



-- ZONING BOUNDARY

2099 WEST 33RD AVE DE 406281

CITY OF VANCOUVER PLANNING DEPARTMENT

DATE 2002 03 13

DRAWN WGS

FILENAME :F:\FRM0FDEV\2002 FRM0FDEV.2099 WEST 33.DWG





1. All work shall be in accordance with the latest edition of the National Electrical Code (NEC) and the National Fire Protection Association (NFPA) Code 70E, unless otherwise specified.

2. All work shall be in accordance with the latest edition of the International Building Code (IBC) and the International Fire Code (IFC), unless otherwise specified.

3. All work shall be in accordance with the latest edition of the International Mechanical Code (IMC) and the International Plumbing Code (IPC), unless otherwise specified.

4. All work shall be in accordance with the latest edition of the International Energy Conservation Code (IECC), unless otherwise specified.

5. All work shall be in accordance with the latest edition of the International Fire and Safety Code (IFSC), unless otherwise specified.

6. All work shall be in accordance with the latest edition of the International Fire and Code (IFC), unless otherwise specified.

7. All work shall be in accordance with the latest edition of the International Fire and Code (IFC), unless otherwise specified.

8. All work shall be in accordance with the latest edition of the International Fire and Code (IFC), unless otherwise specified.

9. All work shall be in accordance with the latest edition of the International Fire and Code (IFC), unless otherwise specified.

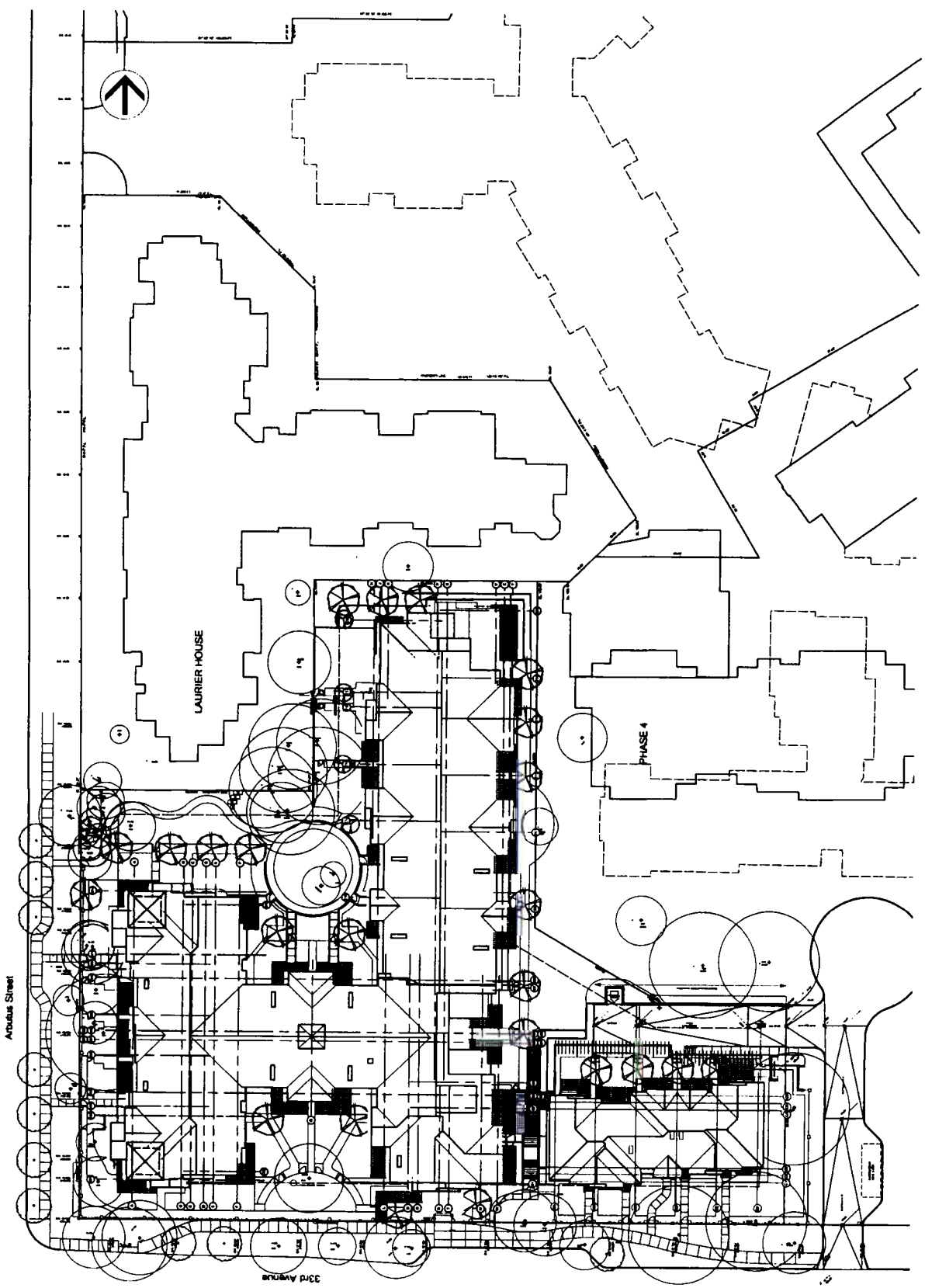
10. All work shall be in accordance with the latest edition of the International Fire and Code (IFC), unless otherwise specified.

