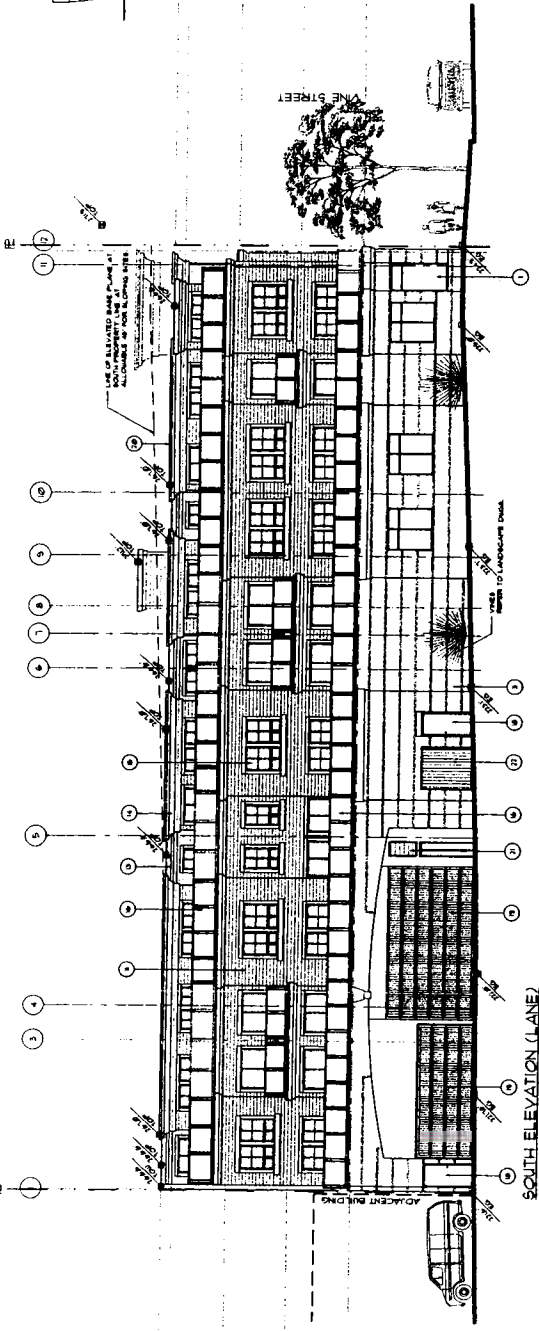
**ROSITCH
HEATHILL
ASSOCIATES**
ARCHITECTS

1111 WASHINGTON BOULEVARD
D. WASHINGTON, D.C. 20004
VALENTINE, D.C.
C.A.N.A.D.A.
V.L.A.I.G.I.
TEL: (202) 637-1002
FAX: (202) 637-1011

NO. 0000
DATE: 11 NOV 2000
CLIENT: BRANKU HOLDINGS LTD.
DRAWING: SOUTH ELEVATION

PROJECT: 2300 & 2350
W 41ST AVE C-2
ARCHITECT: BRANKU HOLDINGS LTD.
DATE: 11 NOV 2000
SCALE: 1/8" = 1'-0"
DRAWN: JAH
CHECKED: JAH
PLOT DATE: 11 NOV 2000

