

■■■■ ZONING BOUNDARY

5702 GRANVILLE ST. DE 406362

DATE 2002 06 13

DRAWN WGS



CITY OF VANCOUVER PLANNING DEPARTMENT

FILENAME :F:FRM0FDEV\2001 FRM0FDEV.5702 GRANVILLE.DWG

IMPERIAL OIL LIMITED

Architectural/Engineering Services 80 Wynford Drive,
TEL (418) 441-7840/7845 Don Mills, Ontario
FAX (418) 441-7850 M3C 1K5

PRODUCTS DIVISION / MARKETING SERVICES

BEESELY ENGINEERING LTD. UNIT 9-1300 Ketchikan Court
CONSULTING CIVIL & STRUCTURAL ENGINEERS
PH: (604) 227-1349 BEESELY FILE NO. 99-4-72
FAX: (604) 227-1360 1550 STANDARD OWC
EMAIL: beesley@imperial.com

Date	Revision	By
00 12 20	0 DEVELOPMENT PERMIT APPLICATION	WJM
01 11 20	1 SITE NOTES REVISED	WJM
02 05 16	2 GARBAGE ENCLOSURE AND PARKING SPACES RELOCATED, NOTES ADJUSTED TRENCH DRAIN AND BICYCLE STORAGE NOTE ADDED, LANDSCAPE AREA REVISED.	WJM

Project: 41ST AVENUE & GRANVILLE STREET
VANCOUVER, BRITISH COLUMBIA

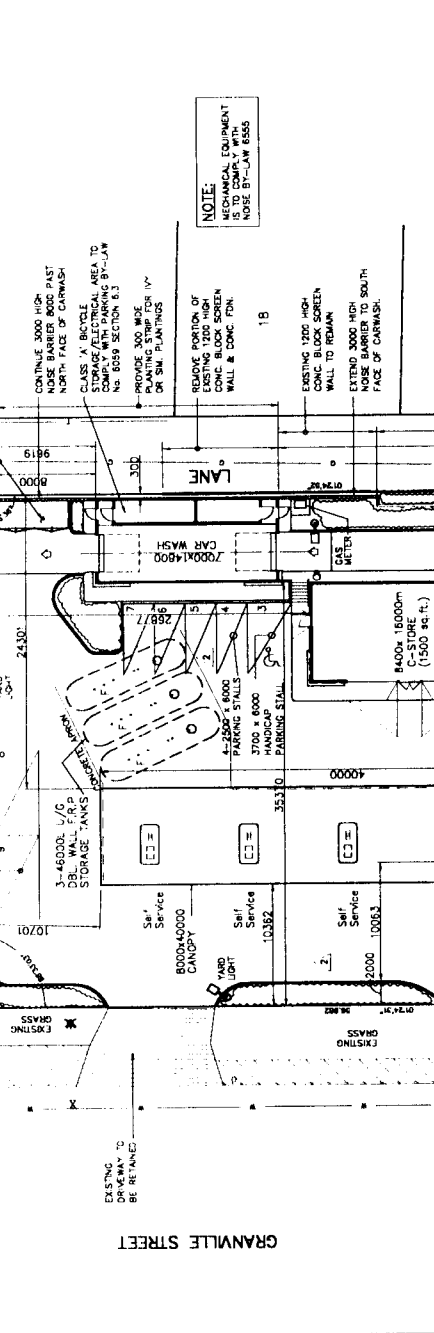
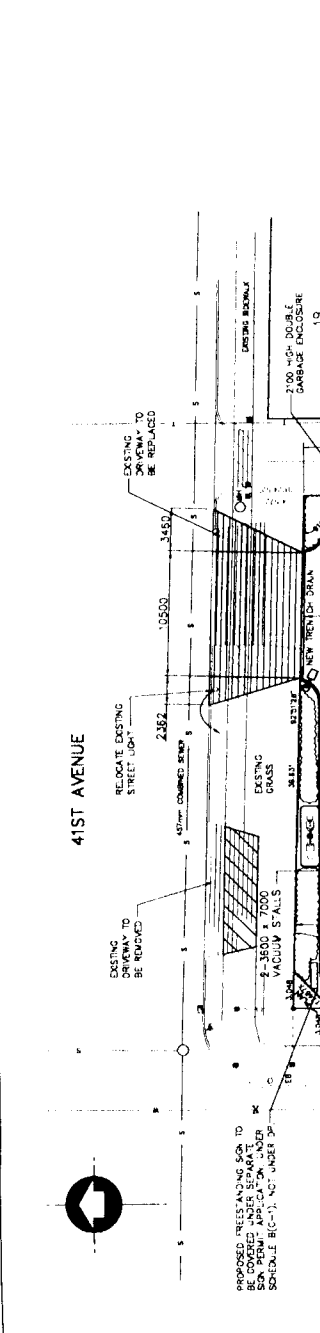
Drawing Title: SITE PLAN

Scale (plan): 1:200 Scale (elevation): 1:400 Date: 99 05 13 Drawn By: WJM Proj Manager: Rev. No. 2

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Scale: 1:200 Scale: 1:400 Date: 99 05 13 Drawn By: WJM Proj Manager: Rev. No. 2



SETBACKS:

C-STORES:
WEST FRONT YARD = 20.844m
EAST REAR YARD = 20.307m
EAST SIDE YARD = 18.880m
SOUTH SIDE YARD = 18.880m
CARWASH:
NORTH SIDE YARD = 15.172m
EAST SIDE YARD = 9.810m
SOUTH SIDE YARD = 9.322m
CANOPY:
NORTH FRONT YARD = 10.707m
WEST SIDE YARD = 10.367m
SOUTH REAR YARD = 9.322m