Project:  
Quincy  
Phase 5  
2nd & 3rd  
Vancouver, BC

Drawn by:  
Shelton

Sheet No.:  
201-101  
Date:  
1-25-07

Scale:  
A 1:01



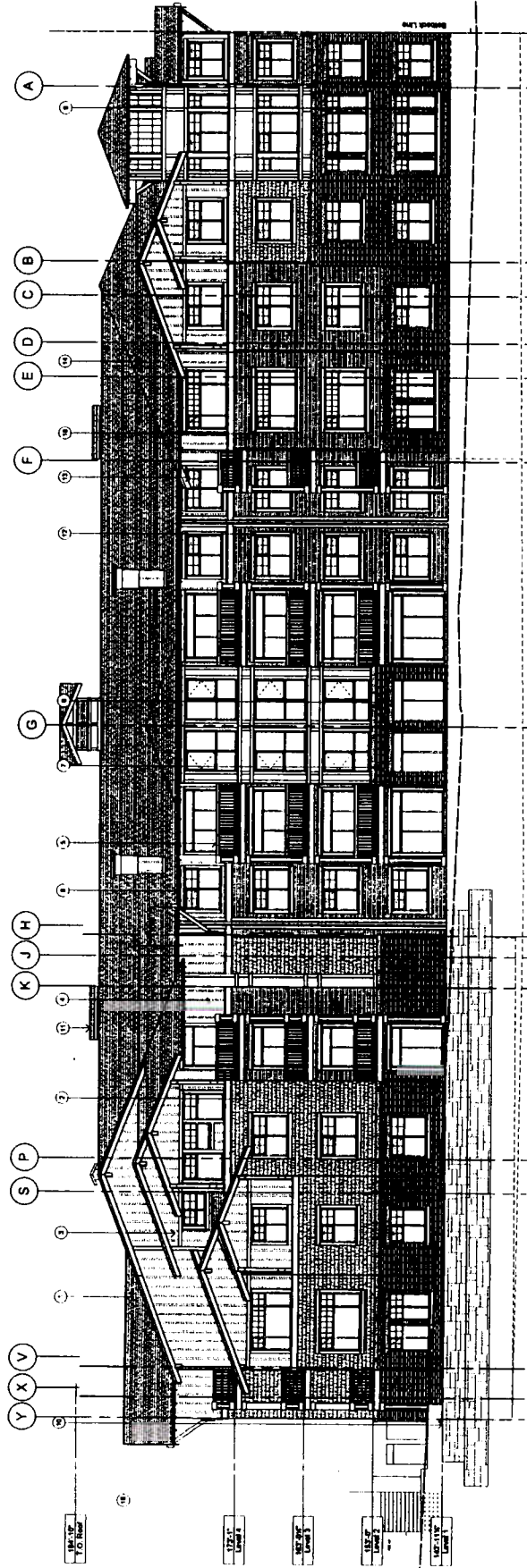
1. The drawings are prepared for the purpose of providing information to the contractor and are not to be used for any other purpose.  
2. The drawings are prepared in accordance with the requirements of the Building Code of Vancouver, BC.  
3. The drawings are prepared in accordance with the requirements of the National Building Code of Canada.  
4. The drawings are prepared in accordance with the requirements of the International Building Code.  
5. The drawings are prepared in accordance with the requirements of the International Residential Code.  
6. The drawings are prepared in accordance with the requirements of the International Energy Conservation Code.  
7. The drawings are prepared in accordance with the requirements of the International Fire Code.  
8. The drawings are prepared in accordance with the requirements of the International Mechanical Code.  
9. The drawings are prepared in accordance with the requirements of the International Plumbing Code.  
10. The drawings are prepared in accordance with the requirements of the International Electrical Code.  
11. The drawings are prepared in accordance with the requirements of the International Fire and Safety Code.  
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19. The drawings are prepared in accordance with the requirements of the International Fire and Safety Code.  
20. The drawings are prepared in accordance with the requirements of the International Fire and Safety Code.