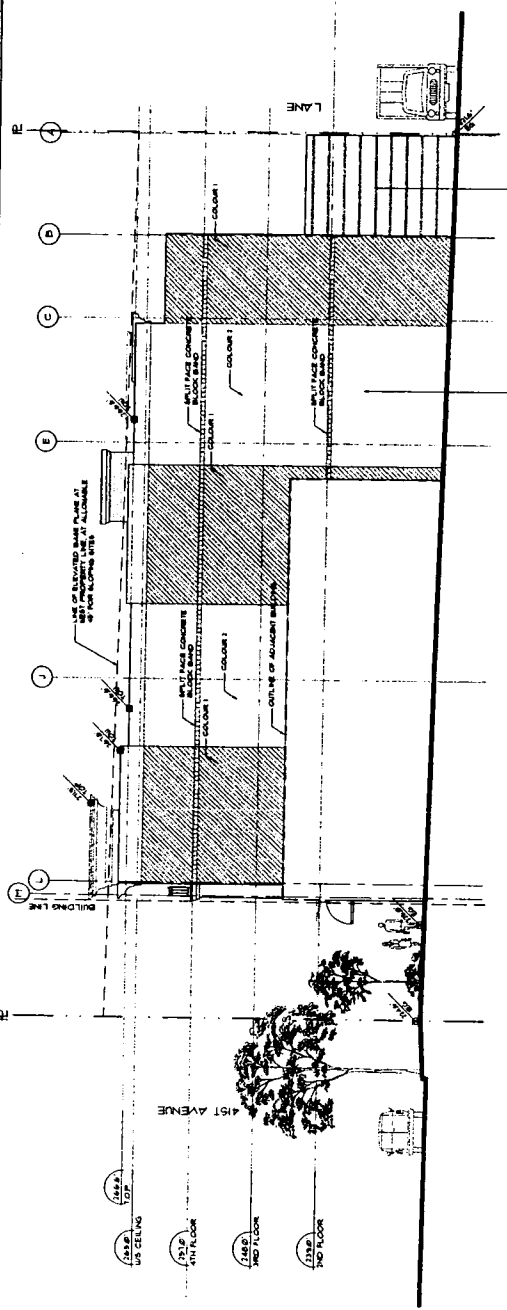
PROJECT: 2300 & 2350
W 41ST AVE C-2
ARCHITECT: BRANKU HOLDINGS LTD.
DATE: 11 NOV 2000
SCALE: 1/8" = 1'-0"
DRAWN: JAH
CHECKED: JAH
PLOT DATE: 11 NOV 2000



SOUTH ELEVATION (LANE)

MATERIAL LEGEND

1. POLYURETHANE FOAM INSULATION
2. 1/2" POLYURETHANE FOAM INSULATION
3. 1/2" POLYURETHANE FOAM INSULATION
4. 1/2" POLYURETHANE FOAM INSULATION
5. 1/2" POLYURETHANE FOAM INSULATION
6. 1/2" POLYURETHANE FOAM INSULATION
7. 1/2" POLYURETHANE FOAM INSULATION
8. 1/2" POLYURETHANE FOAM INSULATION
9. 1/2" POLYURETHANE FOAM INSULATION
10. 1/2" POLYURETHANE FOAM INSULATION
11. 1/2" POLYURETHANE FOAM INSULATION
12. 1/2" POLYURETHANE FOAM INSULATION



WEST ELEVATION (ADJACENT PROPERTY)

PROJECT: 2300 & 2350
W 41ST AVE C-2
ARCHITECT: BRANKU HOLDINGS LTD.
DATE: 11 NOV 2000
SCALE: 1/8" = 1'-0"
DRAWN: JAH
CHECKED: JAH
PLOT DATE: 11 NOV 2000

**ROSITCH
HEMPHILL
ASSOCIATES**
ARCHITECTS

FILIBERTON HOUSE
D - 80 FOREST STREET
A - 100 W. 11th St
C - 100 W. 11th St
V - 100 W. 11th St
TEL: (404) 641-1000
FAX: (404) 641-1011