PARKING:
REQUIRED = 2
PROVIDED = 5

LOADING:
LOADING DOCK PROVIDED = 1
LOADING DOCK PROVIDED = 1

LANDSCAPING:
SITE AREA = 2467.8 sq.m. (5.6%)
PROVIDED = 246.6 sq.m. (5.6%)

LEGAL DESCRIPTION:
LOT 'A' OF LOT 1, BLOCK 8,
DISTRICT LOT 526, GROUP 1,
NEW WESTMINSTER DISTRICT,
PLAN 11771

BUILDINGS SITE STATISTICS:
SITE AREA BLDG AREAS:
= 2570.34sq.m.
= 134.4 sq.m.
= 12.2 sq.m.
= 246.2 sq.m.
= 9.33%

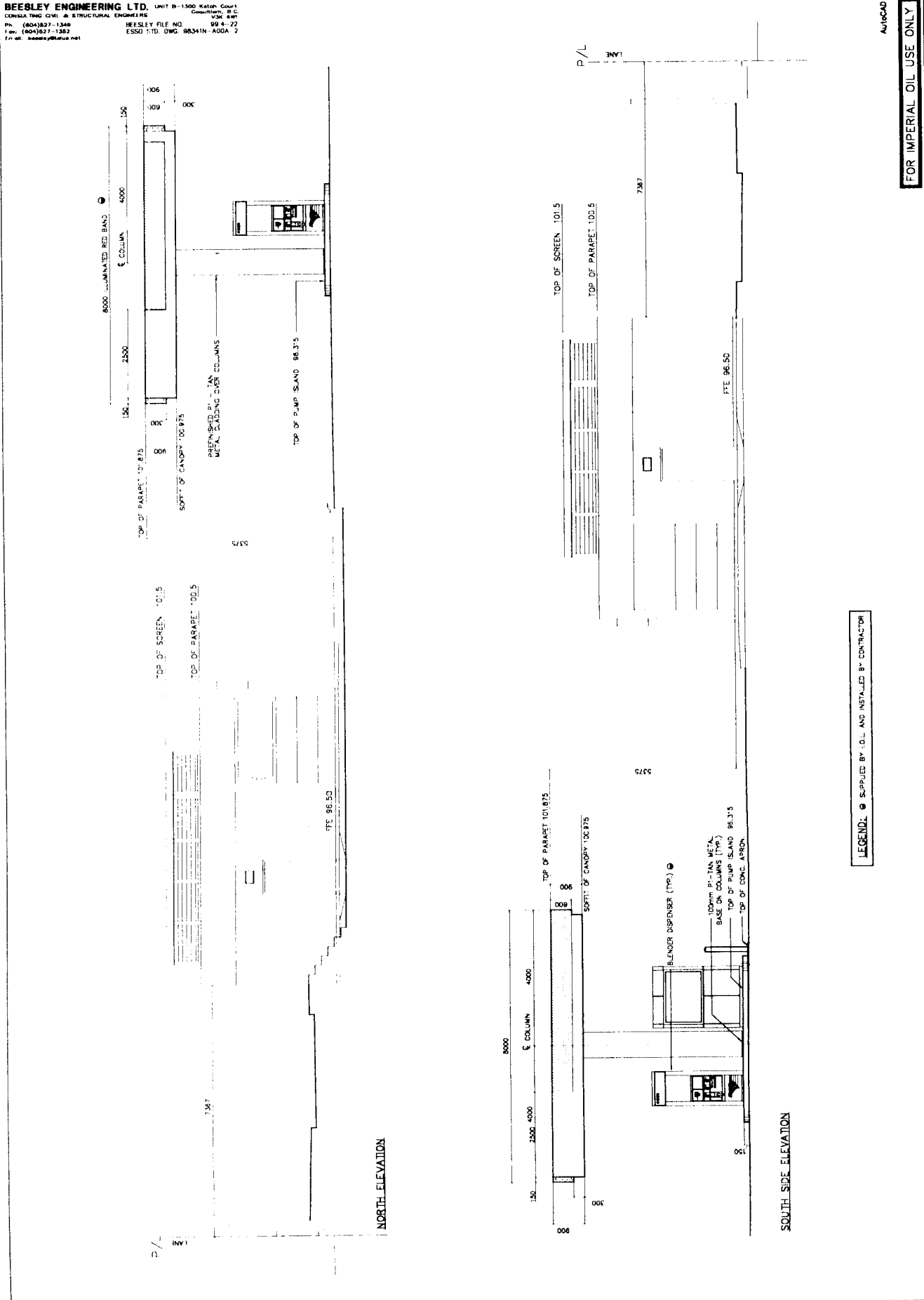
BUILDING HEIGHTS:
TOTAL COVERAGE = 4.4 m.
C-STORE = 5.530 m.
KIOSK = 4.4 m.
CANOPY = 5.530 m.