**G**  
Greenway + Modern Architecture  
2001-101  
Vancouver, BC

Project:  
Quilchena Park, Phase 5  
Demographic House  
320 & Arbutus  
Vancouver, BC

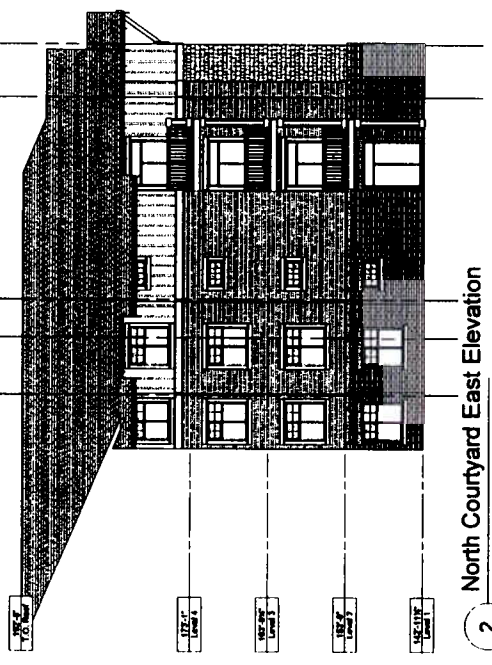
Drawn By:  
Building AB  
North Elevation

Sheet Number:  
2001-101  
A 4.01



**1** North Elevation  
Scale: 1/8" = 1'-0"

- Materials:
1. Painted wood trim
  2. Painted wood shingles
  3. Vertical composite board and batten siding
  4. Vertical composite board and batten siding
  5. Vertical composite board and batten siding
  6. Painted metal panels
  7. Painted metal panels
  8. Painted metal panels and overhang
  9. Solder course brick
  10. Cast concrete sill
  11. Indicated line of finishing in front
  12. Indicated line of finishing in front
  13. Prefinished Douglas fir
  14. Prefinished Douglas fir
  15. Prefinished Douglas fir
  16. Composite high profile shingles
  17. Composite high profile shingles
  18. Stone
  19. Prefinished metal flashing over finished projection
  20. Interior profile vinyl siding
  21. Flat stone masonry wall



**2** North Courtyard East Elevation  
Scale: 1/8" = 1'-0"

1. The owner, architect, engineer, contractor, and other parties to this contract shall be bound by the terms and conditions of the contract documents, including but not limited to the specifications, drawings, and conditions of contract.

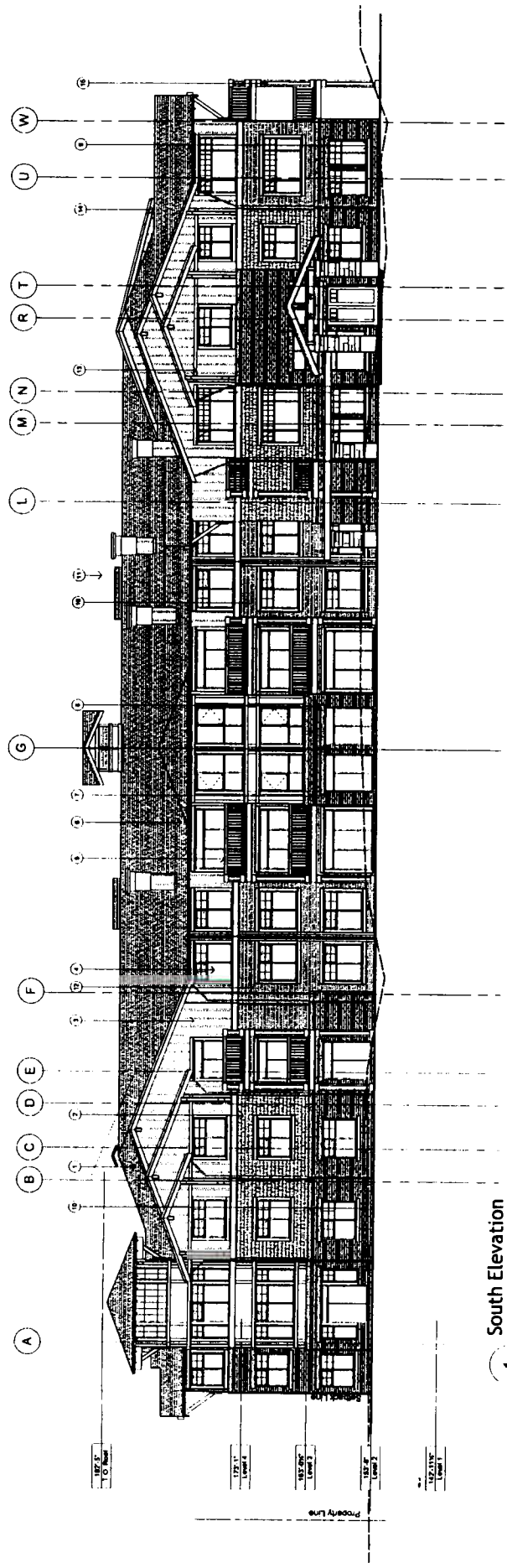
Building & Construction  
 1000  
 1000  
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Dulheim Park Phase 5  
 Dulheim Park  
 1000  
 1000  
 1000