NO. 0000
DATE: 11/20/2009
BY: J. ROSITCH
CHECKED BY: J. ROSITCH

NO. 0000
DATE: 11/20/2009
BY: J. ROSITCH
CHECKED BY: J. ROSITCH

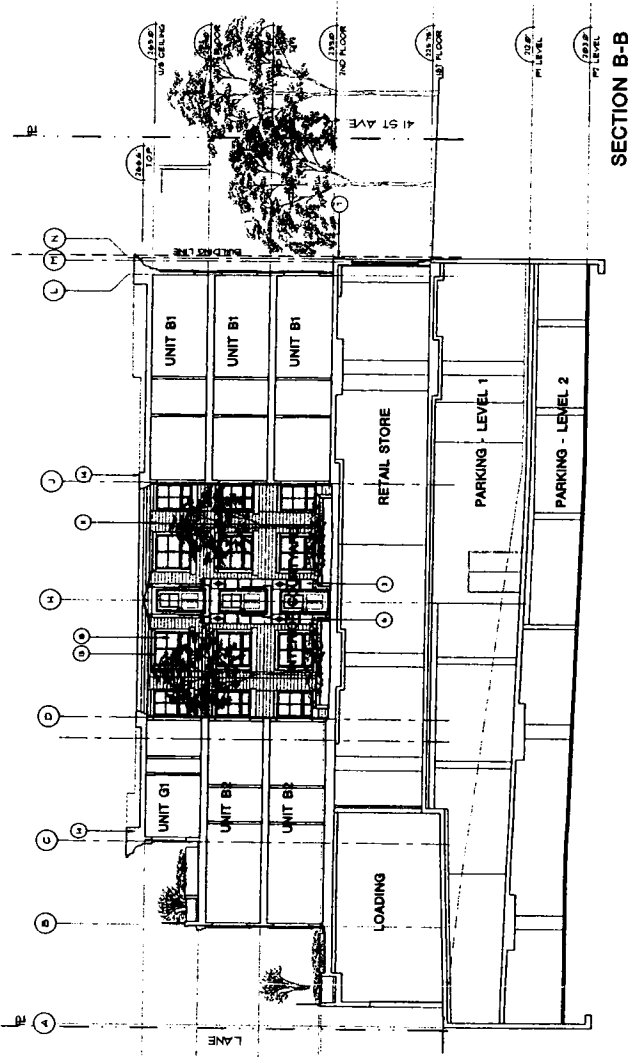
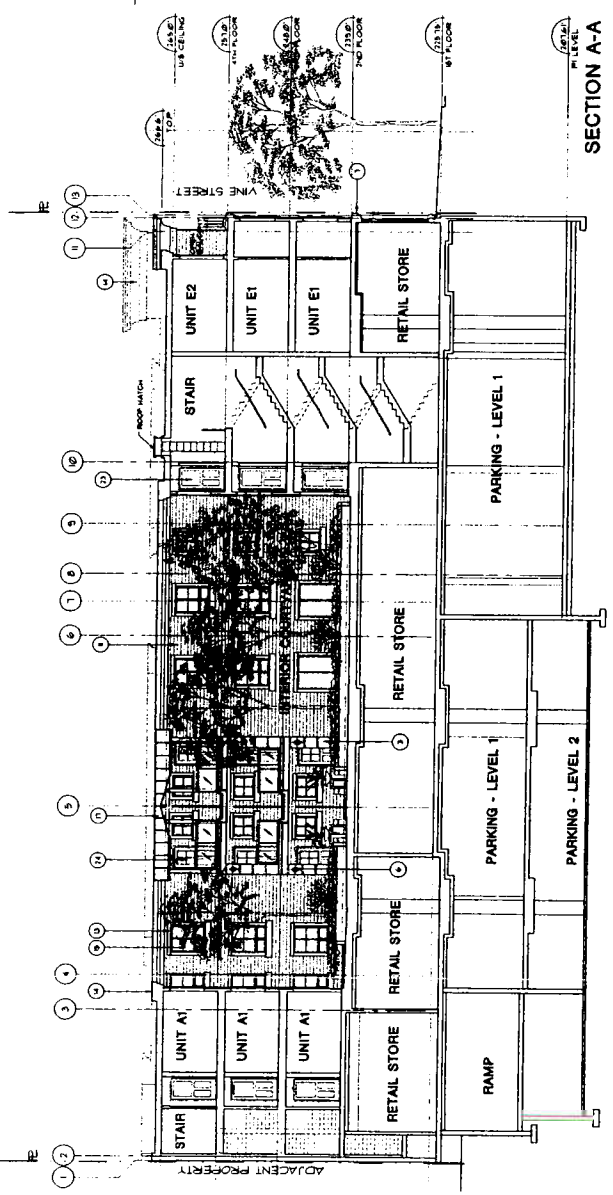
BRUNNEN HOLDINGS LTD.