NOTE:
MECHANICAL EQUIPMENT
NOT TO SCALE
NOISE BARRIER WALL

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AutoCAD

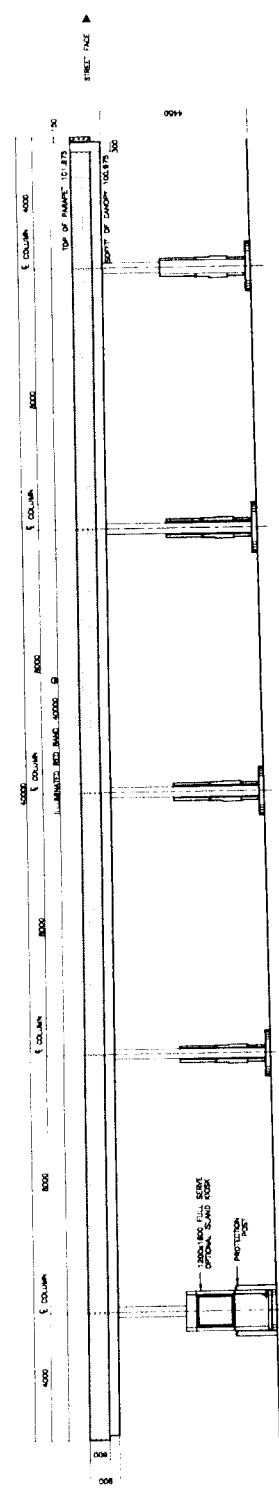
IMPERIAL OIL LIMITED Architectural/Engineering Services 90 Wynford Drive, TEL: (418) 441-7840/7845 Don Mills, Ontario FAX: (418) 441-7850 M3C 1K5	Date 00/12/08 01 00 01	Revision 0 DEVELOPMENT PERMIT ISSUE 1 GENERAL REVISIONS 2 ROOF SCREEN & ELEVATIONS ADDED	By WLM GJA RDR	Project 41ST AVENUE & GRANVILLE STREET, VANCOUVER, B.C.	Drawn 99/
	PRODUCTS DIVISION / MARKETING SERVICES			Drawing Title CANOPY - ELEVATIONS (SHT. 1 OF 2)	
BEEBLY ENGINEERING LTD. UNIT B-1300 KATER COURT CONSULTING CIVIL & STRUCTURAL ENGINEERS CONSULTANTS B.C. P: (604)827-1388 BEEBLY FILE NO. 98-46-72 F: (604)827-1382 ESSO LTD. DWG. 98341N-ADDA. 2 E: info@beebly.com			Scale (Arch) 1:50		Date 00 11 20
			Drawn By WLM		Proj. Manager RON BEESLEY
					Rev. No. 2



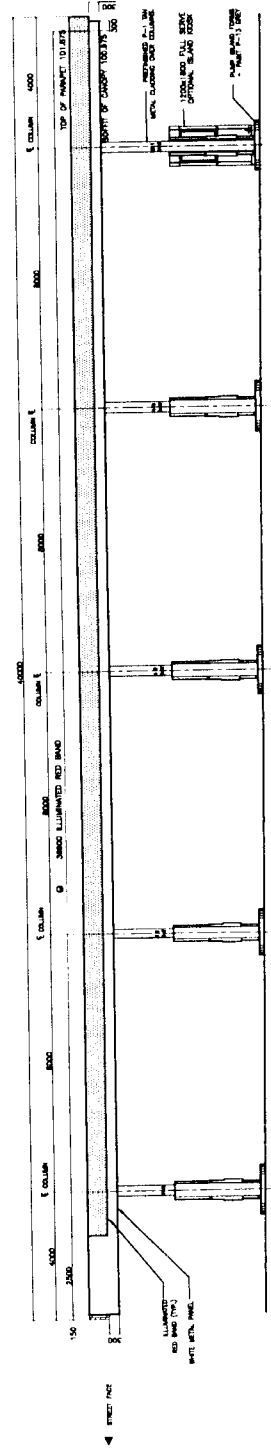
IMPERIAL OIL LIMITED Architectural/Engineering Services 90 Wynford Drive, TEL. (416) 441-7840/7845 Don Mills, Ontario FAX (416) 441-7850 M3C 1K5 PRODUCTS DIVISION / MARKETING SERVICES	Date 00 12 20 01 05 01	Revision 0 DEVELOPMENT PERMIT ISSUE 1 GENERAL REVISIONS	By WLM GLA	Project 41ST AVENUE & GRANVILLE STREET VANCOUVER, B.C.	Drawing Title CANOPY - ELEVATIONS (2 OF 2)	Scheme 99A0 D9 SHL AD1	
	BEEBLEY ENGINEERING LTD. UNIT #1-1300 West Coast CONTRACTING DIV. & STRUCTURAL ENGINEERS 604-227-1348 VES 604-227-1362 BEEBLEY FILE NO. 99-4-22 Email: beebley@telus.net ESSO STD. DWG. 98341N-A00A-2		Scale (overall) 1:75	Scale (1/4"=1'-0") 1:150	Date 00 11 20	Drawn By WLM	Proj. Manager RON BEEBLEY

AutoCAD

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EAST ELEVATION



WEST ELEVATION

LEGEND: ● SUPPLIED BY I.O.I. AND INSTALLED BY CONTRACTOR

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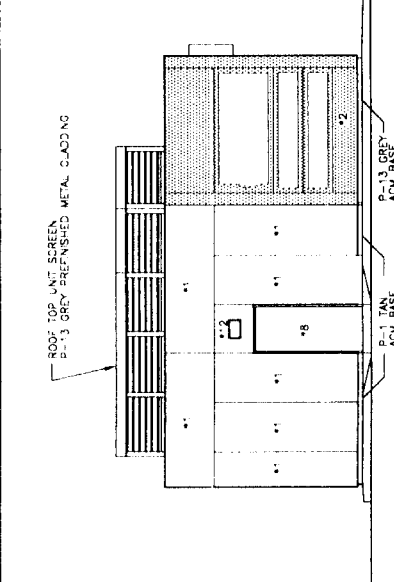
PRODUCTS DIVISION / MARKETING SERVICES