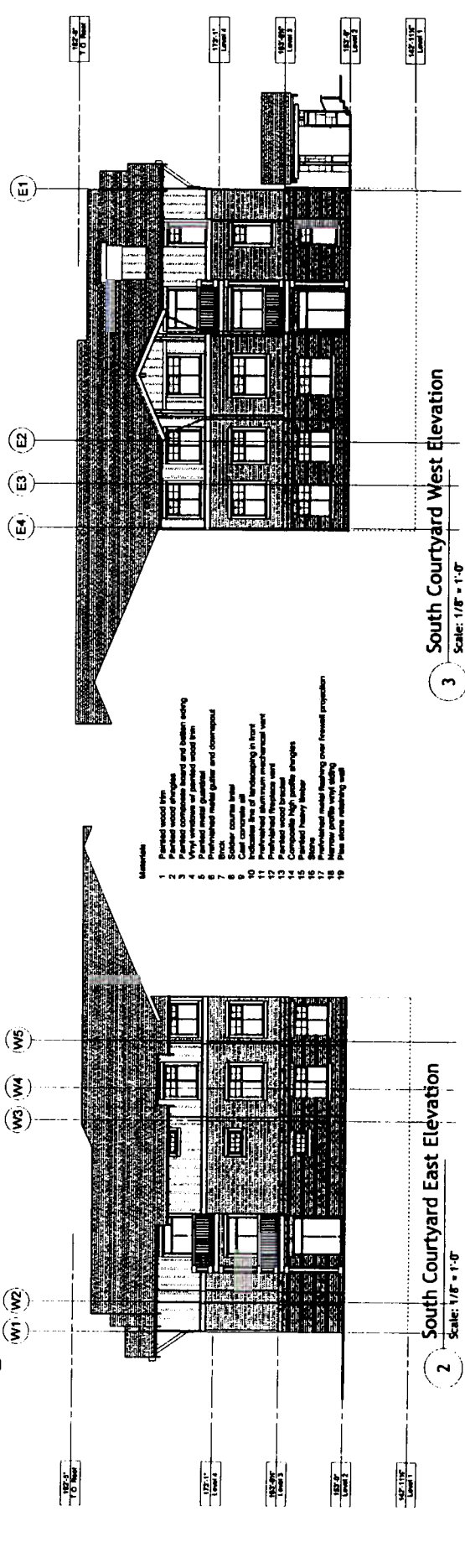
Building A  
 South Elevations

2000-101  
 1000-101

A 4.02



1 South Elevation  
 Scale: 1/8" = 1'-0"



2 South Courtyard East Elevation  
 Scale: 1/8" = 1'-0"

3 South Courtyard West Elevation  
 Scale: 1/8" = 1'-0"

- Materials
1. Painted steel trim
  2. Painted wood siding
  3. Painted composite board and batten siding
  4. Vinyl windows and painted steel trim
  5. Painted steel roof
  6. Fresh-painted metal gutters and downspouts
  7. Brick
  8. Solid color paint
  9. Painted steel roof
  10. Indicate line of landscaping in front
  11. Fresh-painted aluminum mechanical vent
  12. Fresh-painted aluminum vent
  13. Painted steel roof
  14. Composite high profile shingles
  15. Painted heavy timber
  16. Stone
  17. Painted steel flashing over forward projection
  18. Narrow profile vinyl siding
  19. Pine stone masonry wall



1. All work shall be in accordance with the approved plans and specifications.  
 2. The contractor shall be responsible for obtaining all necessary permits.  
 3. The contractor shall maintain access to all adjacent properties at all times.  
 4. The contractor shall be responsible for the safety of all workers and the public.  
 5. The contractor shall be responsible for the protection of all existing utilities.  
 6. The contractor shall be responsible for the removal and disposal of all debris.  
 7. The contractor shall be responsible for the cleanup of all work areas.  
 8. The contractor shall be responsible for the completion of all work within the specified time frame.  
 9. The contractor shall be responsible for the payment of all subcontractors and suppliers.  
 10. The contractor shall be responsible for the maintenance of all records and documents.  
 11. The contractor shall be responsible for the coordination of all work with other trades.  
 12. The contractor shall be responsible for the communication of all progress and issues.  
 13. The contractor shall be responsible for the compliance with all applicable laws and regulations.  
 14. The contractor shall be responsible for the insurance of all workers and property.  
 15. The contractor shall be responsible for the bonding of all work.  
 16. The contractor shall be responsible for the payment of all taxes and fees.  
 17. The contractor shall be responsible for the completion of all work in accordance with the approved plans and specifications.  
 18. The contractor shall be responsible for the maintenance of all records and documents.  
 19. The contractor shall be responsible for the coordination of all work with other trades.  
 20. The contractor shall be responsible for the communication of all progress and issues.  
 21. The contractor shall be responsible for the compliance with all applicable laws and regulations.  
 22. The contractor shall be responsible for the insurance of all workers and property.  
 23. The contractor shall be responsible for the bonding of all work.  
 24. The contractor shall be responsible for the payment of all taxes and fees.  
 25. The contractor shall be responsible for the completion of all work in accordance with the approved plans and specifications.