2800 & 2860
W. 41ST AVE C-2
MEMPHIS, TN

COURTYARD
SECTIONS/ELEVATIONS

SCALE: 1/8" = 1'-0"
DATE: 11/20/2009
DRAWN BY: J. ROSITCH
CHECKED BY: J. ROSITCH
PROJECT NO: 0121

DATE: 11/20/2009
PROJECT DATE: 11/20/2009

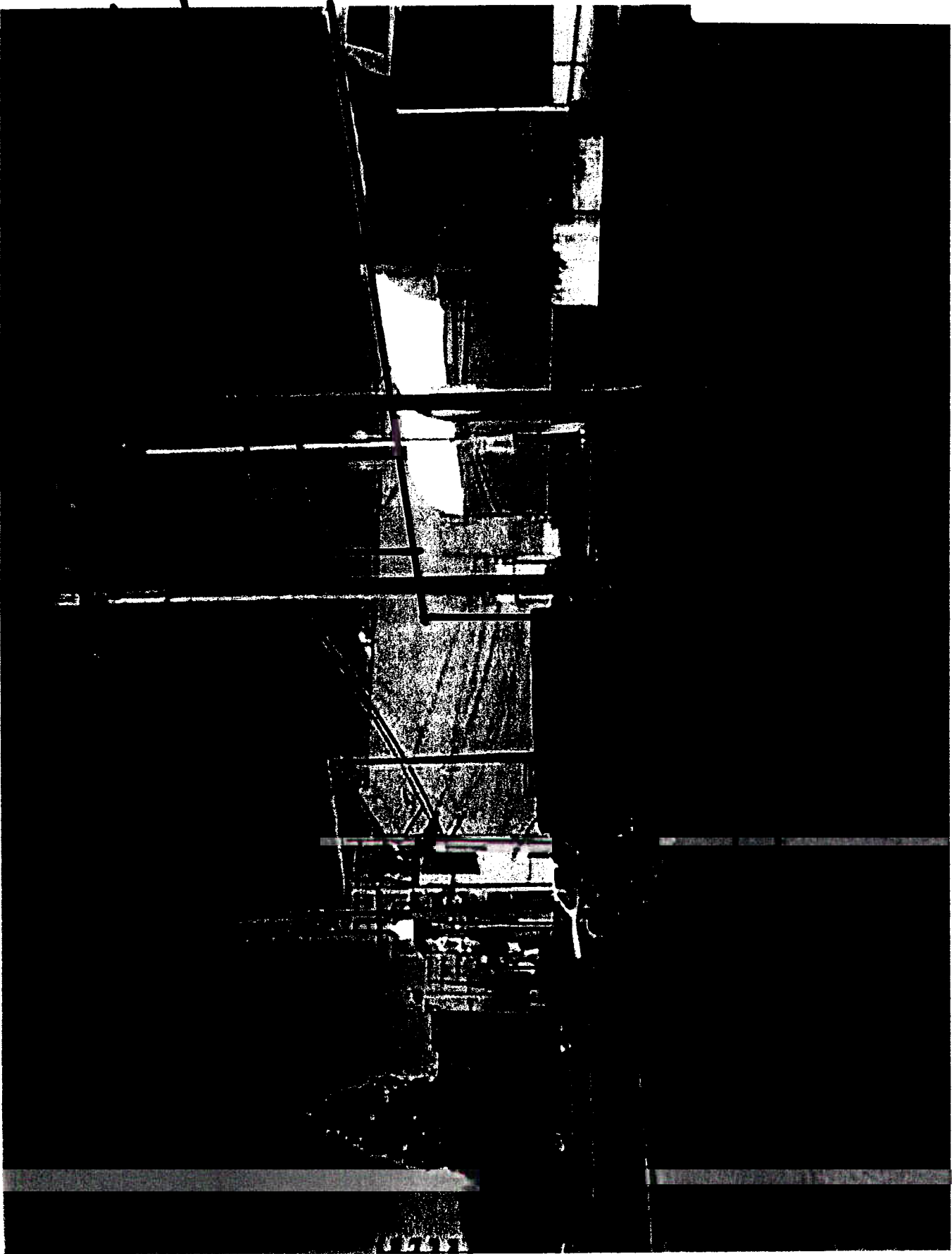


MATERIAL LEGEND

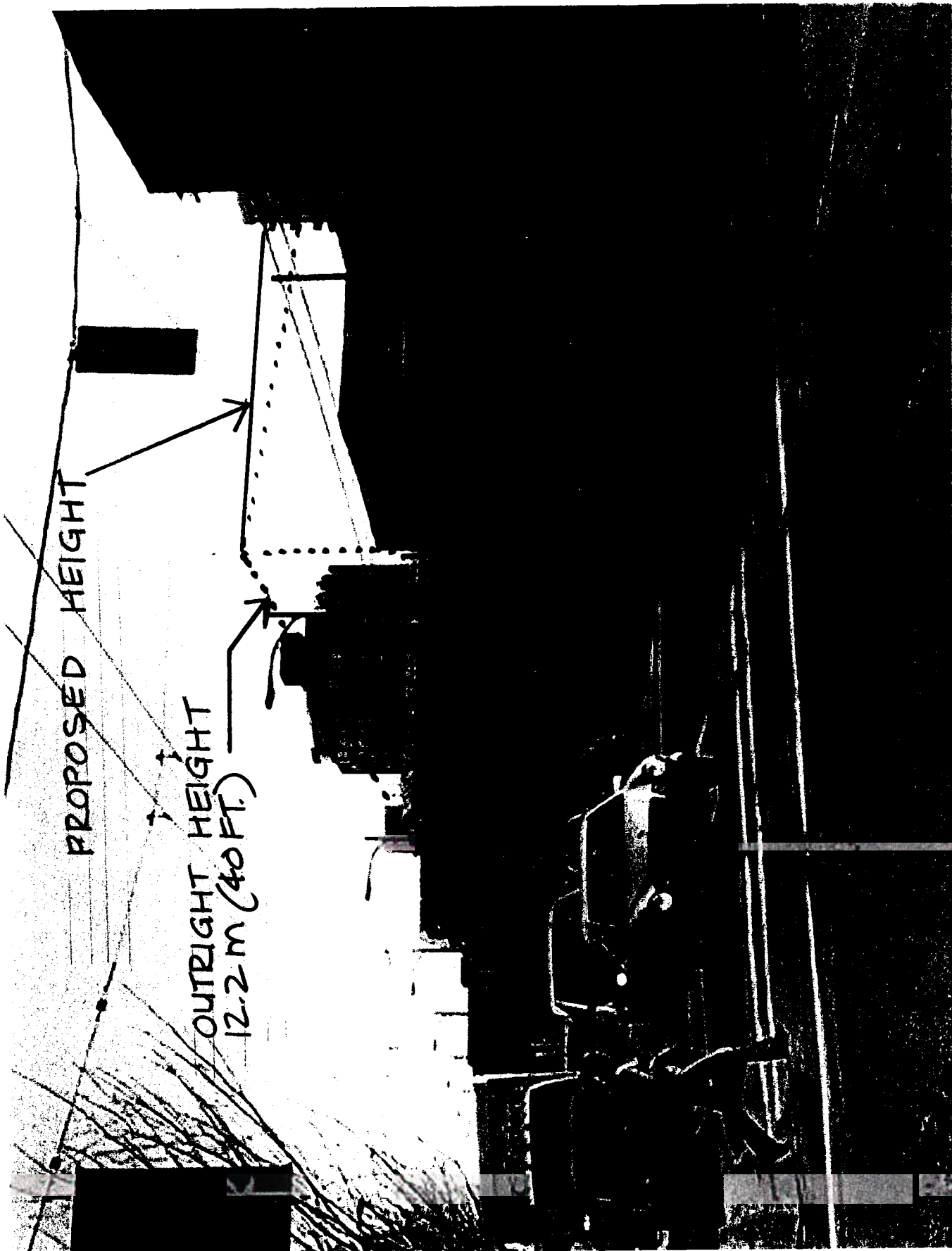
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1. VIEW NORTH ALONG VINE ST.