Date	Revision
00 07 06	0 DEVELOPMENT PERMIT APPLICATION
01 05 07	1 GENERAL REVISION
01 12 08	2 ROOF SCREENS ADDED

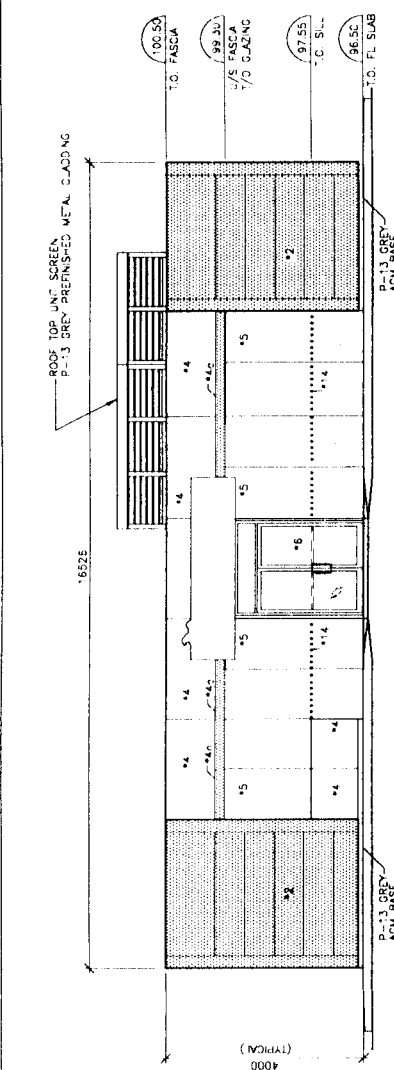
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Drawing Title	C-STORE - ELEVATIONS
Scale (plan)	1:50
Scale (1:1/11)	1:100
Date	00 07 06
Drawn By	RH
Proj. Manager	RON BEESLEY
Sheet	A01
Rev. No.	2

BEESLEY ENGINEERING LTD.
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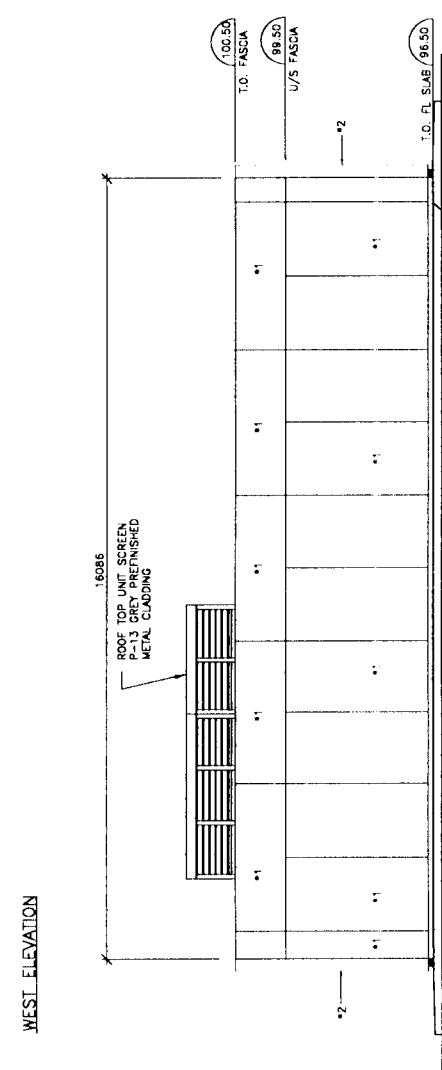
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 BEESLEY FILE NO
 ESSO STD DWG. 99.4.22



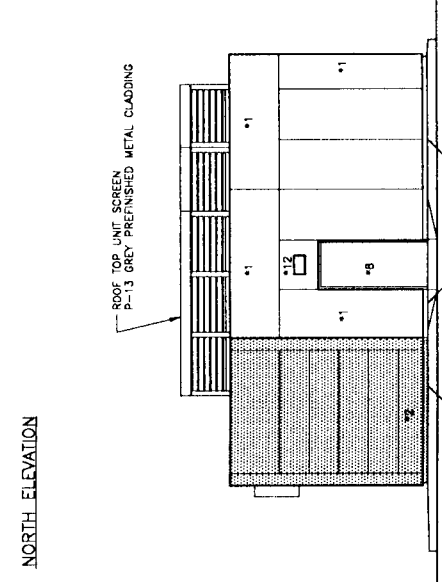
WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION