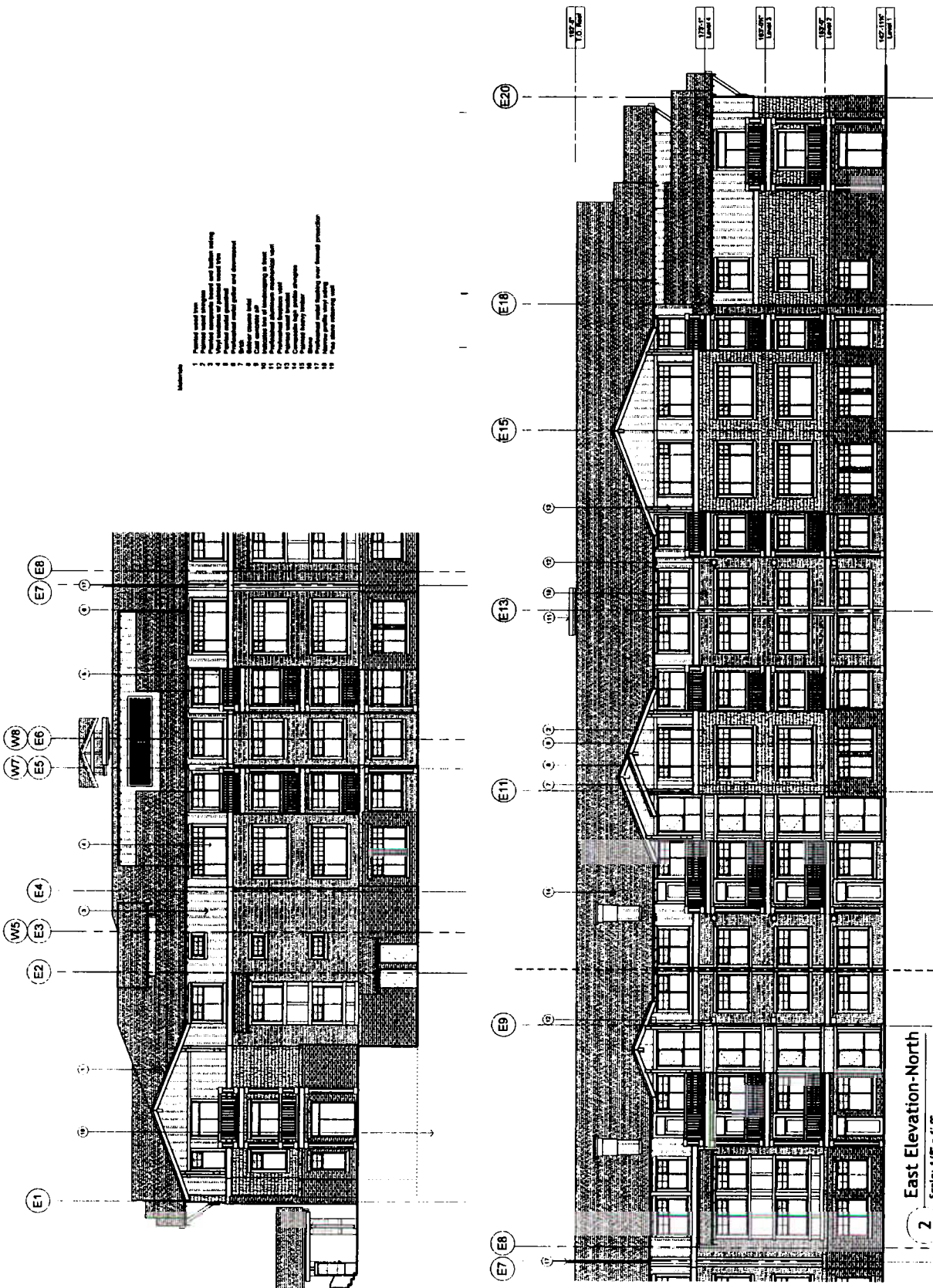
Project:  
 Quikrete Park Phase 5  
 3800 S. 10th Street  
 Vancouver, BC