3. VIEW EAST ALONG CANE .



10, 41ST AVENUE FACADE WITHIN 40' HEIGHT.

URBAN DESIGN PANEL MINUTES

DATE: February 20, 2002

TIME: 4.00 p.m.

PLACE: Committee Room No. 1, City Hall

PRESENT: MEMBERS OF THE URBAN DESIGN PANEL:
Walter Francl (Chair)
Jeffrey Corbett
Lance Berelowitz
Gerry Eckford
Alan Endall
Bruce Hemstock
Jack Lutsky
Maurice Pez
Sorin Tatomir

NEW MEMBERS (NON-VOTING AT THIS MEETING):

Helen Besharat
Reena Lazar
Stuart Lyon
Kim Perry
Ken Terris

REGRETS: Tom Bunting
Richard Henry
Joseph Hruda

**RECORDING
SECRETARY:** Carol Hubbard

2. **Address:** 5733 Vine Street
DA: 406329
Use: Mixed (4 storeys)
Zoning: C-2
Application Status: Complete
Architect: Rositch Hemphill & Assoc.
Owner: H.Y. Louie Co. Ltd.
Review: First
Delegation: Keith Hemphill, Bruce Hemstock
Staff: Eric Fiss

EVALUATION: SUPPORT (7-0)

Introduction: Eric Fiss, Development Planner, presented this proposal and briefly explained why C-2 projects are brought to the Panel, to ensure a high standard of architectural design and to review height relaxations over 40 ft. As well, Mr. Fiss noted a study of the C-2 zone is being undertaken and is nearing

completion. He briefly reviewed the context for this proposal, located at the corner of Vine and West 41st Avenue, at the western end of the Kerrisdale commercial district.

The application proposes a 4-storey mixed use building - a concrete commercial base with wood frame residential above (34 dwelling units). The residential entry and lobby is off Vine Street. There is an internal courtyard and 1-1/2 levels of underground parking. A building line on West 41st Avenue is a constraint on this site. The 5 ft. crossfall on the site allows consideration of a relaxation of the 40 ft. maximum height. Marginal increases above 40 ft. are being sought. Materials are brick, architectural concrete and some accent areas of siding.

The advice of the Panel is sought on the following aspects:

- residential livability;
- architectural quality;
- materials;
- height relaxation;
- landscape design.

Keith Hemphill, Architect, described his design rationale, with further input from Bruce Hemstock, Landscape Architect, on the landscape plan.

Panel's Comments: The Panel unanimously supported this application and generally found it to be a very attractive project.

The Panel supported the height relaxation.

The Panel had no concerns about livability and was confident the courtyard will work quite well. One Panel member recommended treating the bedroom windows facing into the courtyard so that they are partially screened or blocked. There were some concerns about the "floating bridges" rather than a more typical galleria courtyard because they will never be gathering spaces where residents can look down onto the courtyard below. They also have a negative impact on the courtyard in terms of shadowing. On the plus side, this arrangement does avoid the interior corridor and provides for more livable floor plans and allows for cross ventilation in the units. One Panel member suggested looking at having two lobbies which would reduce the amount of corridor space crossing the courtyard. One Panel member questioned whether the trees in the courtyard would actually achieve the size being portrayed. There was a recommendation to consider mosaic paving in the courtyard.

The applicant was commended for achieving one unified space for the retail space so that it can be used functionally for one tenant.

Some Panel members questioned the number of different colours and materials being used, suggesting simpler would be better.

Applicant's Response: Mr. Hemphill assured the Panel the courtyard will be very well lit, as is the experience with a similar courtyard project. He added, locating the walkways in the centre is very deliberate, to avoid people walking directly beside bedrooms. As well, particularly at the upper levels, it provides a transparent but obvious separator. The light from the courtyard also makes a significant difference to the light within the interior of the units. He stressed, the intent was not to achieve a highly livable courtyard, rather an alternative to a double loaded corridor arrangement.