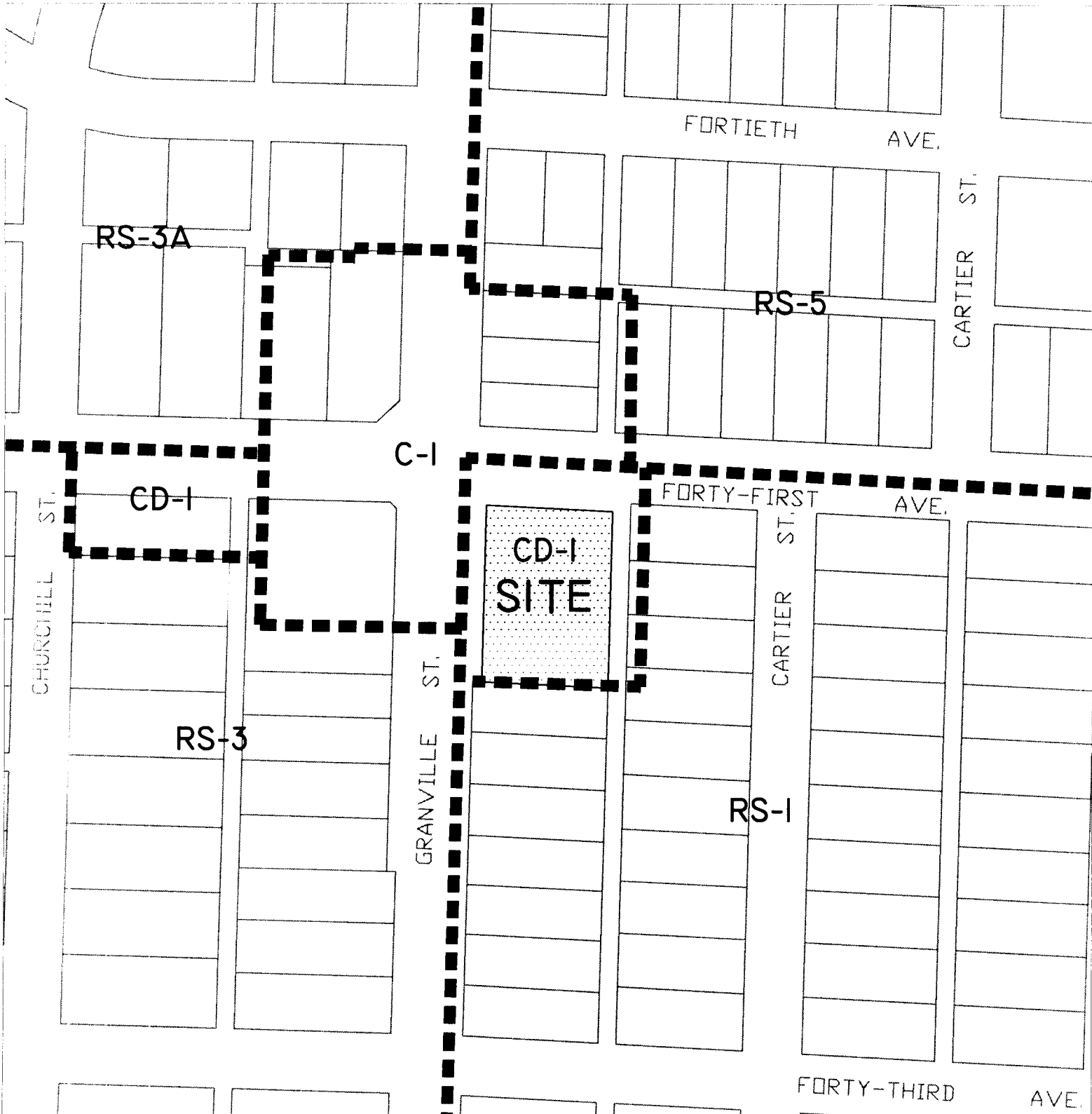
SOUTH ELEVATION

- REFERENCE NOTES**
- *1 P-1 TAN PREFINISHED ACM WALL PANELS.
 - *2 P-13 GREY PREFINISHED ACM CORNER PANELS.
 - *3 P-13 GREY PREFINISHED ACM WALL PANELS.
 - *4 P-5 WHITE PREFINISHED ACM FASCIA PANELS.
 - *5 P-5 RED (TO MATCH SCOTCHCAL 3930-33) 200mm PAINTED HORIZONTAL STRIPE ON P-5 WHITE FASCIA PANELS.
 - *6 MULLIONLESS GLAZING FRAME (CLEAR ANODIZED ALUMINUM).
 - *7 CONCRETE DOOR & FRAME. SEE SITE PLAN FOR SIZING & ARRANGEMENT.
 - *8 NON-PUBLIC DOOR & FRAME. PAINT TO MATCH WALL FINISH *1.
 - *9 HANDICAPPED ACCESS.
 - *10 METAL HALOUE LIGHT FIXTURE.
 - *11 #3830-33 "RED", SCOTCHCAL VINYL DOTS.
50mm# INSTALLED @ 125mm c.c. 1030mm (TO CENTRE)
ALWAYS OUTSIDE OF FULL LENGTH WINDOWS.
 - *12 2 COMPARTMENT SINK c/w TILE & BACKSPASH.

AREAS

BUILDING AREA (SITE COVERAGE)	134.4 sq.m. (1446.717 sq.ft.)
SALES AREA	81.42 sq.m. (875 sq.ft.)
BENCAL TRADERS	4.46 sq.m. (48 sq.ft.)

Autocad



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5702 GRANVILLE ST. DE 406362

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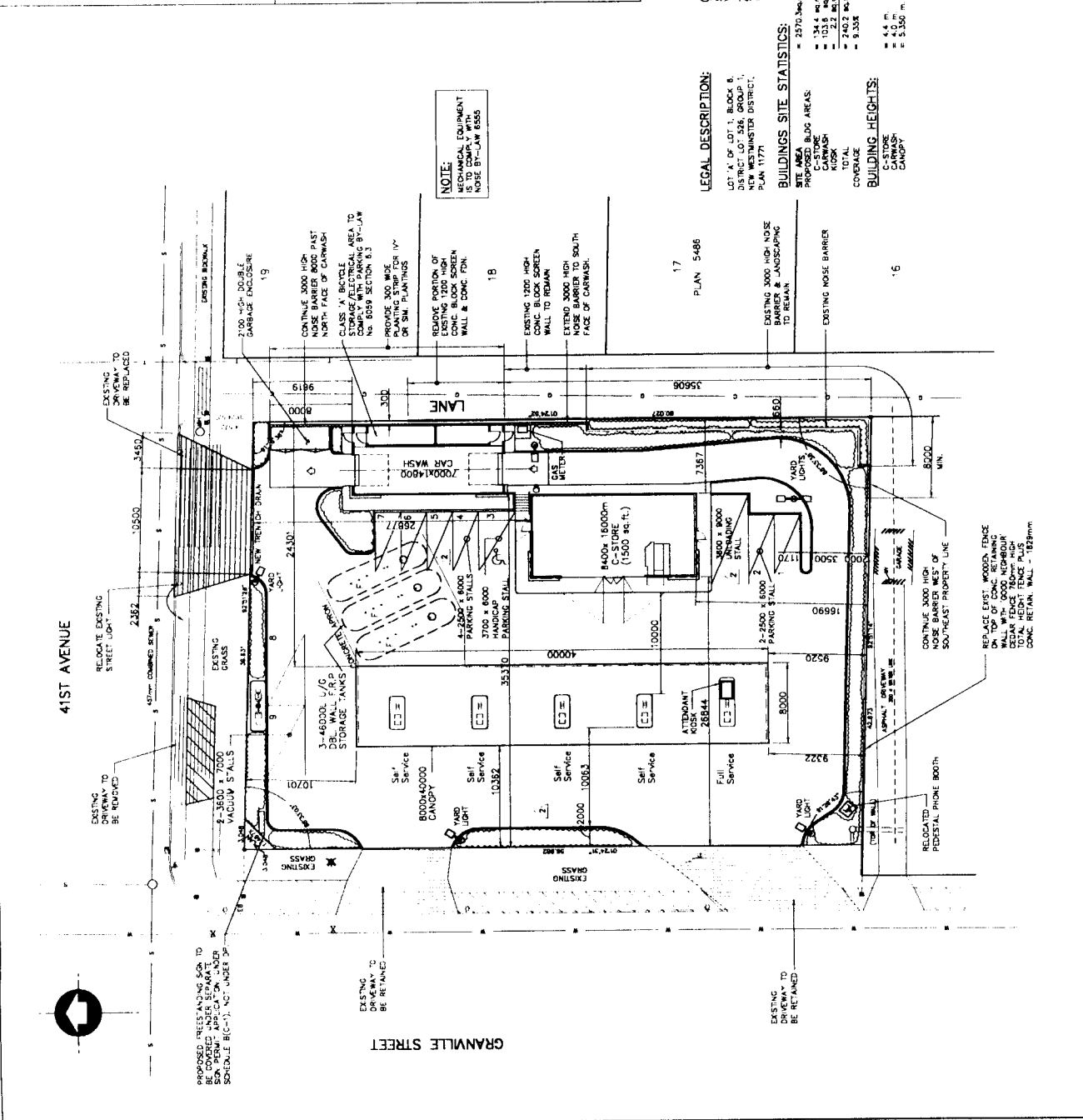
Project: 41ST AVENUE & GRANVILLE STREET
VANCOUVER, BRITISH COLUMBIA