Drawn by:  
 Building A/B  
 East Elevation

Sheet No.:  
 2011-101

Date:  
 11/11/11

4.03



2 East Elevation-North  
 Scale: 1/8" = 1'-0"



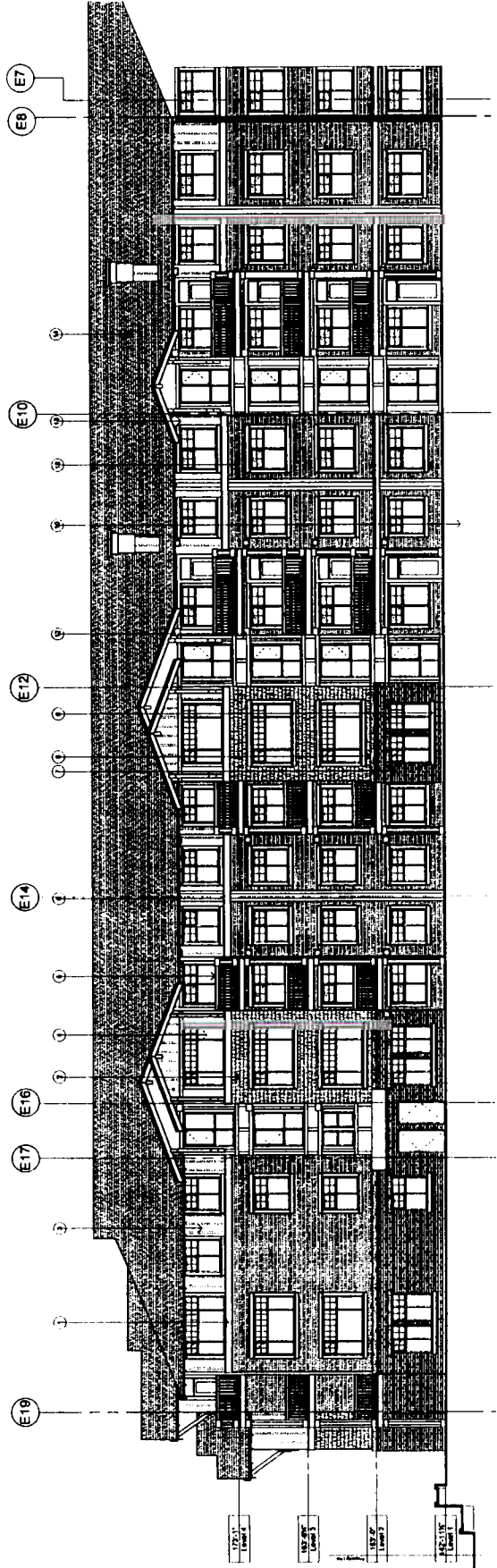
Gannett + Hobbie Architects  
1000 West Broadway  
Vancouver, BC V6C 2B4  
Tel: 604.681.1111  
Fax: 604.681.1112

Sheet No.  
Building AVB  
West Elevation

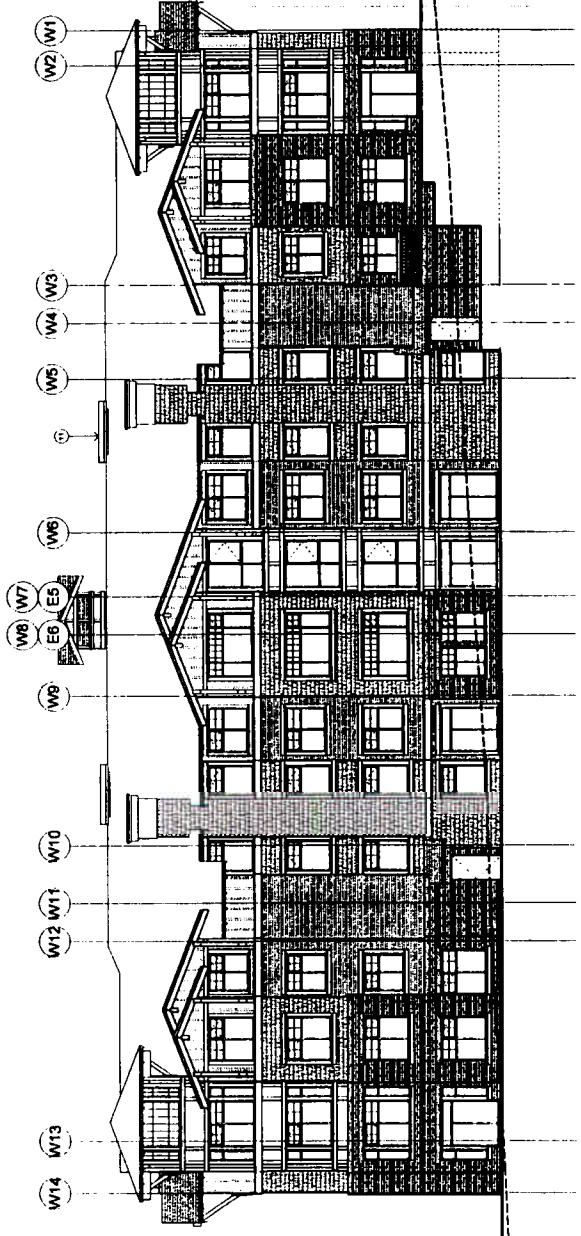
Project Name  
Dulcherna Park Phase 5  
Devonshire House  
3rd & Arbutus  
Vancouver BC

Drawn By  
2001-101  
Date  
10/11/07  
Scale  
A4.04

Notes:  
1. This drawing is to be used in conjunction with the other drawings in this set.  
2. All dimensions are in millimeters unless otherwise stated.  
3. All materials and finishes are to be as specified in the schedule.  
4. All work is to be in accordance with the applicable building codes.  
5. All work is to be in accordance with the applicable standards of practice.  
6. All work is to be in accordance with the applicable standards of workmanship.  
7. All work is to be in accordance with the applicable standards of safety.  
8. All work is to be in accordance with the applicable standards of quality.  
9. All work is to be in accordance with the applicable standards of durability.  
10. All work is to be in accordance with the applicable standards of performance.  
11. All work is to be in accordance with the applicable standards of efficiency.  
12. All work is to be in accordance with the applicable standards of economy.  
13. All work is to be in accordance with the applicable standards of sustainability.  
14. All work is to be in accordance with the applicable standards of innovation.  
15. All work is to be in accordance with the applicable standards of leadership.  
16. All work is to be in accordance with the applicable standards of excellence.  
17. All work is to be in accordance with the applicable standards of integrity.  
18. All work is to be in accordance with the applicable standards of respect.  
19. All work is to be in accordance with the applicable standards of responsibility.  
20. All work is to be in accordance with the applicable standards of accountability.