Drawing Title: SITE PLAN

Scale (plan): 1:200 Scale (elevation): 1:400 Date: 99 05 13 Drawn By: WJM Proj Manager: Rev. No. 2

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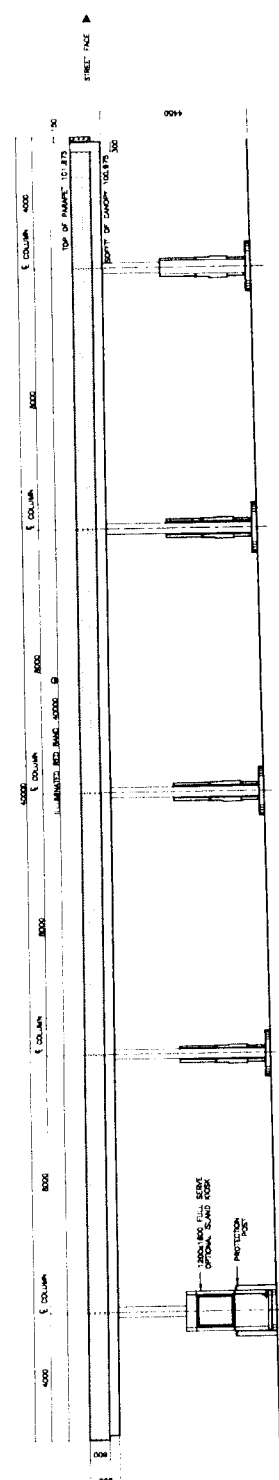
AutoCAD

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	00 12 20	0 DEVELOPMENT PERMIT ISSUE	WJM	41ST AVENUE & GRANVILLE STREET VANCOUVER, B.C.	99A0
	01 05 01	1 GENERAL REVISIONS	GLA		Scheme D9
				Drawing Title	SHL AD1
				Scale (overall)	Scale (11'x17')
				1:75	1:150
				Date	Drawn By
				00 11 20	WJM
				Proj. Manager	Rev. No.
				RON BEESLEY	1

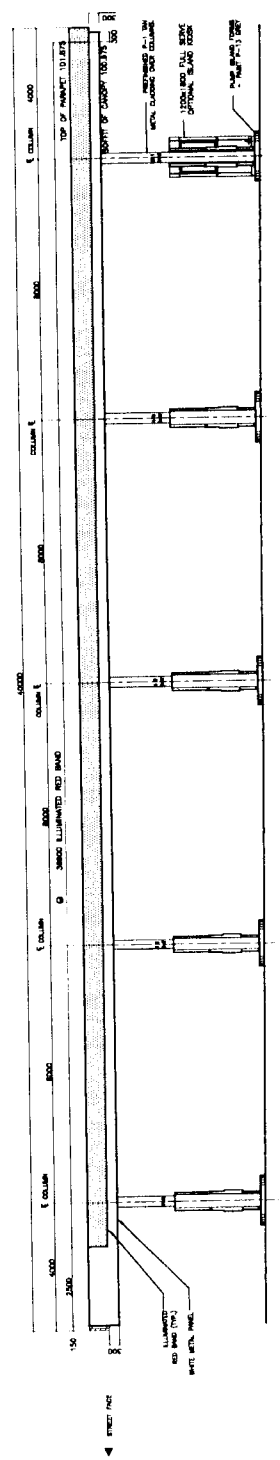
BEEBLEY ENGINEERING LTD. UNIT #1-1300 Metcal Court
 CONTRACTING DIV. & STRUCTURAL ENGINEERS Coquitlam, B.C.
 V3R 6W1
 Tel: (604) 627-1348 BEEBLEY FILE NO. 99-4-22
 Fax: (604) 627-1362 ESSO STD. DWG. 98341N-A00A-2
 Email: beebley@telus.net