- Materials
1. Painted wood trim
  2. Premium composite board and batten siding
  3. Vinyl windows w/ painted wood trim
  4. Painted metal gutters
  5. Painted metal downspouts
  6. Brick
  7. Painted metal pipes and downspouts
  8. Brick
  9. Brick
  10. Brick
  11. Brick
  12. Brick
  13. Brick
  14. Composite high profile shingles
  15. Painted heavy timber
  16. Stone
  17. Painted metal flashing over freest projection
  18. Narrow profile vinyl siding
  19. Free stone masonry wall





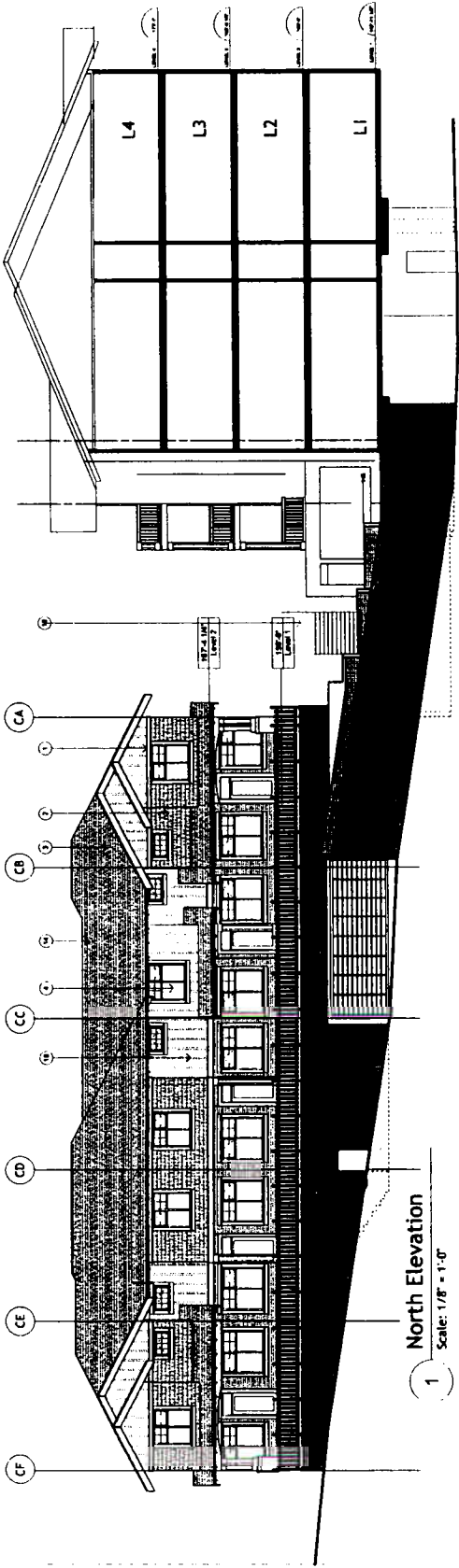
Project:  
Outhouse Phases 5  
Dorchester House  
2088 West 32nd Avenue  
Vancouver, B.C.

Sheet No:  
Building C  
Elevations

Sheet Number:  
2001-001

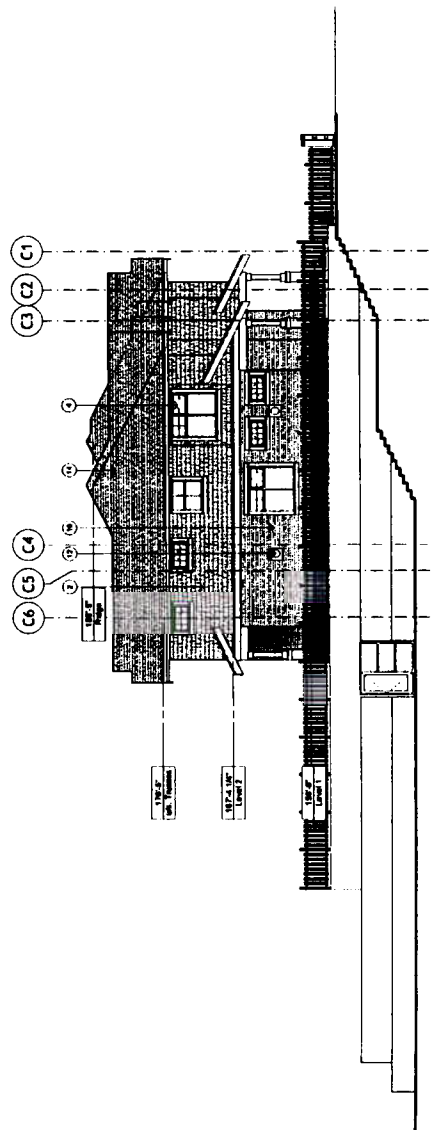
Scale:  
1/8" = 1'-0"  
Sheet Name:  
A-4.05