AutoCAD

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EAST ELEVATION



WEST ELEVATION

LEGEND: ● SUPPLIED BY I.O.I. AND INSTALLED BY CONTRACTOR

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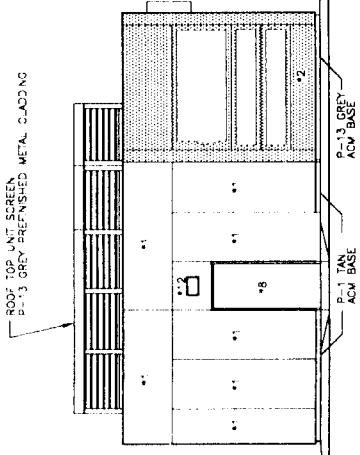
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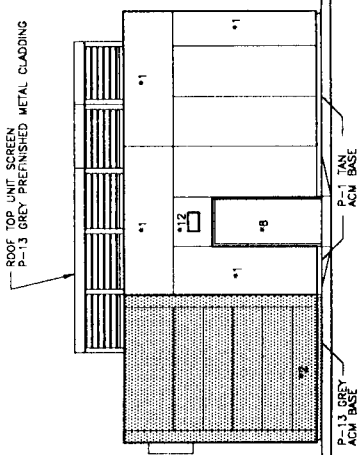
Project	41ST AVENUE AND GRANVILLE STREET VANCOUVER, B.C.	Dr	
Drawing Title	C-STORE - ELEVATIONS	Scheme	01
Scale (plan)	1:50	Shr.	A01
Scale (1:1/11')	1:100	Drawn By	RH
Date	00 07 06	Proj. Manager	RON BEESLEY
		Rev. No.	2

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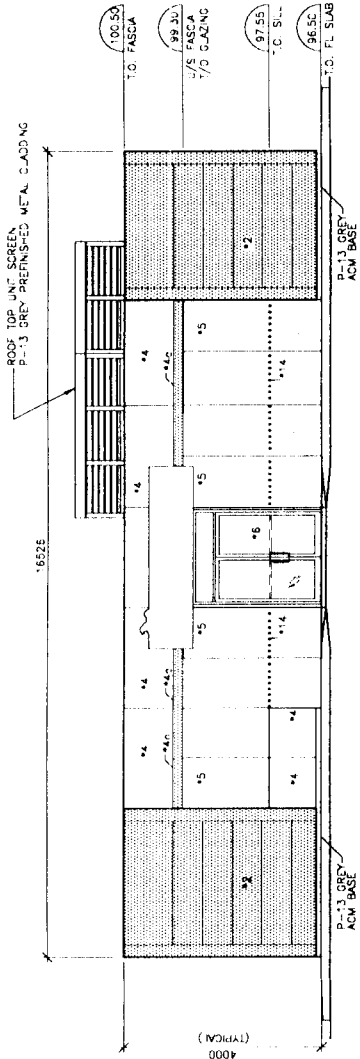
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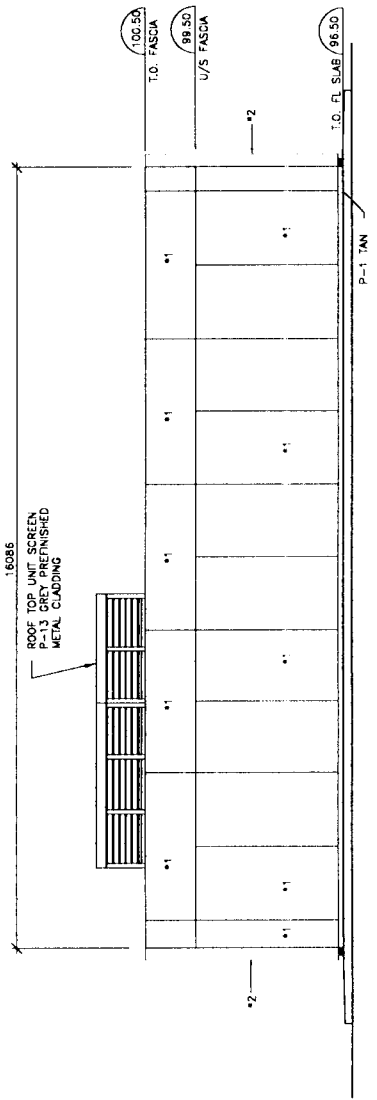
NORTH ELEVATION



SOUTH ELEVATION



WEST ELEVATION



EAST ELEVATION

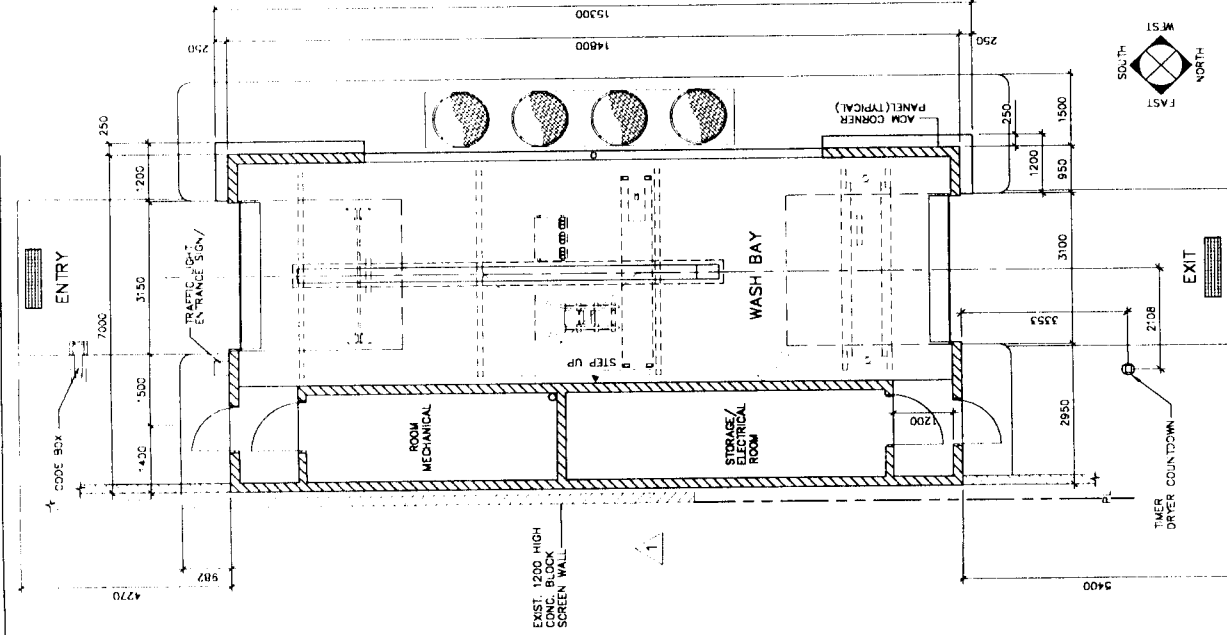
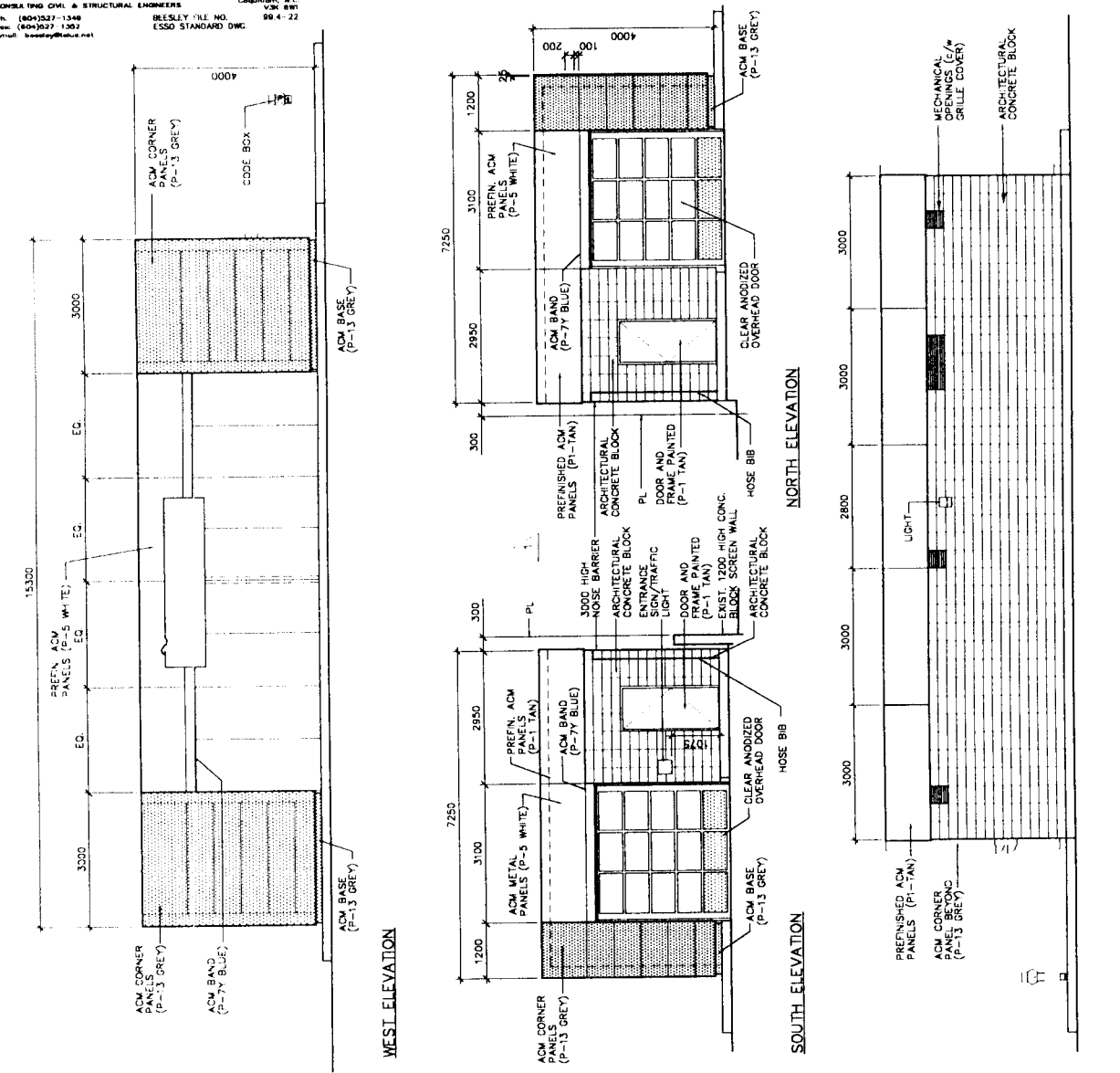
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 - *9 CONCRETE SIDEWALK. SEE SITE PLAN FOR SIZING & ARRANGEMENT.
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 - *11 METAL HALIDE LIGHT FIXTURE.
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Autocad

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	BEESELY ENGINEERING LTD. UNIT B-1300 Metrol Centre COMBINE CIVIL & STRUCTURAL ENGINEERS Ph: (800)527-1348 BEESELY FILE NO. 99-4-22 Fax: (800)527-1302 ESSO STANDARD DWG E-mail: beesley@metrol.net		



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EAST ELEVATION
 NOTES: ACM - ALUMINUM COMPOSITE MATERIAL (SEE DWG. A09 FOR PANE. DETAILS)

FLOOR PLAN
 1/8"=1'-0" (1/16"=1'-0") FLOOR AREA