Notes:  
1. All elevations are shown in black lines on a white background.  
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19. All elevations are shown in black lines on a white background.

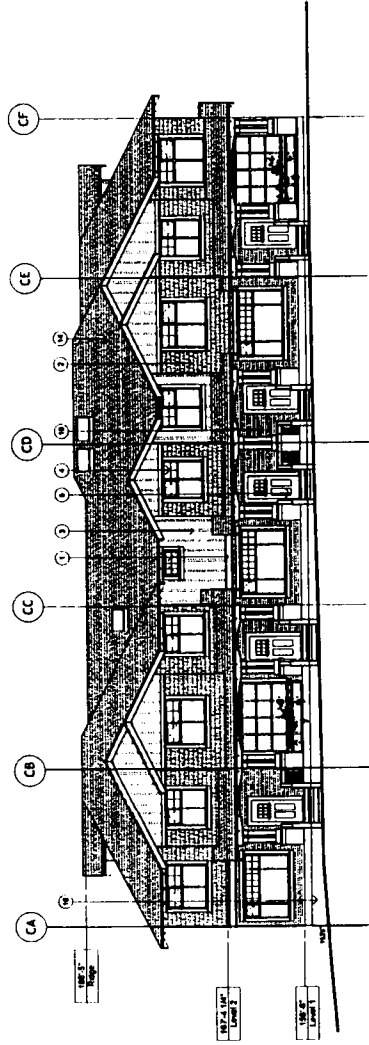


1 North Elevation  
Scale: 1/8" = 1'-0"

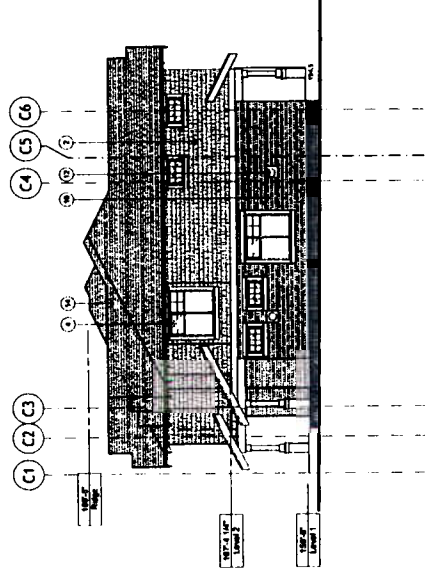
- Materials
1. Painted wood trim
  2. Painted wood shingles
  3. Painted composite board and batten siding
  4. Prefinished aluminum wood trim
  5. Prefinished wood trim
  6. Prefinished metal gutter and downspout
  7. Brick
  8. Cast concrete sill
  9. Cast concrete sill
  10. Indicate line of landscaping in front
  11. Prefinished aluminum mechanical vent
  12. Prefinished aluminum mechanical vent
  13. Prefinished wood trim
  14. Composite high profile shingles
  15. Painted heavy timber
  16. Prefinished metal flashing over finished protection
  17. Narrow profile vinyl siding
  18. Pile above retaining wall



2 West Elevation  
Scale: 1/8" = 1'-0"



1 South Elevation  
Scale: 1/8" = 1'-0"



2 East Elevation  
Scale: 1/8" = 1'-0"

- Materials:
- 1 Painted wood trim
  - 2 Painted wood shingles
  - 3 Vertical concrete masonry and broken siding
  - 4 Vertical concrete masonry and painted wood trim
  - 5 Painted metal gable
  - 6 Prefinished metal gable and downspout
  - 7 Siding
  - 8 Siding course trim
  - 9 Cast concrete sill
  - 10 Includes line of landscaping in front
  - 11 Prefinished metal gable and downspout
  - 12 Prefinished metal gable
  - 13 Painted wood trim
  - 14 Composite high profile shingles
  - 15 Hardwood shingles
  - 16 Shingles
  - 17 Prefinished metal flashing over firewall projection
  - 18 Narrow profile vinyl siding
  - 19 Flat stone retaining wall

Architect: [illegible]  
 Date: [illegible]  
 Scale: [illegible]



Project:  
 Outchena Phase 5  
 Decorative House  
 200 West 23rd Avenue  
 Vancouver, BC

Sheet No:  
 Building C  
 Elevations

Sheet Name:  
 201-1001  
 Date:  
 08/11/08  
 Scale:  
 A-4.06